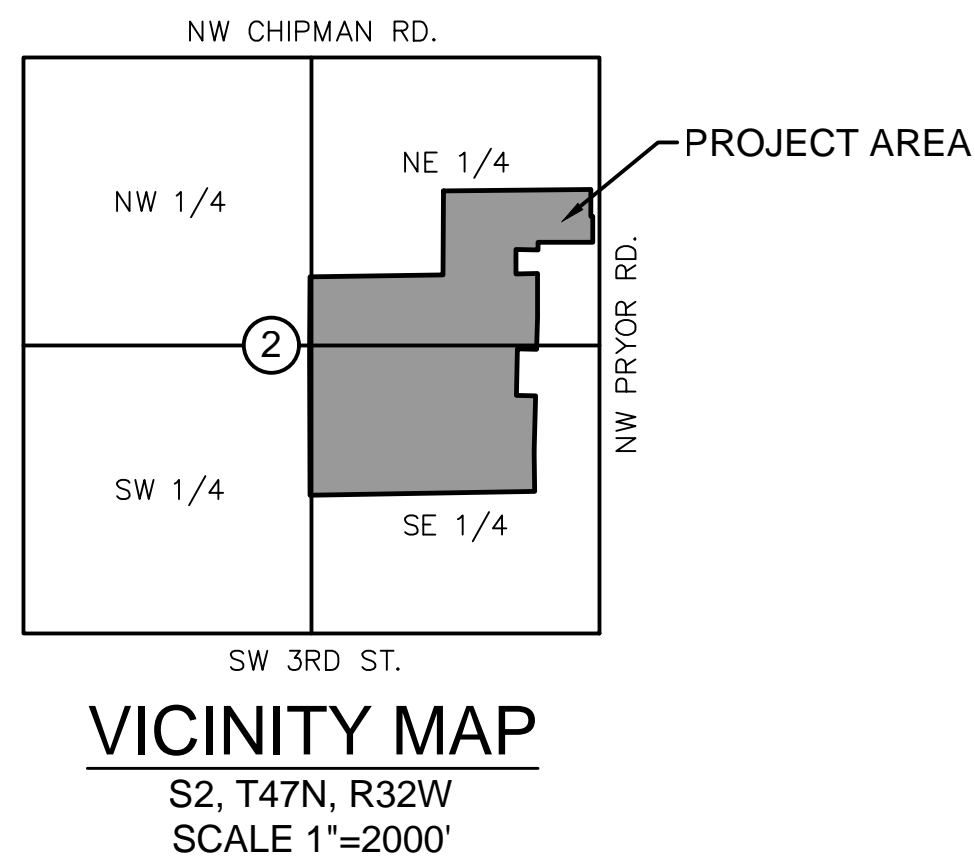


WOODSIDE RIDGE PRELIMINARY DEVELOPMENT PLAN

SECTION 2, TOWNSHIP 47N, RANGE 32W
IN LEE'S SUMMIT, JACKSON COUNTY, MO



INDEX OF SHEETS	
TITLE SHEET	01
EXISTING CONDITIONS	02
SITE PLAN - OVERALL	03
SITE PLAN - NORTH	04
SITE PLAN - SOUTH	05
PRELIMINARY GRADING PLAN - NORTH	06
PRELIMINARY GRADING PLAN - SOUTH	07
PRELIMINARY UTILITY PLAN - NORTH	08
PRELIMINARY UTILITY PLAN - SOUTH	09
PRELIMINARY STREAM BUFFER PLAN - NORTH	10
PRELIMINARY STREAM BUFFER PLAN - SOUTH	11
DETAIL PLANS	12
BUILDING ELEVATIONS	13

PROJECT TEAM CONTACT LIST	
DEVELOPER CLAYTON PROPERTIES GROUP, INC., D.B.A. SUMMIT HOMES 120 SE 30TH STREET LEE'S SUMMIT, MO 64082 CONTACT: DAVID PRICE PHONE: 816.246.6700 EMAIL: DAVID@SUMMITHOMESKC.COM	
OWNER PREMIERLIFE REAL ESTATE HOLDING 400 NW MURRAY ROAD LEE'S SUMMIT, MO 64081	
ENGINEER OLSSON ASSOCIATES 1301 BURLINGTON, SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: JOHN ERPELDING PHONE: 816.587.4320 EMAIL: JERPELDING@OLSSONASSOCIATES.COM	

PROPERTY DESCRIPTION:

A tract of land in the Northeast Quarter and Southeast Quarter of Section 2, Township 47 North, Range 32 West of the 5th Principal Meridian in Lee's Summit, Jackson County, Missouri being bounded and described as follows: Commencing at the Southeast corner of said Southeast Quarter; thence North 02°53'56" East, along the East line of said Southeast Quarter, 1,328.34 feet; thence North 87°49'43" West, along the South line of the North Half of of said Southeast Quarter, said line also being the North line and it's Easterly extension of STERLING HILLS 1ST PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri, 580.00 feet to the Point of Beginning of the tract of land to be herein described; thence continuing North 87°49'43" West along said line and the North line of STERLING HILLS 3RD PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri, 2,048.70 feet to the Southwest corner of the North Half of said Southeast Quarter, said corner also being a point on the East line of STERLING HILLS 5TH PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri; thence North 03°05'41" East, along the West line of said Southeast Quarter, said line also being the East line of said STERLING HILLS 5TH PLAT, 1,325.87 feet to the Northwest corner of said Southeast Quarter; thence North 03°26'14" East, along the West line of said Northeast Quarter, said line also being the East line of WINTERSET WOODS 3RD PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri, 665.72 feet to the Northwest corner of the South Half of the South Half of said Northeast Quarter, said corner also being a point on the South line of THE FORESTS OF BROOKRIDGE ESTATES SECOND PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri; thence South 87°37'42" East, along the South line of said THE FORESTS OF BROOKRIDGE ESTATES SECOND PLAT and the South line of THE FORESTS OF BROOKRIDGE ESTATES THIRD PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri, 1,210.45 feet to the Southeast corner of said THE FORESTS OF BROOKRIDGE ESTATES THIRD PLAT; thence North 03°27'53" East, along the East line of said THE FORESTS OF BROOKRIDGE ESTATES THIRD PLAT, 765.70 feet to the Southwest corner of Lot 1, VILLAGE CARE CENTER PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri; thence South 87°23'49" East, along the South line of said Lot 1, 1,343.72 feet to a point on the West right-of-way line of NW Pryor Road, as now established, said point also being the Northeast corner of Lot 1, FOREST LAKE AT JOHN KNOX VILLAGE 1ST PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri; thence South 03°27'53" West, along said West right-of-way line, 243.74 feet; thence South 87°23'49" East, continuing along said West right-of-way line, 20.00 feet; thence South 03°27'53" West, continuing along said West right-of-way line, 237.99 feet; thence North 86°32'07" West, 499.90 feet; thence South 03°27'53" West, 70.20 feet; thence North 86°32'07" West, 200.00 feet; thence South 03°27'53" West, 221.62 feet to a point on the North line of the South Half of the South Half of said Northeast Quarter; thence South 87°37'42" East, 200.04 feet to the Northwest corner of Lot 1, JOHN KNOX RETIREMENT VILLAGE 9TH PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri; thence South 03°27'53" West, along the West line of said Lot 1, 362.00 feet to the Southwest corner of said Lot 1, said corner also being a point on the North right-of-way line of O'Brien Road, as now established; thence continuing South 03°27'53" West, 38.00 feet to a point on the South right-of-way line of said O'Brien Road; thence South 04°27'07" West, 289.53 feet; thence North 85°32'53" West, 175.00 feet; thence South 04°27'07" West, 425.00 feet; thence South 85°32'53" East, 175.00 feet; thence South 04°27'07" West, 484.59 feet; thence South 02°53'56" West, 60.12 feet; thence continuing South 02°53'56" West along said line, 325.85 feet to the Point of Beginning. Containing 4,872,919 square feet or 112.13 acres, more or less.



