



LAND CLEARANCE FOR REDEVELOPMENT
AUTHORITY

LEE'S SUMMIT

Date: 6/20/2018

Applicant File # _____

Applicant Name Kevin Higdon Construction LLC

REDEVELOPMENT PROJECT APPLICATION

Application must be submitted with six (6) exact copies. A non-refundable filing fee is required with this application in the amount of \$1,500.00. All third party costs, including professional services, legal, title, appraisal, due diligence, recording fees, etc. if borne by the LCRA shall be reimbursed from the applicant / developer. If necessary and required by the LCRA, an executed Funding Agreement may be required to be executed prior to processing the application.

I. APPLICANT INFORMATION

Applicant/Organization Name: Kevin Higdon Construction LLC

Business Address: PO BOX 847 Lee's Summit, MO 64063

Contact Person: Kevin Telephone #: 816-524-9797

Facsimile #: 816-524-9798 E-mail: kevin@higdonbuilders.com

Address (if other than business address): _____
1450 SE Broadway Lot 293 Newberry Landings 1st Plat

Attorney for Applicant: _____ Telephone #: _____

Facsimile #: _____ E-mail: _____

Attorney Address: _____

II. BUSINESS INFORMATION

A. In what line or lines of business is the applicant engaged?

_____ New Home Builder/ Developer _____

B. Is the applicant (or its parent) a proprietorship, partnership, or corporation?

_____ LLC _____

C. Year and State of incorporation: _____ KS 2001 _____

D. List the names and titles of the officers of the applicant firm:

Name	Title	Telephone #
_____ Kevin Higdon	_____ Manager	_____ 816-985-6108 _____
_____	_____	_____
_____	_____	_____

E. Describe all outstanding or threatened litigation: *(Attach separate sheet if necessary)*

N/A

(Provide the same information requested above for the parent company, if applicable)

III. LOCATION OF THE PROJECT

General Boundaries: *(Attach separate sheet if necessary)*

1450 SE Broadway Lot 293 NewBerry Landings
See attached sheet "General Boundaries "

Council District: _____ 1st District _____

Total Acreage: _____ 0.79 _____

Is the project located in any incentive areas? *(Attach separate sheet if necessary)* _____
_____ Yes This project is located in the US 50 /M-291 Hwy Urban Renewal Area

What is the current zoning of the project area? _____ PI Planed Industrial

What is the proposed zoning for the project area? ___ Same No change (Planned industrial)

This property is located in the following Urban Renewal Area (*if applicable*):

US50 / M-291 Urban Renewal Area

IV. THE PROJECT

A. Provide a detailed narrative description of the proposed project, including information as the size of the project, amount of land (property) to be purchased, whether the project is a rehabilitation of existing structure(s), expansion, or the construction of a new facility, residences, etc. Describe what products or services are to be manufactured or provided through this project. (*Attach separate sheet if necessary*)

SEE ATTACHED Community Impact Statement A

B. Does the applicant or its parent company presently have offices or industrial facilities located in Lee's Summit, Missouri? If so, describe. (*Attach separate sheet if necessary*) No they are located in Jackson County

C. List any nationally or locally historical properties and/or districts within the Project Area. N/A

D. If a zoning change is pending, cite application number and present status. If application has not been made, briefly describe what change will be needed and plans for submitting application: (*Attach separate sheet if necessary*) N/A

V. COMMUNITY IMPACT STATEMENT

A. Describe the project's integration within the applicable Lee's Summit Comprehensive Master Plan, conformance with the adopted Economic Development Incentive Policy or applicable adopted plan within the community. (*Attach separate sheet if necessary*)

This new project is in compliance with The City of Lee's Summit Zoning plan. This is the intended use of property by The City of Lee's Summit.

B. How many people will be employed by the project? (*Attach separate sheet if necessary*) Currently 5

- | | |
|-------------------------|----------------------|
| 1. Manager | \$105000.00 Annually |
| 2. Lead super intendant | \$125000.00 Annually |

- | | |
|----------------------------------|---------------------|
| 3. Super intendant | \$78000.00 Annually |
| 4. Office manager | \$60000.00 Annually |
| 5. Customer Service and Warranty | \$50000.00 Annually |

Will this project represent an increase in employment opportunities in Lee's Summit, Missouri?

