

Dental Depot Preliminary Development Plan

PL2023-069

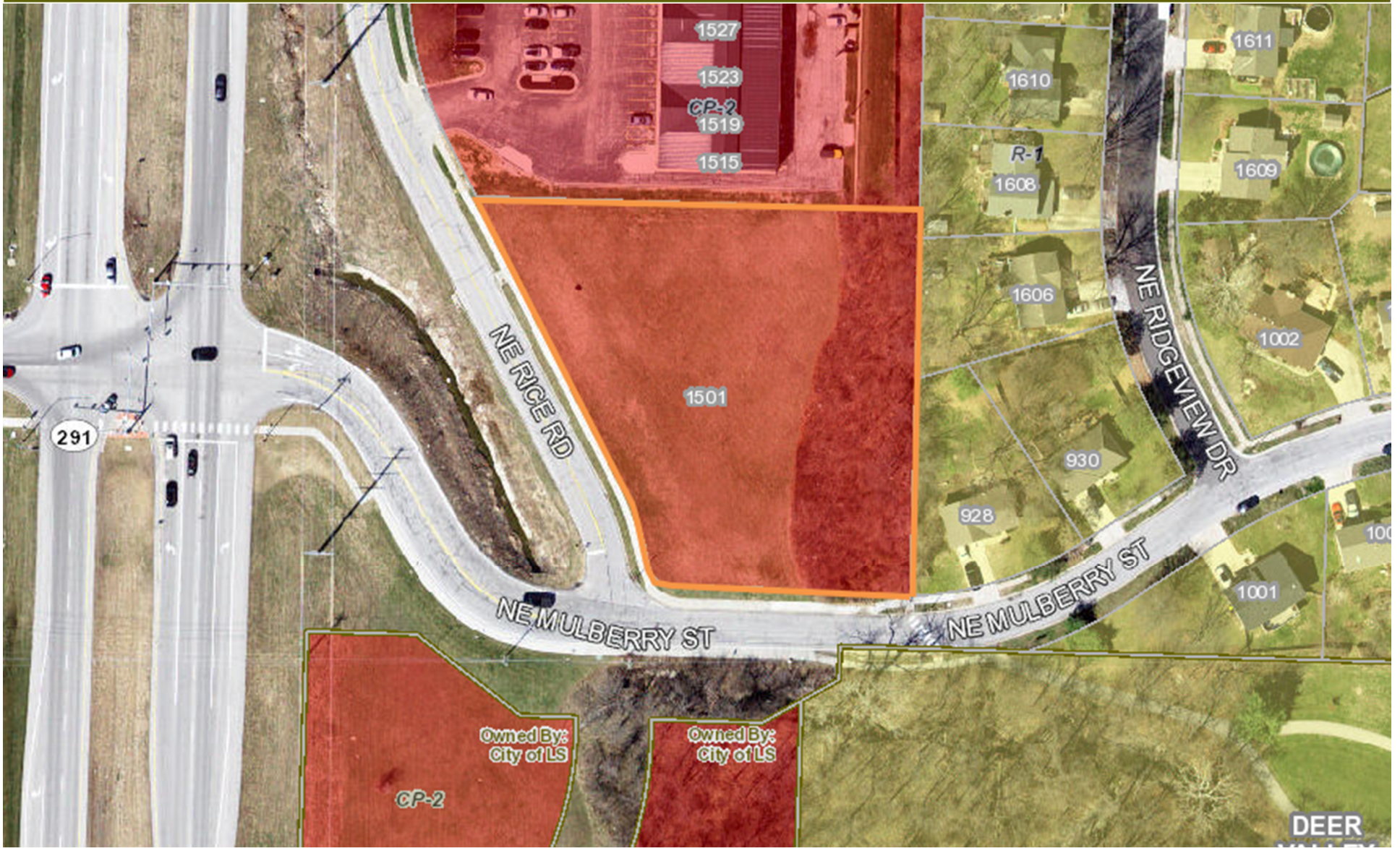
June 20, 2023

LS

LEE'S SUMMIT
MISSOURI

LS

Yours Truly



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Aerial/Zoning Map

Property Size

- 1.32 ac.

Building Area

- 6,070 sq. ft.