MO Certificate of Registration # 001592
303 E. BURLINGTON, SUITE 100
NORTH KANSAS CITY, MO 64116
TEL: 816.587.4320
FAX: 816.587.1393
www.olssonassociates.com

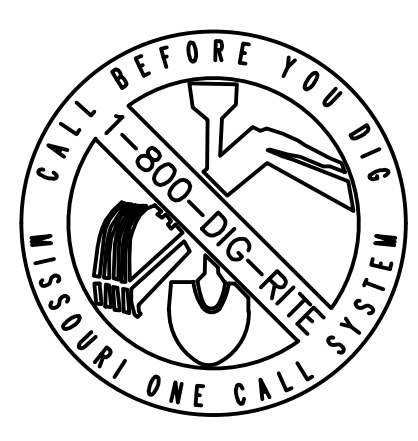
NO. REV.	DATE	REVISIONS DESCRIPTION	BY
1	2018.07.31	Revised per Staff comments	

TITLE SHEET	2018
WOODSIDE RIDGE PRELIMINARY DEVELOPMENT PLAN	
LEE'S SUMMIT, MO	

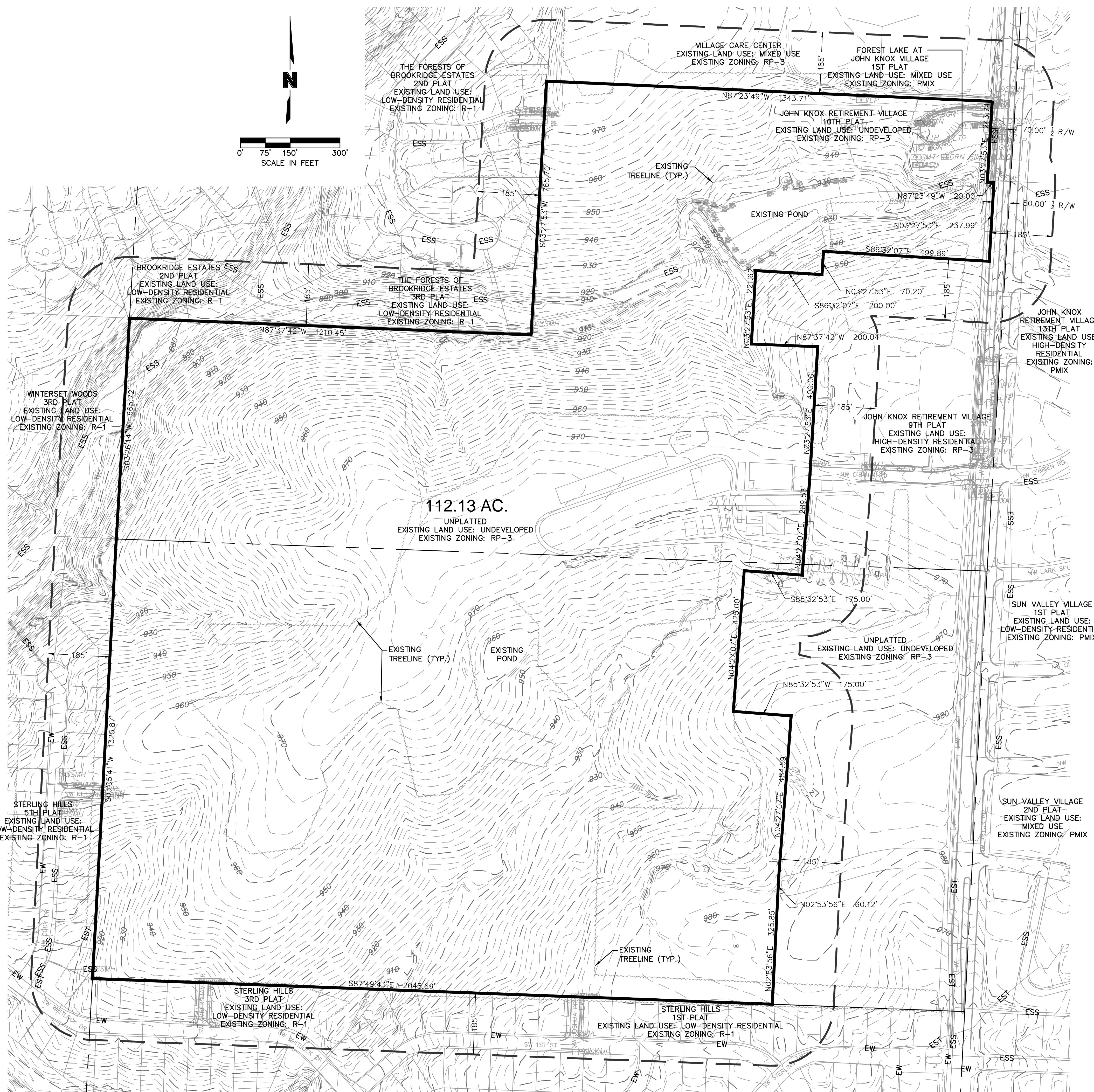
SHEET
01

drawn by: _____ C:JH
checked by: _____ JFE
designed by: _____ C:JH
QA/QC by: _____ JFE
project no.: 018-1140
date: 2018.06.22

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DATE: Jul 31, 2018 9:08am
USER: chaimquist