Yes. This will allow us to expand or operations in Lee's Summit

- It will also contribute to future company growth and future Hiring of Skilled employees

- Number of jobs to be retained.
5 Highly skilled jobs at opening

- C.** Projected real and personal property investment.
We have 4 vans 2 trucks and office equipment.
- D.** Describe the capability of the project to attract sales from outside the City, if applicable.
This building will not bring in sale of outside the city. This will bring high paying Skilled jobs to the city. It will also create quality homes for the people and employees of Lee's Summit.
- E.** Will this project attract additional residents to the area?
Yes: By creating new homes / townhomes in the Lee's Summit city limits. We also create new neighborhoods for future growth and tax paying citizens.
- F.** Are there plans for future expansion?
Absolutely! We plan on growing the home building and development business with our focus in LSMO. We are currently ranked in the top 20 builders in the KC Metro area and are growing every year. By have a office were we can all meet and work will greatly help us move to the next level.
- G.** What environmental impact will this project have on the area?
None
- H.** Will there be the use of federal or state incentives for this project?
None
- I.** Provide evidence of the need for the abatement (i.e., competitive pressures of the location, need for remediation of blight in proximity to the project, addition of jobs to a high unemployment area, etc.)
"See Attachment B"
- J.** Describe the estimated impact to proximate businesses, particularly to businesses selling similar products or services in the area.
This will not impact any business

VI. PROJECT COSTS:

Identify the costs reasonably necessary for the acquisition of the site and/or construction of the proposed Project together with any machinery and equipment in connection therewith, including any utilities hook-up, access roads, or appurtenant structures.

Item	Amount	Costs to be Financed with Bond Proceeds, if Applicable
Acquisition of Land and Existing Buildings	100000.00	
Relocation costs (if applicable)	20000.00	
Construction Costs:		
1. Architectural and Engineering	20000.00	
2. Site Preparation	35000.00	
3. Materials	290000.00	
4. Labor	150000.00	
5. Construction Contracts		
6. Utilities Connection	12500.00	
7. Paving and Landscaping	65000.00	
Renovation Cost		
Machinery and Equipment		
Furniture and Fixtures	20000.00	
Capitalized Interest (From To)		
Cost of Issuance (i.e. accounting, legal, etc.)	10000.00	
Contingency/Professional Fees	5000.00	
TOTAL PROJECT COSTS		

Current Fair Market Value of Land: 100000.00

Fair Market Value of Improvement: 607500.00

Current Assessed Value of property: 683.00

Projected Assessed Value of the Land & Improvements Upon Completion:

707500.00

Please outline specific request for abatement (requested amount, percentage and number of years for abatement).

- Total amount of property tax abatement requested: \$ 11499.00
- Percentage of abatement requested: 100 %
- Number of years of abatement: 10 yrs.

Please provide estimated schedule of property tax abatement for the requested timeframe for abatement (not to exceed 100% for 10 year period)

Example:

Accumulated Tax Abatement (assumes 2% property value increase every other year – not compounded)

	<u>100% abatement</u>	<u>50% abatement</u>
Year 1	\$ 11,499.00	\$ 5,749.50
Year 2	\$ 23,227.98	\$ 11,613.99
Year 3	\$ 35,191.54	\$ 17,595.77
Year 4	\$ 47,394.37	\$ 23,697.19
Year 5	\$ 59,841.26	\$ 29,920.63
Year 6	\$ 72,537.08	\$ 36,268.54
Year 7	\$ 85,486.83	\$ 42,743.42
Year 8	\$ 98,695.56	\$ 49,347.78
Year 9	\$ 112,168.48	\$ 56,084.24
Year 10	\$ 125,910.85	\$ 62,955.43

VII. SOURCES OF FUNDS:

State amount and sources of financing for all of the Project costs listed above. Please provide commitment letters for any sources received listing terms and conditions.

SOURCES	AMOUNT
<u>Platte Valley Bank</u>	<u>525000.00</u>

VII. DEVELOPMENT TEAM

Identify members of the development team and provide evidence of experience with other development projects.

Matt Schlicht Engineering Solutions

Kevin Higdon General Contractor

VIII. OPERATING PROFORMA.

The proforma must cover the period of abatement requested.

X. BOND FINANCING

Bond Financing is handled on a case-by-case basis.