Parking

- 49 proposed

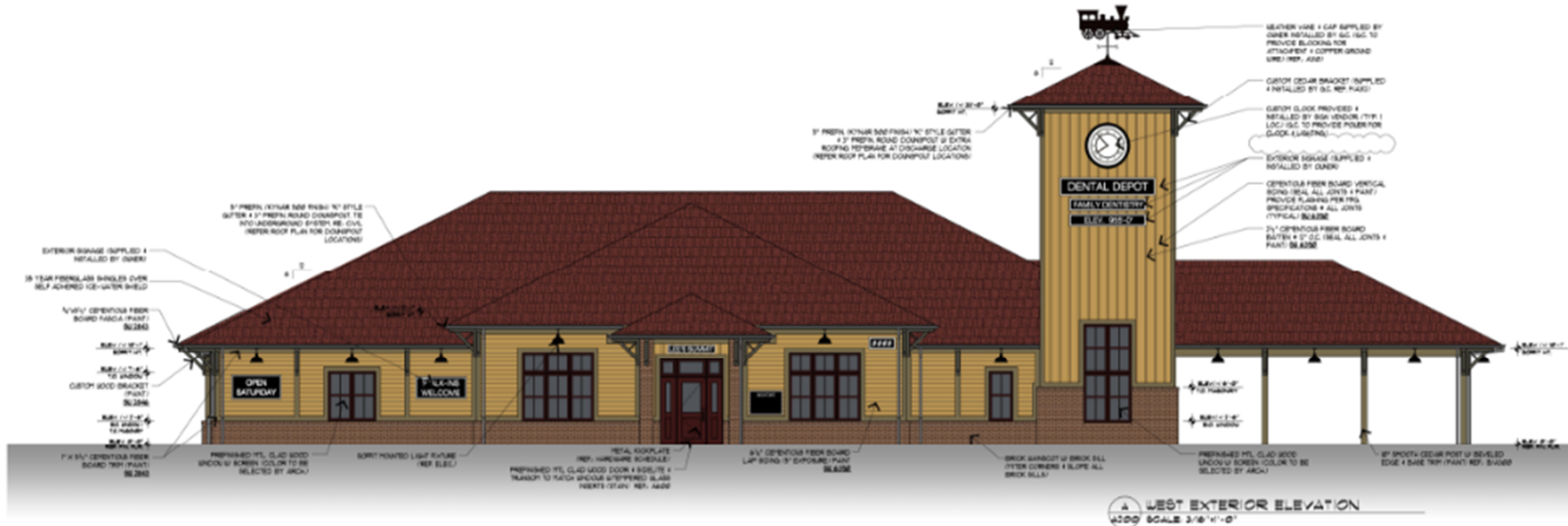
- 31 required

Building Height

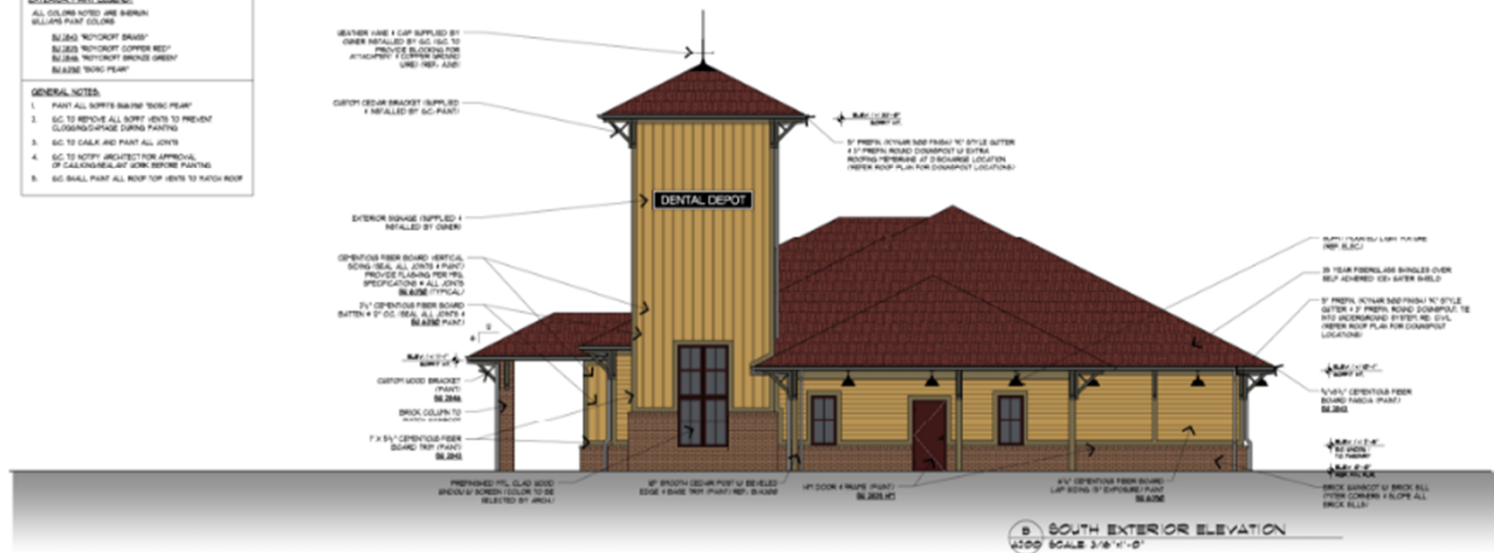
- 37' (building height)

- 21'-6" (water tower height)