LEGEND	
GENERAL	
[Symbol]	ACU AIR CONDITIONING UNIT
[Symbol]	AST ARROW STRAIGHT
[Symbol]	ATL ARROW TURN LEFT
[Symbol]	ATR ARROW TURN RIGHT
[Symbol]	BLB BILLBOARD
[Symbol]	BOV BLOW OFF VALVE
[Symbol]	BSH BUSH
[Symbol]	COL COLUMN
[Symbol]	CTR CONIFEROUS TREE
[Symbol]	DRN DRAIN GRATE
[Symbol]	DTR DECIDUOUS TREE
[Symbol]	FLP FLAG POLE
[Symbol]	GDP GUARD POST
[Symbol]	GPL GUY POLE
[Symbol]	GTP GREASE TRAP
[Symbol]	GUY GUY WIRE
[Symbol]	HCP ACCESSIBLE PARKING MARKER
[Symbol]	LST LIFT STATION
[Symbol]	MLB MAILBOX
[Symbol]	MP MILE POST MARKER
[Symbol]	MWL MONITORING WELL
[Symbol]	PIV POST INDICATOR VALVE
[Symbol]	PPT PROPANE TANK
[Symbol]	RAT RADIO TOWER
[Symbol]	SAD SATELLITE
[Symbol]	SCV SPRINKLER CONTROL VALVE
[Symbol]	SGN SIGN
[Symbol]	SLB STREET LIGHT BOX
[Symbol]	SLC STREET LIGHT CABINET
[Symbol]	SPB SPRINKLER BOX
[Symbol]	SPH SPRINKLER HEAD
[Symbol]	STP STUMP
[Symbol]	SVL SEWER VALVE
[Symbol]	TCB TRAFFIC CONTROL BOX
[Symbol]	TSA TRAFFIC SIGNAL WITH MAST ARM
[Symbol]	TSC TRAFFIC SIGNAL CABINET
[Symbol]	TSMH TRAFFIC SIGNAL MANHOLE
[Symbol]	TSP TRAFFIC SIGNAL POLE
[Symbol]	EXISTING TREELINE
[Symbol]	EXISTING SIDEWALK
[Symbol]	EXISTING BUILDINGS
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	EXISTING ROADWAY CENTER LINE
[Symbol]	EXISTING CURB & GUTTER
[Symbol]	R RADIUS
[Symbol]	L ARC DISTANCE
[Symbol]	D DELTA / CENTRAL ANGLE
EASEMENTS & SETBACKS	
[Symbol]	A.E. ACCESS EASEMENT
[Symbol]	B.M.P. BEST MANAGEMENT PRACTICE EASEMENT
[Symbol]	B.L. BUILDING SETBACK
[Symbol]	C.T.V.E. CABLE TV EASEMENT
[Symbol]	C.E. CONSERVATION EASEMENT
[Symbol]	C.G.E. CONSTRUCTION GRADING EASEMENT
[Symbol]	F.P.E. FLOOD PLAIN EASEMENT
[Symbol]	F.O.E. FIBER OPTIC EASEMENT
[Symbol]	F.P.S.E. FIRE PROTECTION SYSTEM EASEMENT
[Symbol]	F.L.E. FUEL LINE EASEMENT
[Symbol]	L.S.E. LANDSCAPE EASEMENT
[Symbol]	G.E. NATURAL GAS EASEMENT
[Symbol]	T.E. TELEPHONE EASEMENT
[Symbol]	E.E. POWER/ELECTRIC EASEMENT
[Symbol]	P.S. PARKING SETBACK
[Symbol]	S.B. STREAM BUFFER
[Symbol]	S.D.E. SURFACE DRAINAGE EASEMENT
[Symbol]	SIGHT DIST. ESMT. SIGHT DISTANCE EASEMENT
[Symbol]	S.E. SANITARY SEWER EASEMENT
[Symbol]	S.L.E. STEAM LINE EASEMENT
[Symbol]	D.E. STORM DRAINAGE EASEMENT
[Symbol]	S.W.M.E. STORM WATER MANAGEMENT EASEMENT
[Symbol]	T.C.D.S.E. TEMPORARY CUL-DE-SAC EASEMENT
[Symbol]	TEMP. ESMT. TEMPORARY EASEMENT
[Symbol]	TRAIL ESMT. TRAIL/PATH EASEMENT
[Symbol]	U.E. UTILITY EASEMENT
[Symbol]	W.E. WATER EASEMENT
[Symbol]	F.Y.S. FRONT YARD SETBACK
[Symbol]	R.Y.S. REAR YARD SETBACK
[Symbol]	S.Y.S. SIDE YARD SETBACK
SURVEY MARKERS	
[Symbol]	BMK BENCHMARK
[Symbol]	CPT CONTROL POINT
[Symbol]	FND FOUND MONUMENT
[Symbol]	ROW ROW MARKER
[Symbol]	SCR SECTION CORNER
[Symbol]	SET SET MONUMENT
BOUNDARIES	
[Symbol]	SECTION LINE
[Symbol]	EXISTING PROPERTY BOUNDARY
[Symbol]	PROPOSED PROPERTY BOUNDARY
[Symbol]	EXISTING LOT LINE
[Symbol]	EXISTING RIGHT-OF-WAY
UTILITIES	
[Symbol]	CAB CABLE BOX
[Symbol]	CAV CABLE VAULT
[Symbol]	TVP TELEVISION PEDESTAL
[Symbol]	TVR TELEVISION RISER
[Symbol]	ECVH EXISTING CABLE TV, OVERHEAD
[Symbol]	ECTV EXISTING CABLE TV, UNDERGROUND
[Symbol]	FOB FIBER OPTIC BOX
[Symbol]	FOM FIBER OPTIC MANHOLE
[Symbol]	FOP FIBER OPTIC PEDESTAL
[Symbol]	FOV FIBER OPTIC VAULT
[Symbol]	EF0H EXISTING FIBER OPTIC, OVERHEAD
[Symbol]	EF0 EXISTING FIBER OPTIC, UNDERGROUND
[Symbol]	FDC FIRE DEPT. CONNECTION
[Symbol]	EFF EXISTING FIRE PROTECTION SYSTEM LINE
[Symbol]	EFL EXISTING FUEL LINE
[Symbol]	GAR GAS RISER
[Symbol]	GMH GAS MANHOLE
[Symbol]	GMK GAS MARKER
[Symbol]	GMT GAS METER
[Symbol]	GRG GAS REGULATOR
[Symbol]	GVL GAS VALVE
[Symbol]	EG EXISTING NATURAL GAS LINE
[Symbol]	TEC TELEPHONE CABINET
[Symbol]	TEP TELEPHONE PEDESTAL
[Symbol]	TER TELEPHONE RISER
[Symbol]	TEV TELEPHONE VAULT
[Symbol]	TMH TELEPHONE MANHOLE
[Symbol]	ETELH EXISTING TELEPHONE LINE, OVERHEAD
[Symbol]	ETEL EXISTING TELEPHONE LINE, UNDERGROUND
[Symbol]	GLT GROUND LIGHT
[Symbol]	LTP LIGHT POLE
[Symbol]	PWP POWER POLE
[Symbol]	TRF ELECTRIC TRANSFORMER
[Symbol]	EBX ELECTRIC BOX
[Symbol]	ELC ELECTRIC CABINET
[Symbol]	ELR ELECTRIC RISER
[Symbol]	EMH ELECTRIC MANHOLE
[Symbol]	EMT ELECTRIC METER
[Symbol]	ESC ELECTRIC SECTIONALIZER
[Symbol]	EVT ELECTRIC VAULT
[Symbol]	YDL YARD LIGHT
[Symbol]	EEGH EXISTING POWER/ELECTRIC LINE, OVERHEAD
[Symbol]	EE EXISTING POWER/ELECTRIC LINE, UNDERGROUND
[Symbol]	SCO SEWER CLEANOUT
[Symbol]	SSMH SANITARY MANHOLE
[Symbol]	ESS EXISTING SANITARY SEWER
[Symbol]	ESL EXISTING STEAM LINE
[Symbol]	SDMH STORM SEWER MANHOLE
[Symbol]	FES FLARED END SECTION
[Symbol]	RDN ROOF DRAIN
[Symbol]	EST EXISTING STORM SEWER
[Symbol]	FH FIRE HYDRANT
[Symbol]	WMH WATER MANHOLE
[Symbol]	WMK WATER MARKER
[Symbol]	WMT WATER METER
[Symbol]	WVL WATER VALVE
[Symbol]	EW EXISTING WATER LINE
CONTOURS	
[Symbol]	-100- EXISTING INDEX CONTOURS
[Symbol]	-100- EXISTING INTERMEDIATE CONTOURS



NOTES:
 1. EXISTING ZONING: RP-3; EXISTING LAND USE: UNDEVELOPED
 2. NO OIL OR GAS WELLS ARE LOCATED ON THE PROPERTY. INFORMATION VERIFIED VIA MISSOURI DNR: <https://dnr.mo.gov/geology/geosrv/oilandgas.htm> (UPDATED FEBRUARY 2018)
 3. FEMA FLOODPLAIN DESIGNATION: AREA OF MINIMAL FLOOD HAZARD
 4. BOUNDARY AND SECTION LINES ARE SURVEYED; TOPOGRAPHY AND SURROUNDING CONTEXT INFORMATION OBTAINED VIA GIS.

1000 S. W. 10th St., Suite 100
 Ft. Lauderdale, FL 33304
 TEL: 816.587.1300
 FAX: 816.587.1393
 www.ololssonassociates.com

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EXISTING CONDITIONS

WOODSIDE RIDGE
 PRELIMINARY DEVELOPMENT PLAN

2018

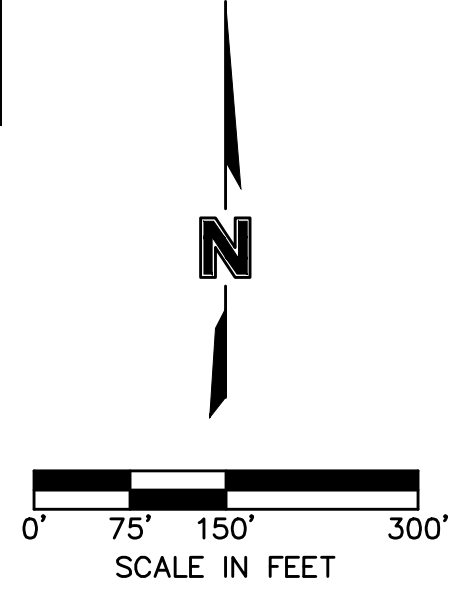
LEE'S SUMMIT, MO

drawn by: C.H.
 checked by: J.E.
 designed by: C.H.
 QA/QC by: J.E.
 project no.: 018-1140
 date: 2018.06.22

DEVELOPMENT DATA TABLE													
PHASE	LAND USE	GROSS ACRES	STREET R/W (AC.)	OPEN SPACE (AC.)	DETENTION (AC.)	NET ACRES	UNITS	D.U./AC. (GROSS)	D.U./AC. (NET)	COMMENCE DATE	COMPLETION DATE	PARKING (REQ.)	PARKING (PROV.)
1	S.F. RES.	79.20	8.86	2.01	31.21	37.12	146	1.84	3.93	2018	2020	13	16
2	S.F. RES.	32.93	3.29	0.14	10.50	19.00	60	1.82	3.16	2020	2022	0	0
TOTAL		112.13	12.15	2.15	41.71	56.12	206	1.84	3.67			13	16

TRACT AREAS		
TRACT	TYPE	AREA (AC.)
A	OPEN SPACE	0.34
B	DETENTION	11.04
C	OPEN SPACE	0.95
D	DETENTION	14.21
E	OPEN SPACE	0.53
F	OPEN SPACE	0.19
G	DETENTION	2.35
H	DETENTION	3.61
I	OPEN SPACE	0.14
J	DETENTION	10.50