XI. REQUIRED ATTACHMENTS:

- **Attachment A:** A map showing the boundaries of the project.
- **Attachment B:** A map indicating current land use and zoning.
- **Attachment C:** A map indicating the proposed land use and zoning.
- **Attachment D:** A map showing infrastructure improvements to be made.
- **Attachment E:** A development schedule for the project, including the phasing of development and the locations and improvements to be accomplished in each phase.
- **Attachment F:** Design plans for the project (including site plans & elevations).
- **Attachment G:** Photographs of the project site and/or structure to be rehabilitated.
- **Attachment H:** Copy of preliminary title work.
- **Attachment I:** Letter(s) of Support from one or more of the following: councilpersons, mayor, county official, state representative, state senator, local taxing entities, and/or neighborhood organization(s).

XII. CERTIFICATION OF APPLICANT:

The undersigned hereby represents and certifies that to the best knowledge and belief of the undersigned, this project application contains no information or data, contained herein or in the exhibits or attachments, that is false or incorrect, and that it is truly descriptive of the property which application is being made.

NAME: Kevin Higdon

SIGNATURE: _____

TITLE: Manager

**RETURN COMPLETED APPLICATION AND NON-REFUNDABLE APPLICATION
FEE TO:**

**Land Clearance for Redevelopment Authority
c/o City of Lee's Summit
220 SE Green Street
Lee's Summit, Missouri 64063**

**REDEVELOPMENT PROJECT APPLICATION
EXHIBIT "1"— BUDGET / PROFORMA**

Attachment Community Impact Statement "A"

This project is for the new Kevin Higdon Construction corporate office and warehouse space moving into Lee's Summit, MO. We are currently located in the county working from a home base office. This building will be 8000 feet of office / warehouse in the New Berry Landings Park. Lot 293 is .79 Acres of industrial vacant ground. This location will staff or entire office staff and Job site managers. While also allowing for warehousing of products for local home building. This project will help us to build local quality homes in Lee's Summit by having a local presence. This will also give us the room to expand our business and higher more well compensated quality workers to grow or local business.

Attachment B

1450 SE Broadway is located in an existing development that has been stagnate for 12 years and this is a time of robust development. This area needs a boost to support new buildings. The tax abatement will help to bring business like myself to this area. We are taking a big step to go into a slow area by the land fill. We are also making a large investment in this site and ourselves. We are going above and beyond the basic metal building designs to add character and styling in a metal building zoned site. This abatement opportunity will allow my company to take the next steps in expansion and help offset some of the risk of the area. It also gives us more confidence in our business expansion in Lee's Summit.

REDEVELOPMENT PROJECT APPLICATION

EXHIBIT "2"— NEW AND EXISTING EMPLOYMENT INFORMATION

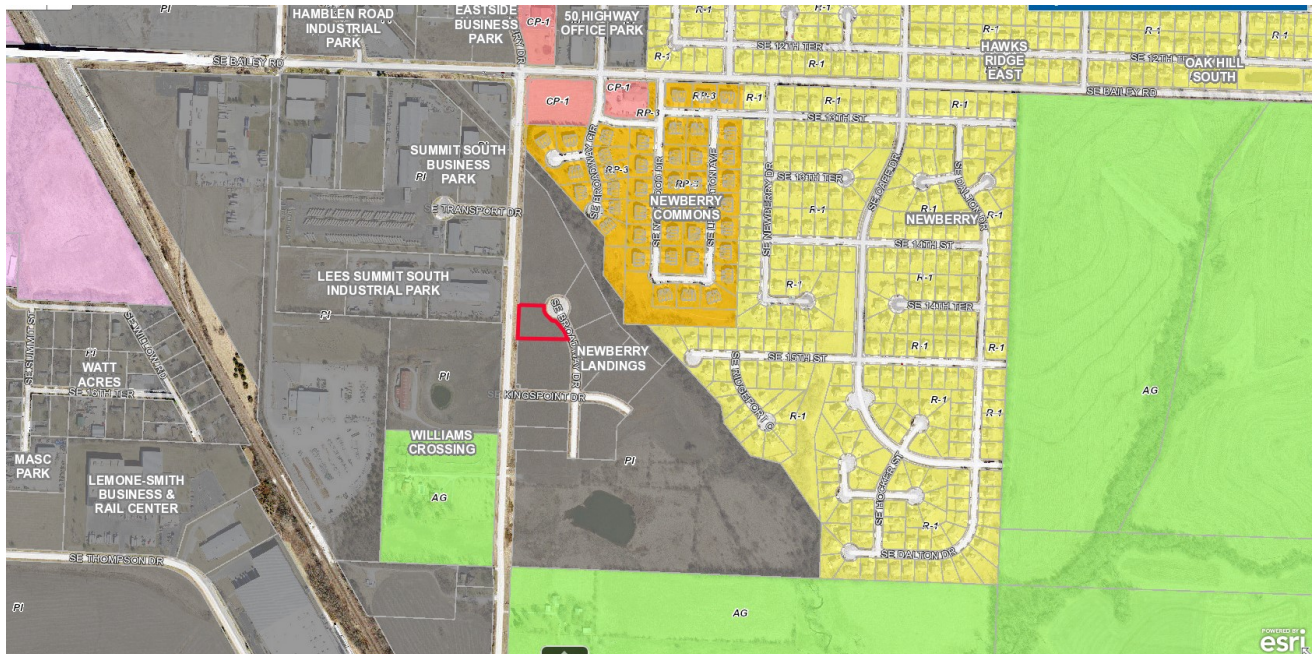
- | | |
|----------------------------------|----------------------|
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| 2. Lead super intendant | \$125000.00 Annually |
| 3. Super intendant | \$78000.00 Annually |
| 4. Office manager | \$60000.00 Annually |
| 5. Customer Service and Warranty | \$50000.00 Annually |