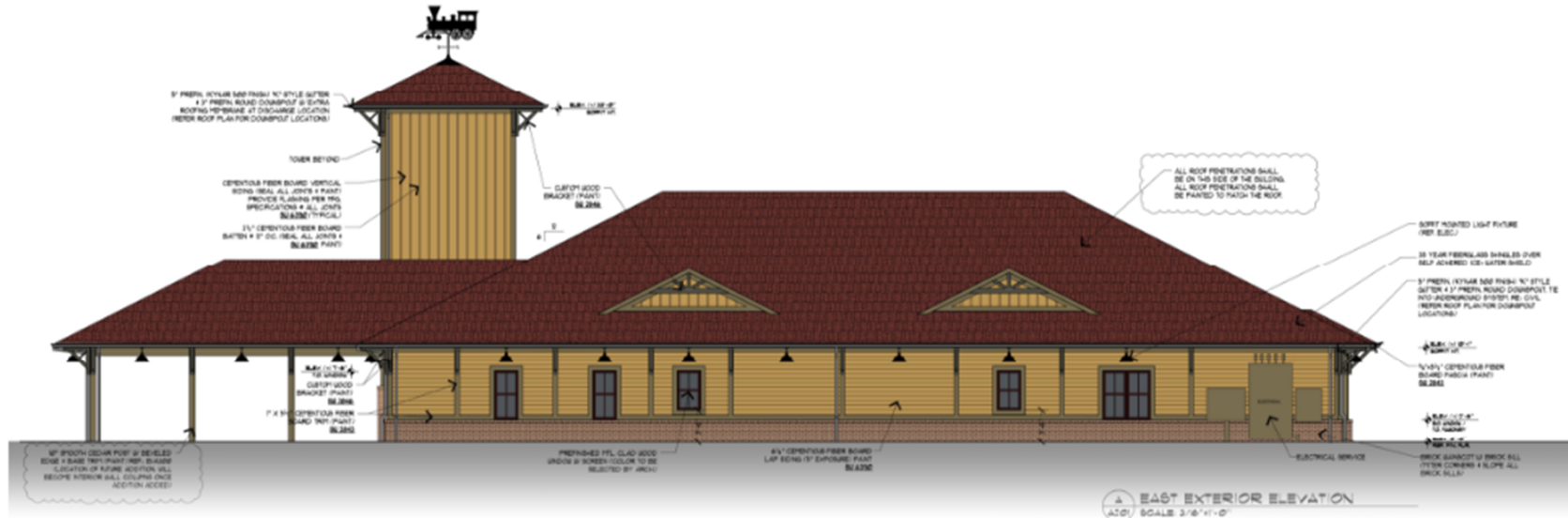




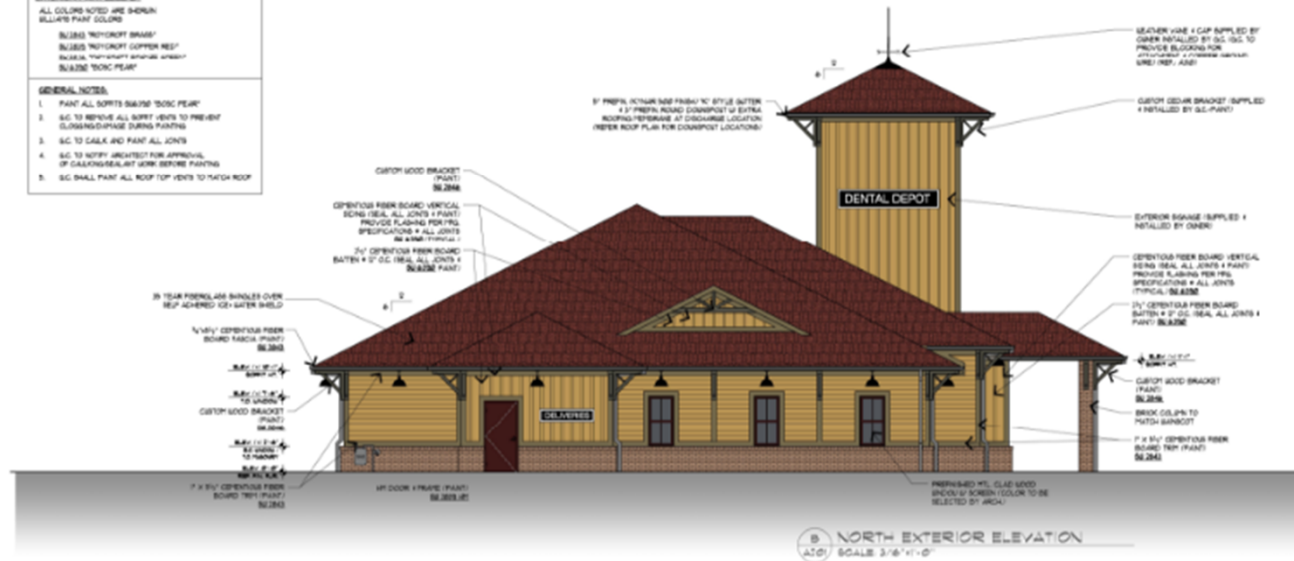
- EXTERIOR PAINT LEGEND**
- ALL COLORS NOTED ARE SHERWIN WILLIAMS PAINT COLORS
- BLAZE "NOTCH" BRASS
 - BLAZE "NOTCH" COPPER NET
 - BLAZE "NOTCH" BRASS GREY
 - BLAZE "BORG" PEAK
- GENERAL NOTES**
1. PAINT ALL SORTS BARS "BORG" PEAK
 2. GC TO REMOVE ALL SORTS JOISTS TO PREVENT CLOSING/GAPING DURING PAINTING
 3. GC TO CALC AND PAINT ALL JOISTS
 4. GC TO NOTIFY ARCHITECT FOR APPROVAL OF CALLING/RECALL WORK BEFORE PAINTING
 5. GC SHALL PAINT ALL ROOF TOP JOISTS TO MATCH ROOF