- GENERAL NOTES:
- EXISTING ZONING: RP-3. NO CHANGE IN ZONING IS PROPOSED.
 - PROPOSED STREET RIGHT-OF-WAYS SHALL BE 50'.
 - PROPOSED STREET WIDTHS SHALL BE 28' MEASURED BETWEEN BACKS OF CURBS.
 - LOT DIMENSIONS AND SETBACKS ARE AS FOLLOWS:
TRACT C (POOL AND CABANA): 20' B.L.
TRACT I-44:
MINIMUM DEPTH: 110'*
MINIMUM WIDTH: 50'
MINIMUM AREA: 5000 SF
FRONT SETBACK: 25'
SIDE YARD SETBACK: 5'
REAR YARD SETBACK: 20'*
CORNER LOTS: 15' SIDE S.B.; 25' SIDE S.B. WHERE ADJACENT LOT FRONTS SIDE STREET
* LOTS 34-36, 43-44 DIMENSION EXCEPTIONS AS NOTED ON PLAN. REAR SETBACK = 10'.
TRACTS 45-76:
MINIMUM DEPTH: 130'
MINIMUM WIDTH: 72'
MINIMUM AREA: 9360 SF
FRONT SETBACK: 30'
SIDE YARD SETBACK: 7.5'
REAR YARD SETBACK: 20'
CORNER LOTS: 15' SIDE S.B.; 25' SIDE S.B. WHERE ADJACENT LOT FRONTS SIDE STREET
TRACTS 77-206:
MINIMUM DEPTH: 130'
MINIMUM WIDTH: 75'
MINIMUM AREA: 9750 SF
FRONT SETBACK: 30'
SIDE YARD SETBACK: 7.5'
REAR YARD SETBACK: 20'
CORNER LOTS: 15' SIDE S.B.; 25' SIDE S.B. WHERE ADJACENT LOT FRONTS SIDE STREET
 - 5' SIDEWALKS SHALL BE INSTALLED ALONG ONE SIDE OF ALL PROPOSED STREETS.
 - THE FOLLOWING SHALL BE PROVIDED FOR TRACT C WITH FINAL DEVELOPMENT PLAN AND SHALL COMPLY WITH U.D.O. REQUIREMENTS:
 - PHOTOMETRIC PLAN
 - LIGHTING DETAILS
 - CABANA ELEVATIONS
 - TRASH ENCLOSURE
 - PAVEMENT, CURB, SIGNAGE DETAILS
 - PROPOSED MONUMENT SIGNS SHALL COMPLY WITH U.D.O. REQUIREMENTS.



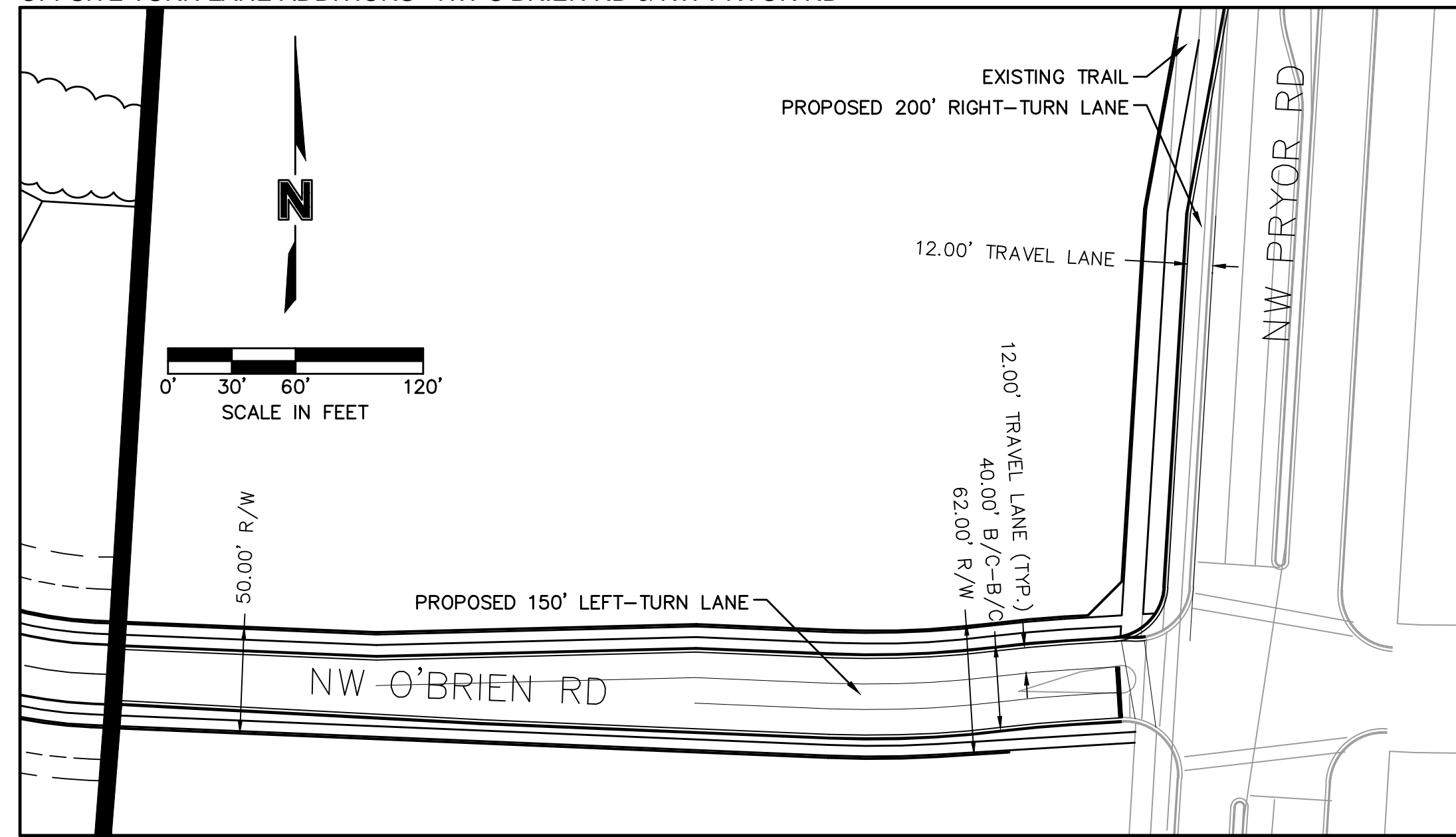
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MOLSSON ASSOCIATES
 1000 S. W. 10th St., Suite 100
 Ft. Lauderdale, FL 33304
 TEL: 816.587.4300
 FAX: 816.587.1393
 www.molssonassociates.com

NO. REV.	DATE	REVISIONS DESCRIPTION
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SITE PLAN - OVERALL
 WOODSIDE RIDGE
 PRELIMINARY DEVELOPMENT PLAN
 LEE'S SUMMIT, MO
 2018
 drawn by: C.H.
 checked by: J.E.
 designed by: C.H.
 QA/QC by: J.E.
 project no.: 018-1140
 date: 2018.06.22
SHEET 03