REDEVELOPMENT PROJECT APPLICATION
ATTACHMENT "A"—Map of Project Boundaries



1450 SE Broadway Dr.

REDEVELOPMENT PROJECT APPLICATION
ATTACHMENT "B"—Map of Current Land Use and Zoning



Property zoned Planned Industrial (PI)

REDEVELOPMENT PROJECT APPLICATION
ATTACHMENT "C"—Map of Proposed Land Use and Zoning

Property will remain Planned Industrial and proposed use is permitted within zoning district

REDEVELOPMENT PROJECT APPLICATION
ATTACHMENT “D”—Map of Proposed Infrastructure Improvements

No public infrastructure improvements planned or necessary

REDEVELOPMENT PROJECT APPLICATION
ATTACHMENT "E"—Development Schedule

REDEVELOPMENT PROJECT APPLICATION
ATTACHMENT "F"—Design Plans (Site Plans and Elevations)

REDEVELOPMENT PROJECT APPLICATION

ATTACHMENT "G"—Photographs of project site and/or structure to be rehabilitated

REDEVELOPMENT PROJECT APPLICATION
ATTACHMENT “H”— Title Work / Property ownership

REDEVELOPMENT PROJECT APPLICATION

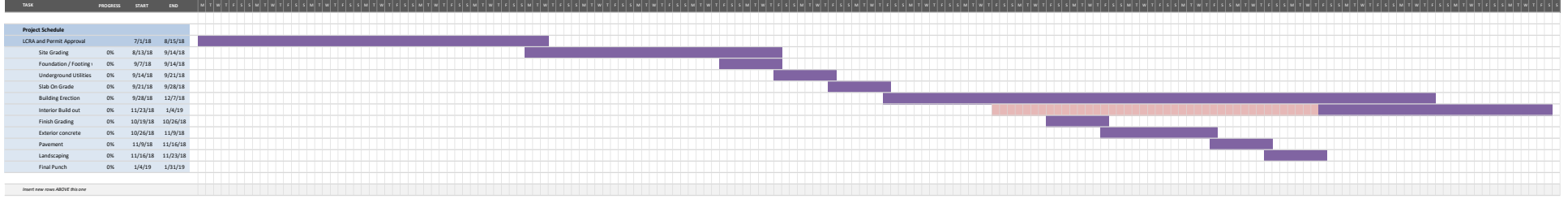
ATTACHMENT “1”—Letters of Support

(Council, Mayor, County Official, State Representatives or Senators, Local Taxing Entities and/or Neighborhood Organizations)

1450 SE Broadway, Lee's Summit, MO

Kevin Higdon Construction Project Start: Sun, 7/15/2018

Display Week: 1



Insert new rows ABOVE this one

Final Development Plan

Section 16, Township 47 North, Range 31 West
 Lee's Summit, Jackson County, Missouri