Elevations



- EXTERIOR PAINT LEGEND:**
- ALL COLORS NOTED ARE 54000N
ILLUSTRATE PAINT COLORS
- BL/2803 "WINDYPORT BRASS"
 - BL/2802 "WINDYPORT COPPER RED"
 - BL/2801 "WINDYPORT BRASS GREEN"
 - BL/2800 "DARK PEAK"
- GENERAL NOTES:**
1. PAINT ALL SURFS BRASS "DARK PEAK"
 2. S.C. TO REMOVE ALL SURFT JOINTS TO PREVENT GROUNDWATER DURING PAINTING
 3. S.C. TO CAULK AND PAINT ALL JOINTS
 4. S.C. TO NOTIFY ARCHITECT FOR APPROVAL OF CAULKING/REARIT WORK BEFORE PAINTING
 5. S.C. SHALL PAINT ALL ROOF TOP JOINTS TO MATCH ROOF



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Elevations



 FITZGERALD + ASSOCIATES
ARCHITECTS & DESIGN CONSULTANTS

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Example Photos

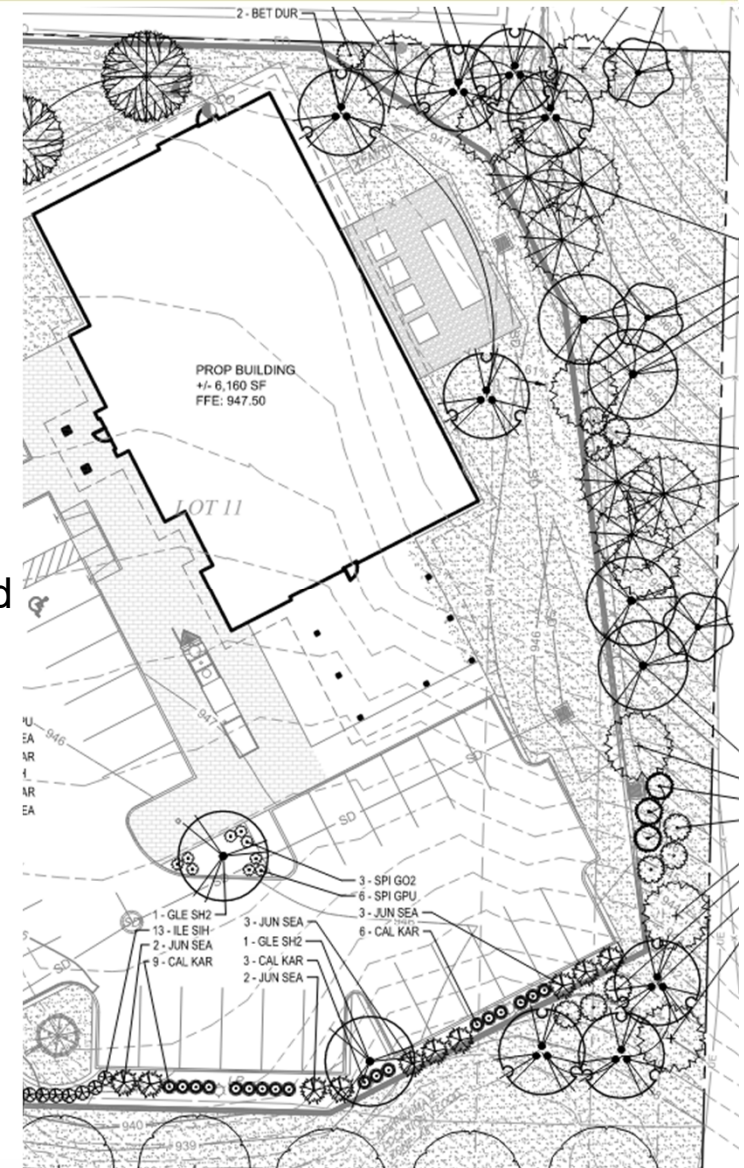
Required –

A 100 percent opaque screen between land uses that are dissimilar in character.