OFFSITE TURN LANE ADDITIONS - NW O'BRIEN RD & NW PRYOR RD



NOTE: LOTS 34, 35, 36, 43, & 44 SHALL HAVE A 10' REAR YARD SETBACK

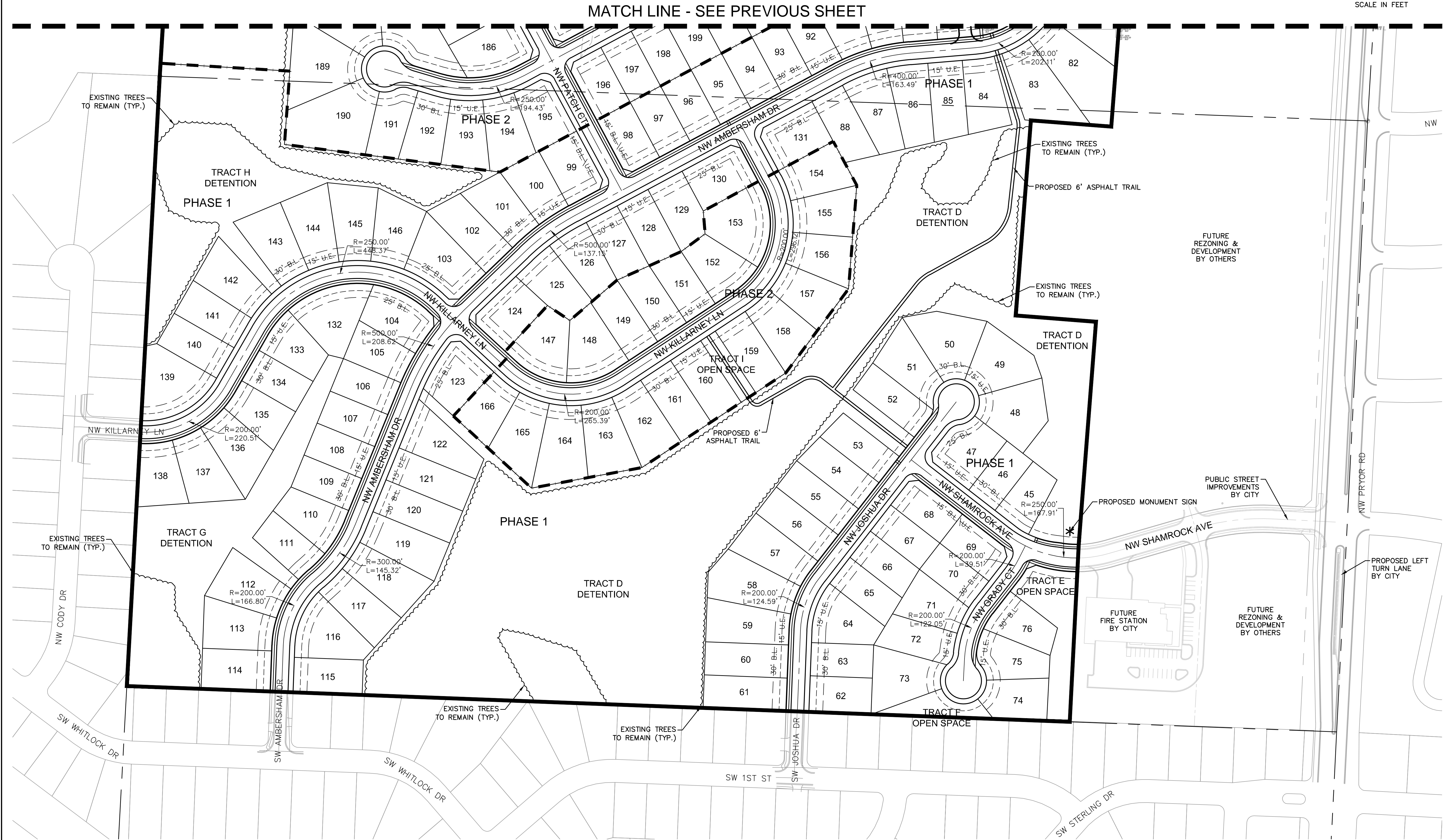


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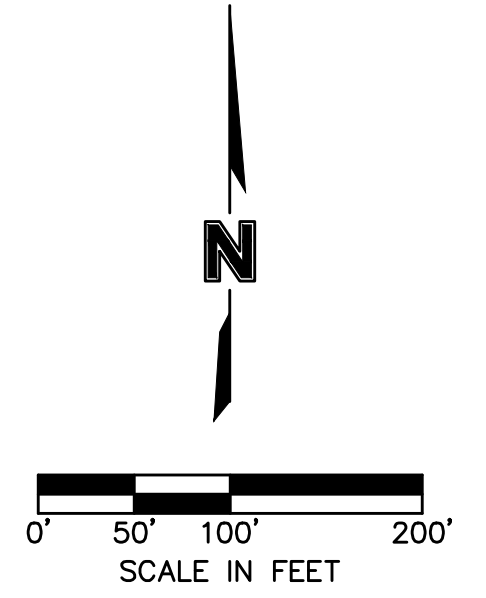
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1		2018.07.31	Revised per Staff comments

SITE PLAN - NORTH
 WOODSIDE RIDGE
 PRELIMINARY DEVELOPMENT PLAN
 LEE'S SUMMIT, MO
 2018

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 USER: chaimquist



MATCH LINE - SEE PREVIOUS SHEET



NO.	REV.	DATE	REVISIONS DESCRIPTION
1		2018.07.31	Revised per Staff comments

SITE PLAN - SOUTH
 WOODSIDE RIDGE
 PRELIMINARY DEVELOPMENT PLAN
 LEE'S SUMMIT, MO
 2018

drawn by: C/H
 checked by: J/E
 designed by: C/H
 QA/QC by: J/E
 project no.: 0181140
 date: 2018.06.22

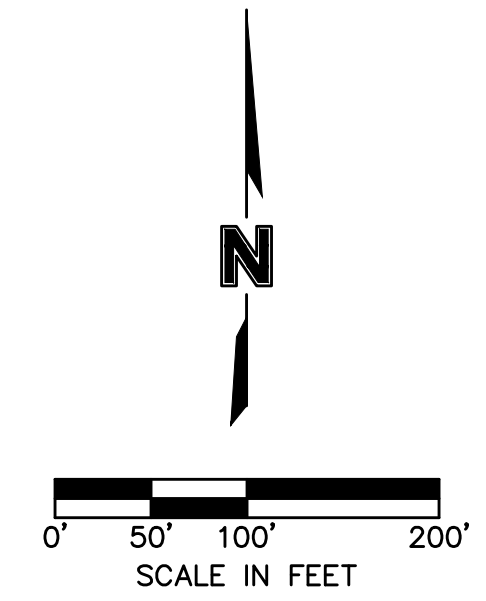
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 DATE: Jul 31, 2018 9:10am



MATCH LINE - SEE NEXT SHEET

LEGEND	
-100-	EXISTING INDEX CONTOURS
-100-	EXISTING INTERMEDIATE CONTOURS
-100-	PROPOSED INDEX CONTOURS
-100-	PROPOSED INTERMEDIATE CONTOURS
-100-	FUTURE INDEX CONTOURS
-100-	FUTURE INTERMEDIATE CONTOURS



NO. REV.	DATE	REVISIONS DESCRIPTION	BY
1	2018.07.31	Revised per Staff comments	

PRELIMINARY GRADING PLAN - NORTH
 WOODSIDE RIDGE
 PRELIMINARY DEVELOPMENT PLAN
 LEE'S SUMMIT, MO
 2018

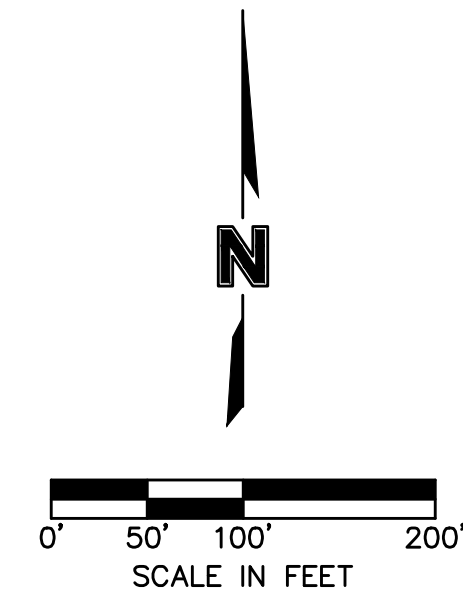
SHEET 06

OLSSON ASSOCIATES
 1500 South of Independence
 300 E. IRLINGTON SUITE 100
 NORTH KANSAS CITY, MO 64116
 TEL: 816.587.4300
 FAX: 816.587.1393
 www.olssonassociates.com

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 DATE: Jul 31, 2018 9:11am USER: chalmquist

MATCH LINE - SEE PREVIOUS SHEET

LEGEND	
---100---	EXISTING INDEX CONTOURS
- - -100-	EXISTING INTERMEDIATE CONTOURS
—100—	PROPOSED INDEX CONTOURS
- - -100-	PROPOSED INTERMEDIATE CONTOURS
—100—	FUTURE INDEX CONTOURS
- - -100-	FUTURE INTERMEDIATE CONTOURS



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PRELIMINARY GRADING PLAN - SOUTH
 WOODSIDE RIDGE
 PRELIMINARY DEVELOPMENT PLAN
 LEE'S SUMMIT, MO
 2018

SHEET 07

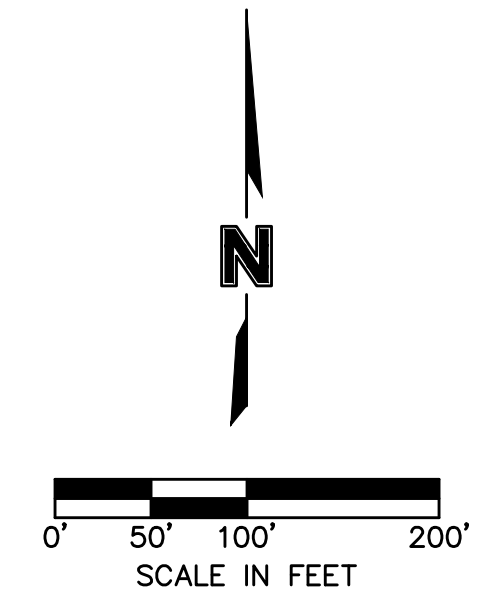
drawn by: C.H.
 checked by: J.E.
 designed by: C.H.
 QA/QC by: J.E.
 project no.: 018-1140
 date: 2018.06.22

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MATCH LINE - SEE NEXT SHEET

LEGEND	
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	FUTURE SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	FUTURE STORM SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	FUTURE WATER LINE



- NOTES:
 1. ALL PROPOSED WATER LINES SHALL BE 8".
 2. ALL PROPOSED SANITARY SEWER LINES SHALL BE 8".

PRELIMINARY UTILITY PLAN - NORTH

WOODSIDE RIDGE
PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

NO. REV. DATE

1 2018.07.31

REVISIONS DESCRIPTION

Revised per Staff comments

BY

2018

REVISIONS

drawn by: C.J.H.

checked by: J.E.E.

designed by: C.J.H.