NOTES:

1. THIS PLAN SHALL CONFORM TO THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
 2. PERMITS AND EASEMENTS WITHIN THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED BY SEPARATE DOCUMENT.
 3. EASEMENT LOCATED OUTSIDE OF THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED FOR BY SEPARATE INSTRUMENT PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 4. THE CONTRACTOR SHALL NOTIFY THE CITY OF LEE'S SUMMIT PUBLIC WORKS INSPECTION AT 816.869.1800 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
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COMPANIES:

1. LIST OF UTILITY COMPANIES IS PROVIDED FOR INFORMATION ONLY. WE DO NOT OFFER ANY WARRANTY THAT THIS LIST IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED IMPROVEMENTS.
 2. THE CONTRACTOR SHALL VERIFY THE ACTUAL LOCATION OF EACH UTILITY LINE. THE CONTRACTOR SHALL NOTIFY THE CITY OF LEE'S SUMMIT PUBLIC WORKS INSPECTION AT 816.869.1800 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
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DESCRIPTION:

1. Landings 1st Plat

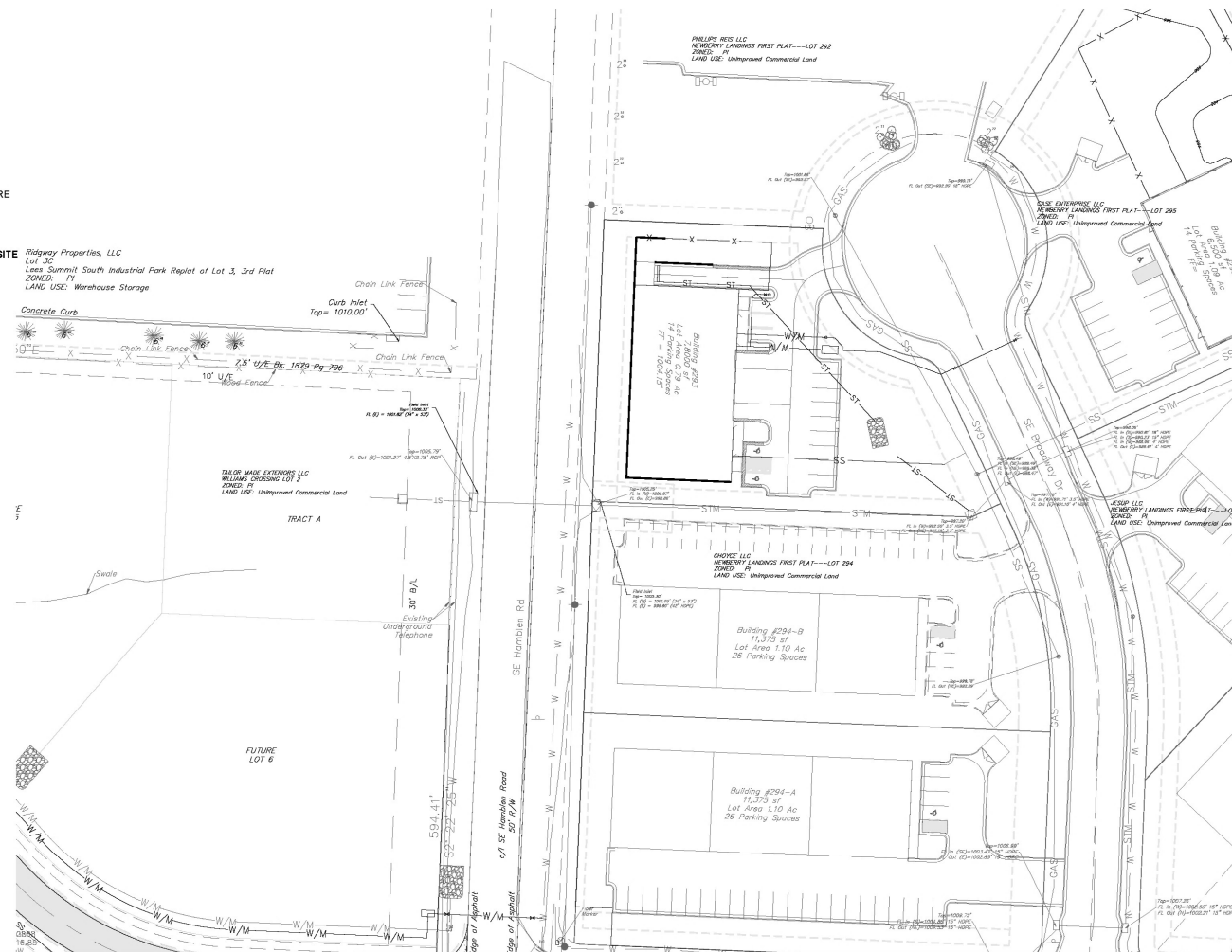
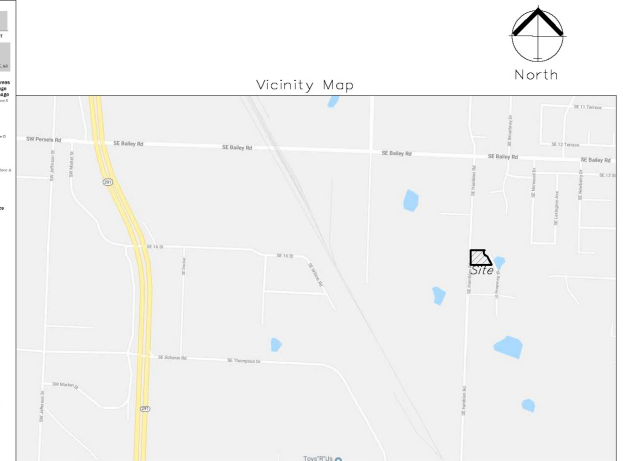
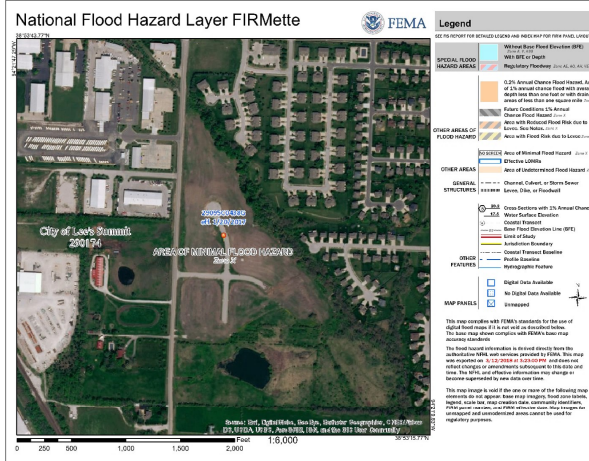
ASSUMPTIONS:

1. THE CITY OF LEE'S SUMMIT MAY JR'S ENVIRONMENTAL IMPACT STUDY OF THE CITY OF LEE'S SUMMIT AND GAS WELLS IN LEE'S SUMMIT, MISSOURI IN 1995, THERE ARE NO GAS WELLS WITHIN 185 FEET OF THE PROPERTY AS SURVEYED.
 2. THE CONTRACTOR SHALL NOTIFY THE CITY OF LEE'S SUMMIT PUBLIC WORKS INSPECTION AT 816.869.1800 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
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GENERAL NOTES:

1. THIS SHEET IS ONE OF SEVEN SHEETS.
 2. PHASE 1 PLAN
 3. PHASE 2 PLAN
 4. PHASE 3 PLAN
 5. SITE PLAN
 6. FINISHING PLAN
 7. ELEVATIONS
 8. DRAINAGE AREAS
 9. UTILITY PLAN GENERAL LAYOUT
 10. STANDARD DETAIL SHEET
 11. STANDARD DETAIL SHEET
 12. LANDSCAPE PLAN

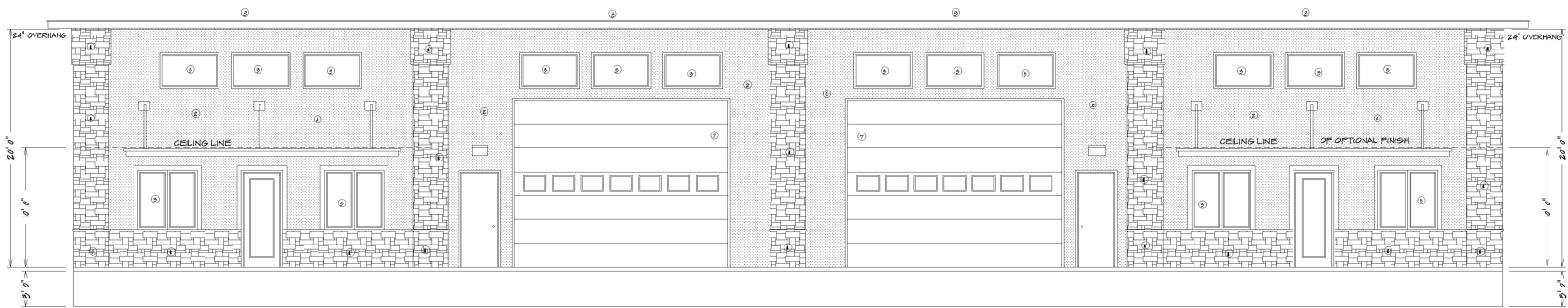


ALL PAVING ON THE PARKING LOT WILL COMPLY WITH THE CITY OF LEE'S SUMMIT DEVELOPMENT ORDINANCE, ARTICLE 12 IN TERMS OF PAVING THICKNESS AND BASE.

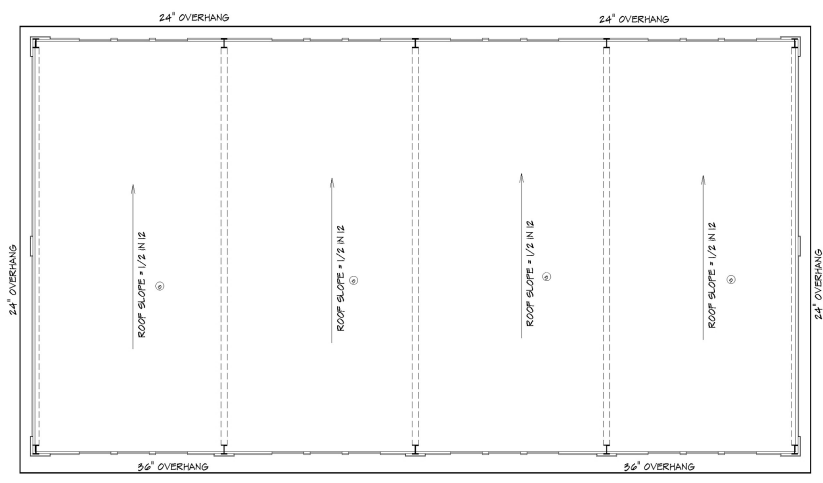
North
FINAL DEVELOPMENT PLAN
 SCALE: 1" = 20'

Site Data Table :

Lot Area:	34,200 sq. ft. (0.79 Ac.)
Building Area:	7,800 sq. ft. (0.18 Acres)
Parking/Sidewalk:	9,215 sq. ft. (0.21 Acres)
Impervious Area:	17,015 sq. ft. (0.39 Acres) 49.75% of Site
Floor-Area-Ratio:	22.81%
Current Zoning:	PI - Planned Industrial
Current Use:	Vacant
Proposed Use:	Commercial Office / Warehouse
Sanitary Sewer Service:	Sanitary service will be provided from the existing sanitary sewer located on the east side of property.
Water Service:	Water service will be provided from the existing main located on the east side of the property.
Storm Sewer:	Detention will not be required within the development as the area is located within the lower portion of a larger watershed. BMP's will not be required as this project was part of previously approved Preliminary Development Plan.



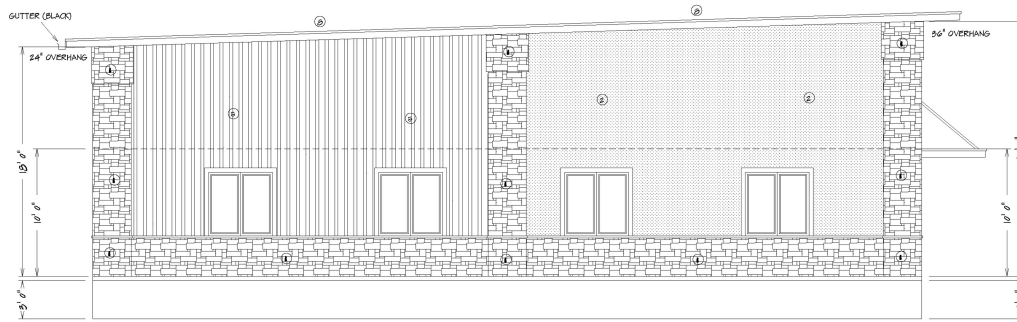
FRONT ELEVATION
3/16" = 1'-0"