- Six-foot high masonry wall or opaque vinyl fence,
- Low impact vegetation screening planted on both sides of the wall/fence

Proposed –

The applicant has proposed to install the required landscaping screening vegetation without the required six-foot high masonry wall or opaque vinyl fence.



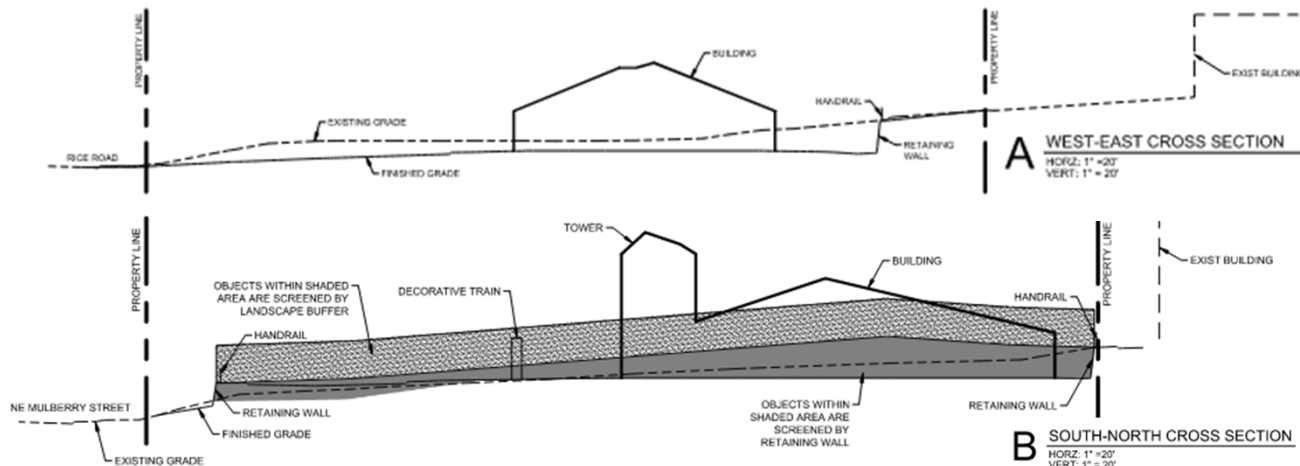
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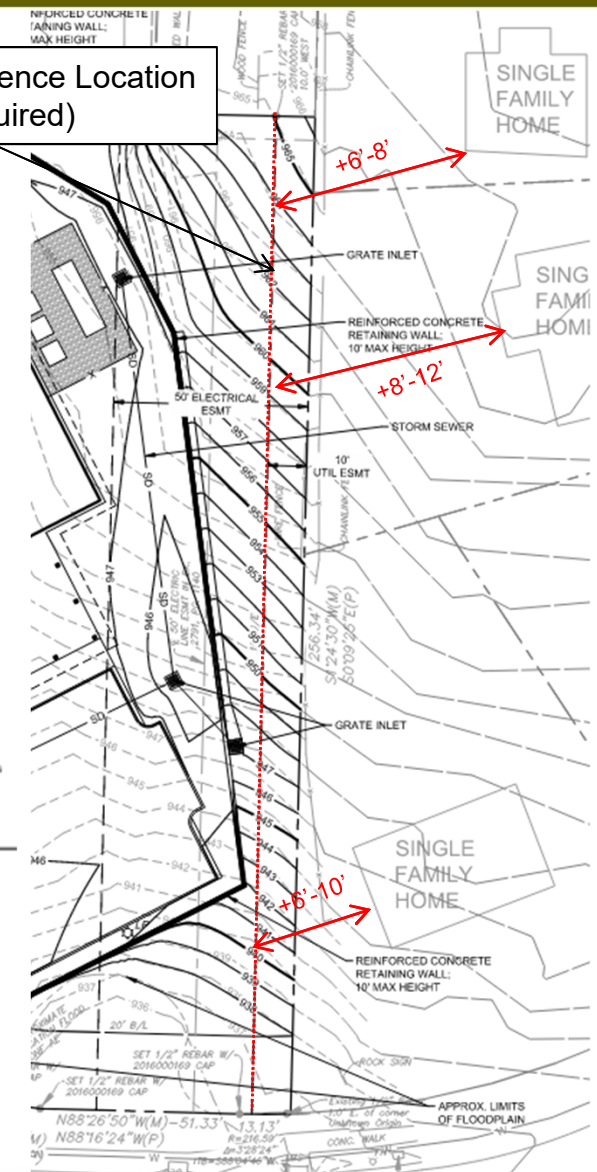
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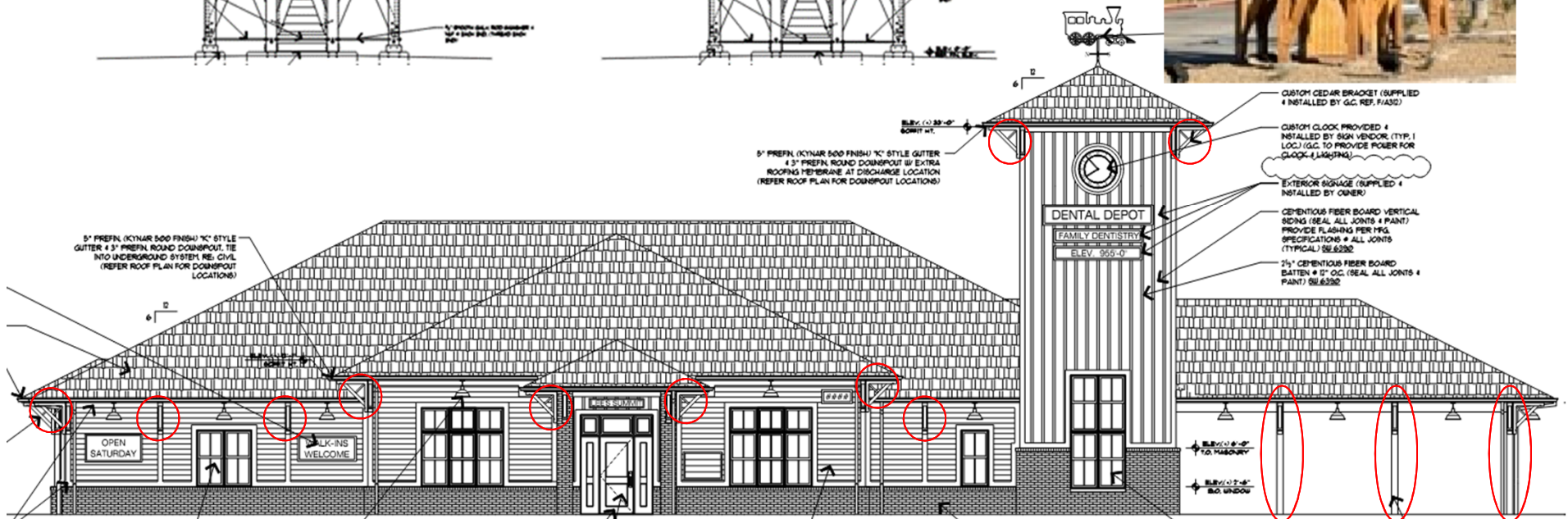
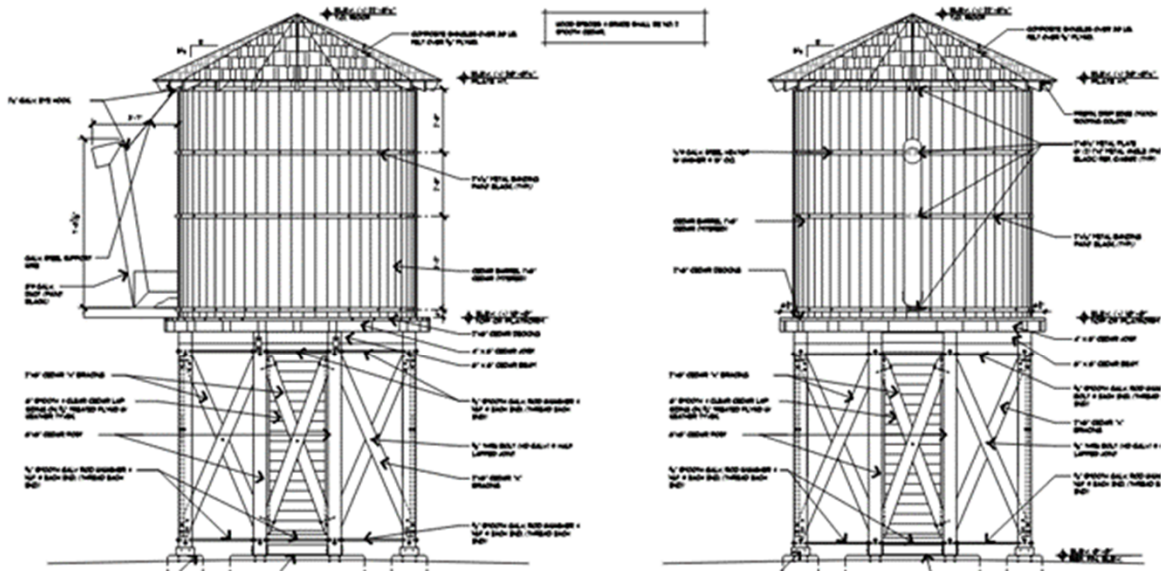