QA/QC by: J.E.E.

project no.: 018-1140

date: 2018.06.22

SHEET 08

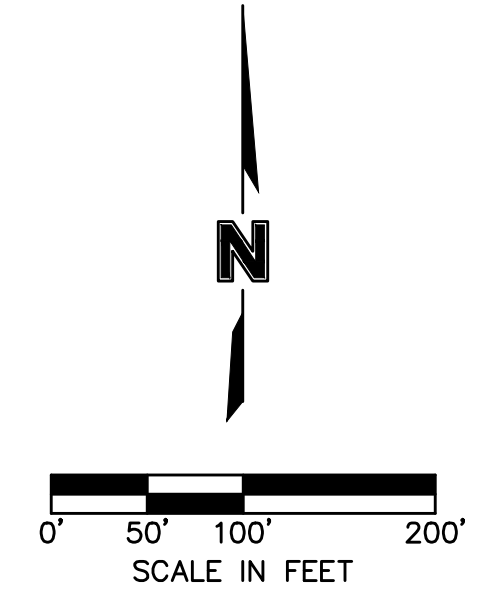
OLSSON ASSOCIATES

1000 South of Independence
 300 E. Main, Independence, MO 64240
 NORTH KANSAS CITY, MO 64116
 TEL: 816.587.1330 FAX: 816.587.1393
 www.olssonassociates.com

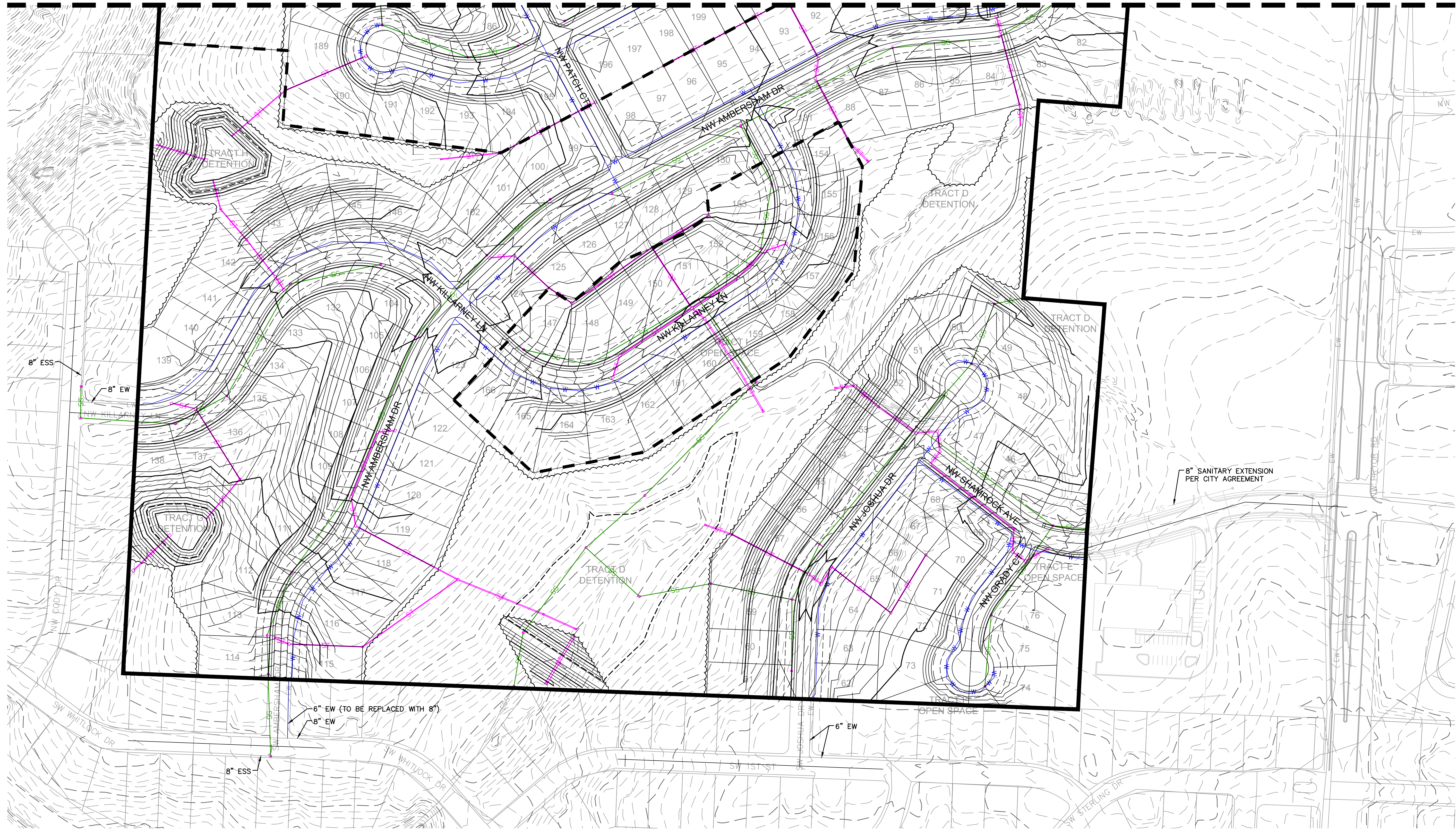
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- NOTES:
 1. ALL PROPOSED WATER LINES SHALL BE 8".
 2. ALL PROPOSED SANITARY SEWER LINES SHALL BE 8".

LEGEND	
ESS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
FSS	FUTURE SANITARY SEWER
ESS	EXISTING STORM SEWER
SS	PROPOSED STORM SEWER
FSS	FUTURE STORM SEWER
EW	EXISTING WATER LINE
W	PROPOSED WATER LINE
FW	FUTURE WATER LINE



MATCH LINE - SEE PREVIOUS SHEET



PRELIMINARY UTILITY PLAN - SOUTH		REVISIONS	
NO. REV.	DATE	NO.	DATE
1	2018.07.31		
REVISIONS DESCRIPTION		REVISIONS DESCRIPTION	
Revised per Staff comments		Revised per Staff comments	
WOODSIDE RIDGE PRELIMINARY DEVELOPMENT PLAN		2018	
LEE'S SUMMIT, MO			

OLSSON ASSOCIATES
 1301 E. LINCOLN ST. SUITE 100
 NORTH KANSAS CITY, MO 64116
 TEL 816.587.4300
 FAX 816.587.1393
 www.olssonassociates.com

drawn by: C.J.H.
 checked by: J.E.F.
 designed by: C.J.H.
 QA/QC by: J.E.F.
 project no.: 018-1140
 date: 2018.06.22

SHEET 09

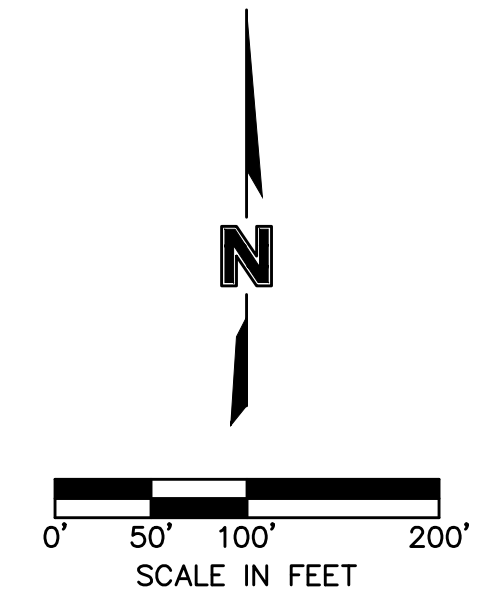
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 USER: cholmquist



MATCH LINE - SEE NEXT SHEET

STREAM BUFFER AREAS (NORTH WATERSHED)	
STREAM BUFFER IMPACT AREA	0.82 AC.
ADDITIONAL AREA DEDICATED TO STREAM BUFFER	0.95 AC.
NET AREA	0.13 AC.

LEGEND	
ESS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
FSS	FUTURE SANITARY SEWER
EST	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
FST	FUTURE STORM SEWER
EW	EXISTING WATER LINE
W	PROPOSED WATER LINE
FW	FUTURE WATER LINE

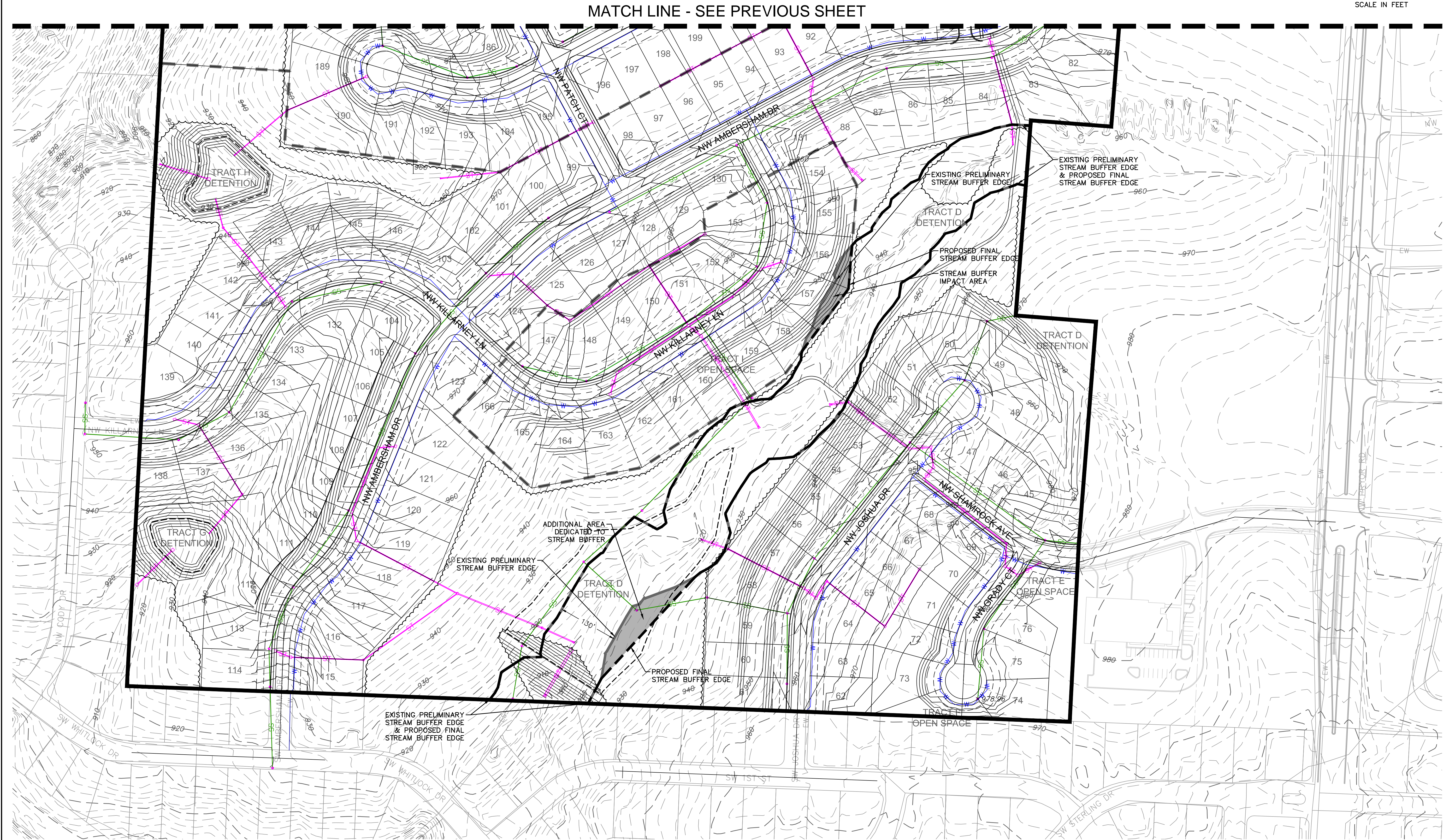


STREAM BUFFER SETBACKS DETERMINED VIA KC METRO APWA STANDARDS.

NO. REV.	DATE	REVISIONS DESCRIPTION	BY
1	2018.07.31	Revised per Staff comments	

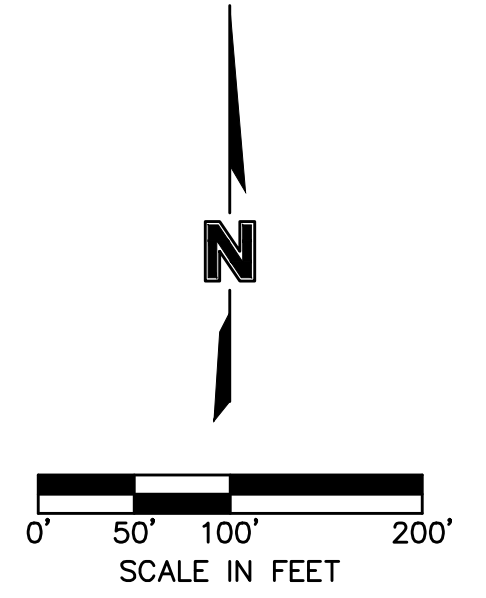
PRELIMINARY STREAM BUFFER PLAN - NORTH
 WOODSIDE RIDGE
 PRELIMINARY DEVELOPMENT PLAN
 LEE'S SUMMIT, MO
 2018

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 DATE: Jul 31, 2018 9:13am
 USER: chalmquist



STREAM BUFFER AREAS (SOUTH WATERSHED)	
STREAM BUFFER IMPACT AREA	(0.12 AC.)
ADDITIONAL AREA DEDICATED TO STREAM BUFFER	0.22 AC.
NET AREA	0.10 AC.

LEGEND	
ESS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
FSS	FUTURE SANITARY SEWER
ES	EXISTING STORM SEWER
FS	PROPOSED STORM SEWER
FST	FUTURE STORM SEWER
EW	EXISTING WATER LINE
W	PROPOSED WATER LINE
FW	FUTURE WATER LINE



STREAM BUFFER SETBACKS DETERMINED VIA KC METRO APWA STANDARDS.

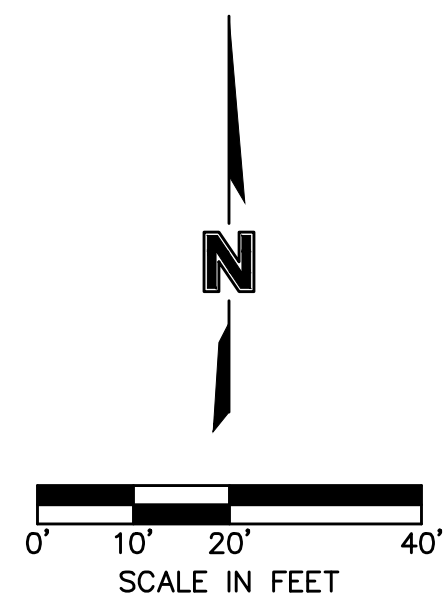
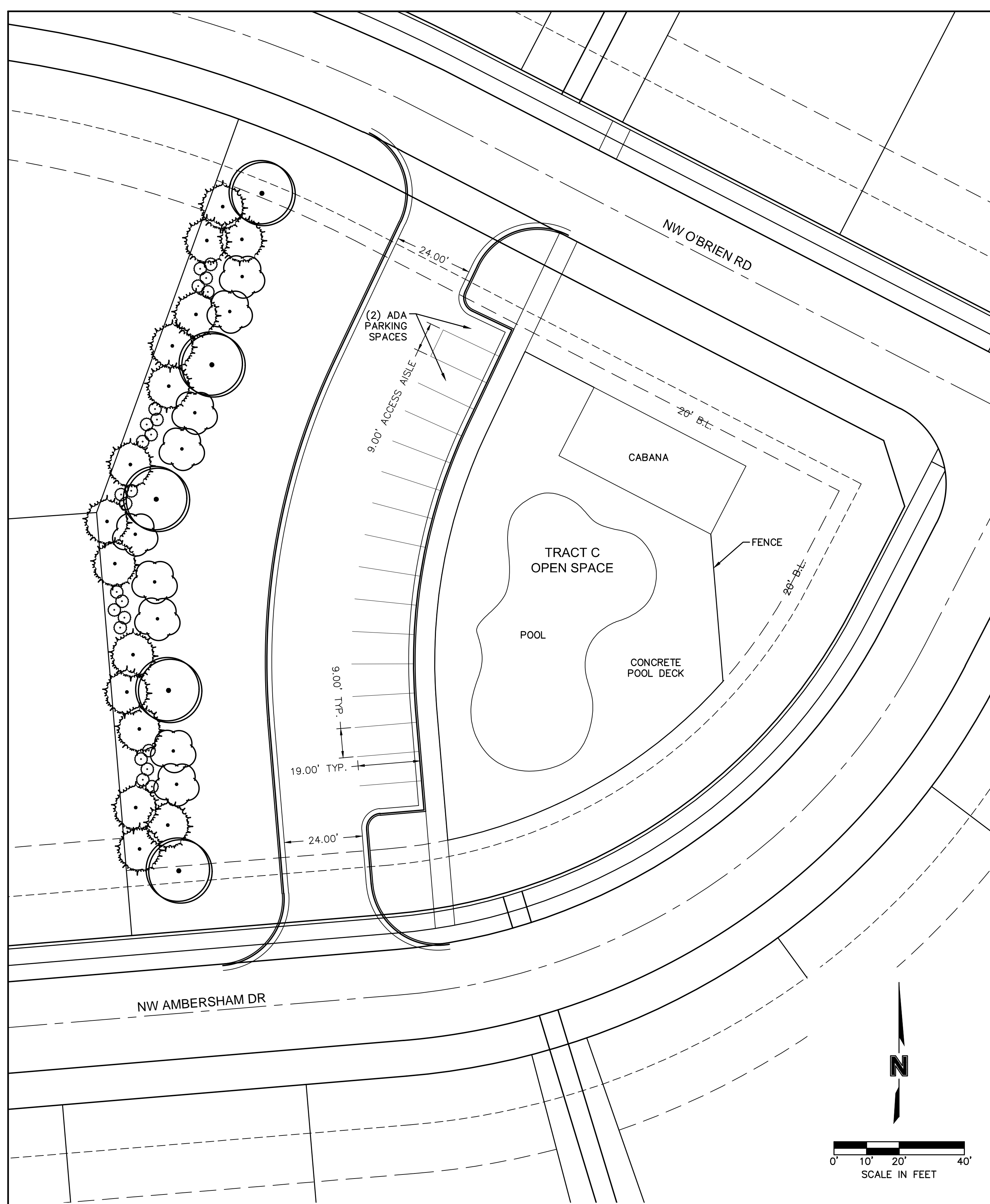
MATCH LINE - SEE PREVIOUS SHEET