Approximate Fence Location
(If required)



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Requested Modifications



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Conditional Material



B
2'-3" X 5'-0"
11.25 sq ft

C
2'-3" X 5'-0"
11.25 sq ft

D
1'-0" x 5'-0"
5 sq ft

E
1'-11" x 3'-9"
7.188 sq ft

F
1'-5" x 2'-10"
4.014 sq ft

G

1'-8" x 10'-0"
(LIGHTED)
16.667 sq ft
27'-9" to
top of sign

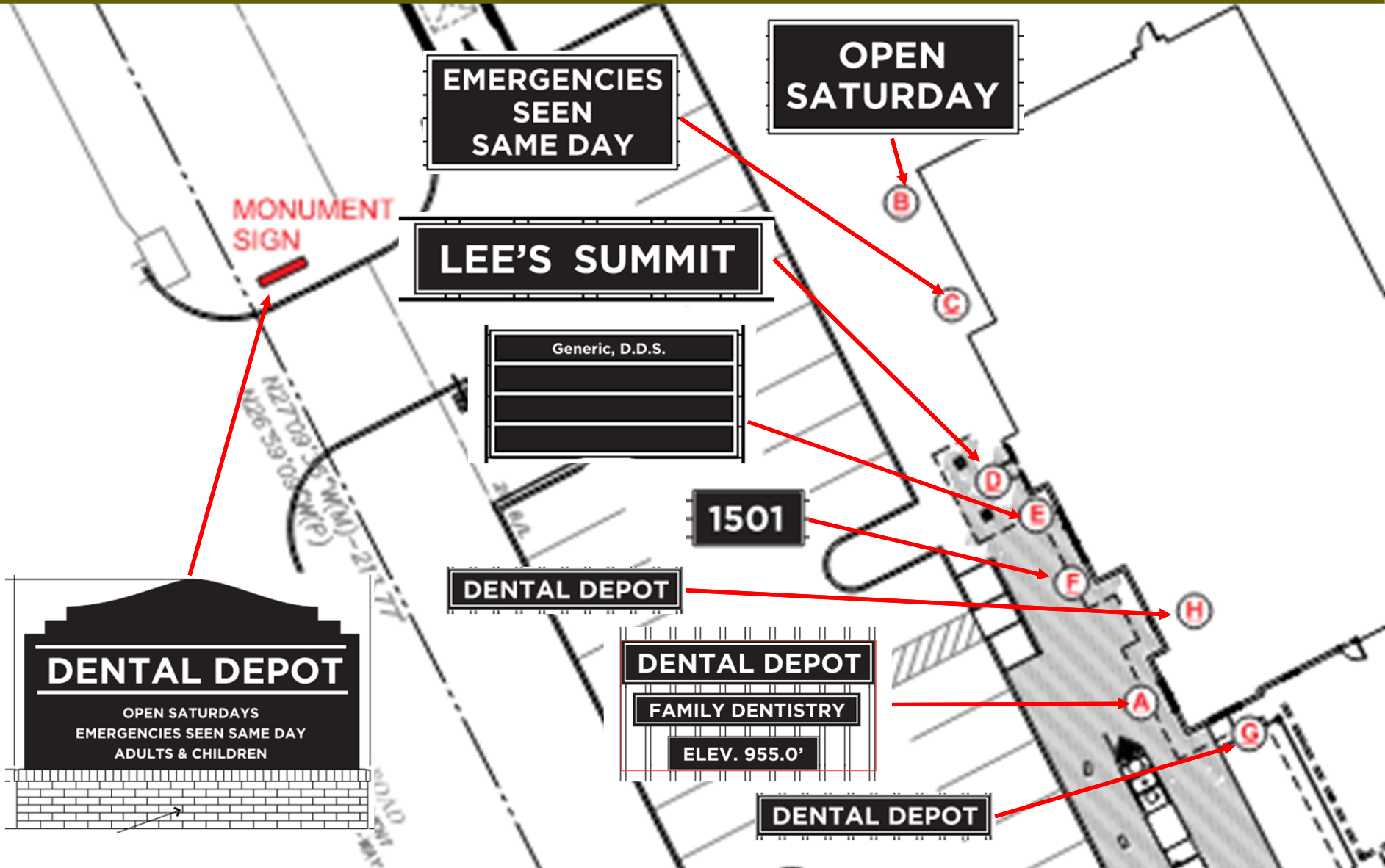


1'-8" x 10'-0"
(LIGHTED)
16.667 sq ft
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H

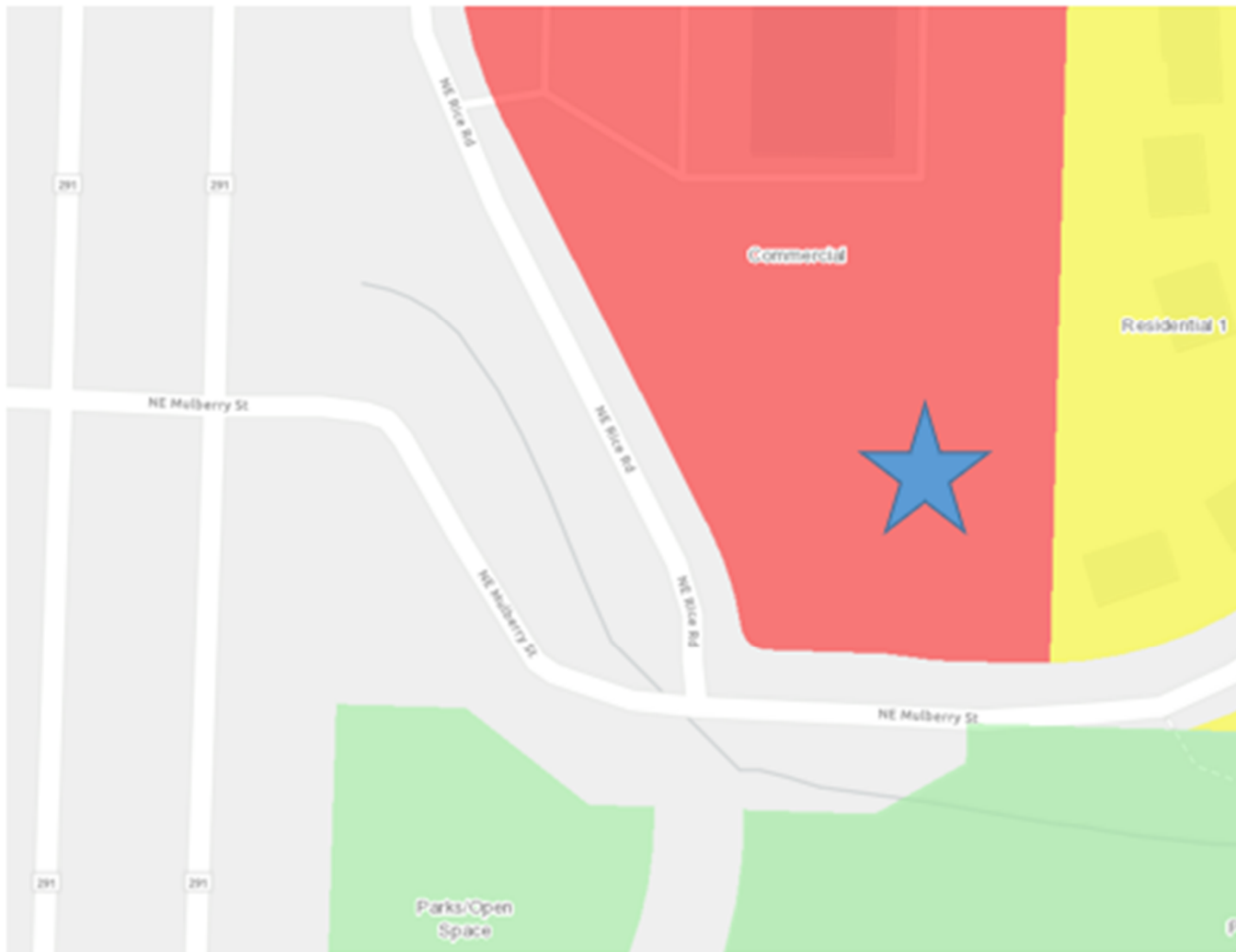
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Sign Package



Sign Package





Future Landuse

- Activity Center Downtown
- Activity Center New Longview
- Activity Center North PRI
- Activity Center South PRI
- Activity Center Summit
- Airport
- Civic
- Commercial
- Industrial
- Infrastructure
- Mixed Use
- Office
- Parks/Open Space
- Residential 1
- Residential 2
- Residential 3
- Water Bodies

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Staff Analysis

Site Specific

1. A modification shall be granted to eliminate the required six-foot high masonry wall or opaque vinyl fence from the high impact buffer requirement adjacent to the eastern property line.
2. A modification to the maximum of three (3) wall signs shall be granted to allow eight (8) wall signs as show on the sign specification sheets submitted and uploaded on April 25, 2023.
3. The use of cedar wood siding as the main material for the proposed water tower element as well as various cedar trim and accent elements on the subject building shall be approved as a conditional material in accordance with the building elevations dated April 10, 2023 and April 21, 2023.
4. Development shall be in accordance with the preliminary development plan dated April 25, 2023, and building elevations dated April 10, 2023 and April 21, 2023.
5. No signage or lights shall be located on the water tower located at the southwest corner of the subject site.



Conditions of Approval