NO. REV.	DATE	REVISIONS DESCRIPTION	BY
1	2018.07.31	Revised per Staff comments	

PRELIMINARY STREAM BUFFER PLAN - SOUTH	2018
WOODSIDE RIDGE PRELIMINARY DEVELOPMENT PLAN	
LEE'S SUMMIT, MO	

drawn by: C.H.
 checked by: J.E.
 designed by: C.H.
 QA/QC by: J.E.
 project no.: 018-1140
 date: 2018.06.22

DWG: F:\2018\1001-1500\018-1140-40-Design\AutoCAD\Pre\Development Plans\36x24\C_GEN01_81440.dwg USER: chalmquist
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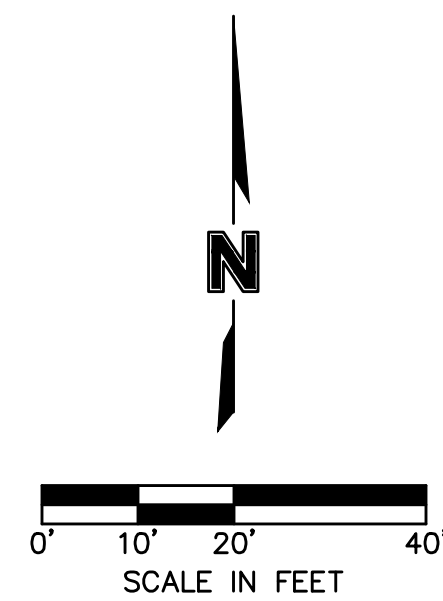
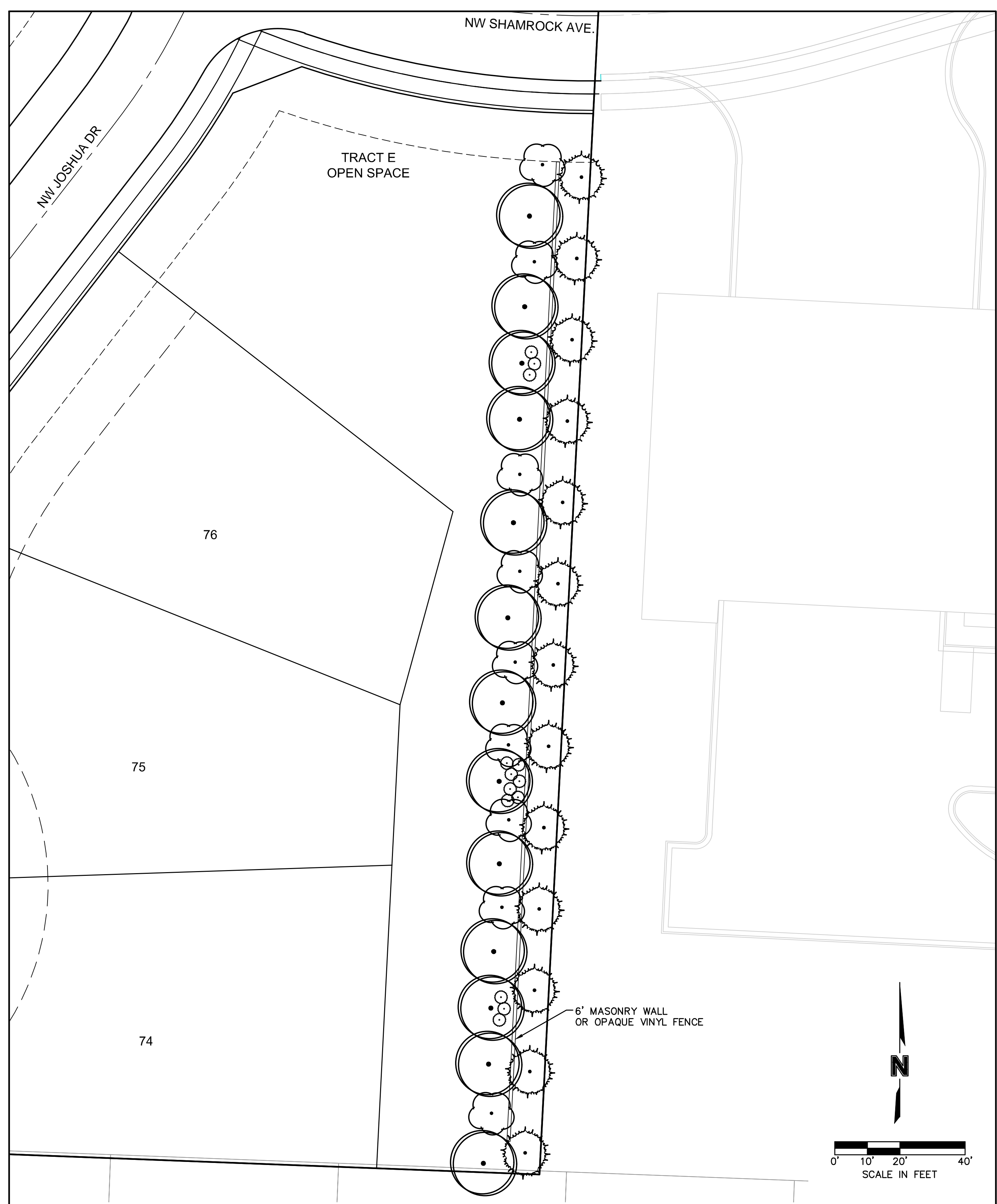


PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CALIPER
	15	EVERGREEN TREE	B&B, 8' HT.	
	9	ORNAMENTAL TREE	B & B	3"
	5	SHADE TREE	B & B	3"
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	
	23	BUFFER SHRUB	CONT., 24" HT.	

REQUIRED PARKING (POOL AREA): 1 PER 16 LOTS = 13 SPACES
 PROVIDED PARKING (POOL AREA): 16 SPACES (INCL. 2 ADA SPACES)

TYPE	RATIO	QUANTITY
SHADE TREE	1:1000 SF	5
ORNAMENTAL TREE	1:500 SF	9
EVERGREEN TREE	1:300 SF	15
SHRUBS	1:200 SF	23



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CALIPER
	13	EVERGREEN TREE	B&B, 8' HT.	
	9	ORNAMENTAL TREE	B & B	3"
	13	SHADE TREE	B & B	3"
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	
	13	BUFFER SHRUB	CONT., 24" HT.	

TYPE	RATIO	QUANTITY
SHADE TREE	1:500 SF	13
ORNAMENTAL TREE	1:750 SF	9
EVERGREEN TREE	1:500 SF	13
SHRUBS	1:500 SF	13

NO. REV.	DATE	REVISIONS DESCRIPTION	BY
1	2018.07.31	Revised per Staff comments	

DETAIL PLANS
 WOODSIDE RIDGE
 PRELIMINARY DEVELOPMENT PLAN
 LEE'S SUMMIT, MO
 2018

VILLAS: LOTS 1-44



LIFESTYLE: LOTS 45-76



SIGNATURE: LOTS 77-206



NO. REV.	DATE	REVISIONS DESCRIPTION	BY
1	2018.07.31	Revised per Staff comments	

BUILDING ELEVATIONS
 WOODSIDE RIDGE
 PRELIMINARY DEVELOPMENT PLAN
 LEE'S SUMMIT, MO
 2018

drawn by: _____ C.JH
 checked by: _____ JEE
 designed by: _____ C.JH
 QA/QC by: _____ JEE
 project no.: 018-1140
 date: 2018.06.22