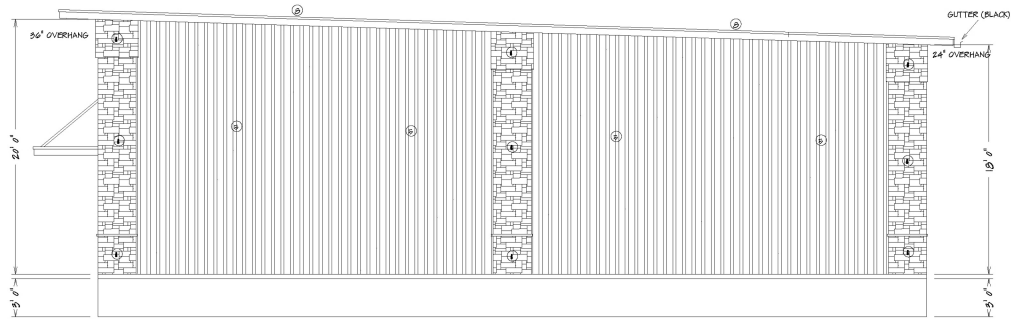
ROOF ELEVATION
3/32" = 1'-0"

- ELEVATIONS NOTES**
- ① STONE: CANYON LEDGE STONE (SANTA FE)
 - ② TEXTURE WALL PANEL: LIGHT GRAY - HEAVY TEXTURE
 - ③ WINDOWS: BLACK METAL
 - ④ SHADOW WALL SIDING: COLOR: GRAY STONE
 - ⑤ METAL SIDING: COLOR: COOL GRAY STONE
 - ⑥ GUTTERS/EAVES: D9-BLACK
 - ⑦ OVERHEAD DOOR TRIM: BLACK
 - ⑧ SOFFIT COLOR: SHELL GRAY
 - ⑨ ROOF: GALVALUM

CODE NOTES	GENERAL NOTES
<p>ALL CONSTRUCTION FOR THIS PROJECT SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING CODES ALL AS AMENDED BY THE CITY OF LOS ANGELES:</p> <p>SAS INTERNATIONAL BUILDING CODE SCS NATIONAL ELECTRIC CODE SCS INTERNATIONAL PLUMBING CODE SCS INTERNATIONAL MECHANICAL CODE SCS INTERNATIONAL FIRE CODE & LIFE SAFETY CODE SCS INTERNATIONAL FUEL GAS CODE UNIFIED DEVELOPMENT ORDINANCE</p> <p>SHALL BE IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT TENANT USE: OCCUPANCY CLASSIFICATION (PRIMARY) GROUP S-1 (SECONDARY) GROUP B</p> <p>TYPE OF CONSTRUCTION (AS BUILT) TYPE IIB AUTOMATIC OPERABLE SYSTEM: N/A TENANT AREA - OFFICE: 1000 SQFT. STORAGE: 8000 SQFT. WAREHOUSE: 8000 SQFT.</p> <p>OCCUPANT LOAD (TABLE 1024.1.1) OFFICE: 100/SQFT = 10 WAREHOUSE: 80/SQFT = 8</p> <p>PLUMBING REQUIREMENTS (TABLE 2102.2) USE GROUP B WATER CLOSET - 1 (COMM.) PER 60" x 60" SERVICE BATH - 1 PER USE 1 BREAK ROOM - 1 PER USE 1 USE GROUP S-1 WATER CLOSET - 1 (COMM.) PER USE 1 SERVICE BATH - 1 PER USE 1 BREAK ROOM - 1 PER USE 1</p>	<p>1. ALL DIMENSIONS HERE TO HERE WALL UNLESS OTHERWISE NOTED</p> <p>2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE OWNER OF ANY DISCREPANCIES BEFORE PROCEEDING</p> <p>3. PROVIDE SIX BLOOMS IN ALL WALLS AS REQUIRED FOR SUPPORT</p> <p>4. CONTRACTOR TO FIELD COORDINATE, INSTALL, ETC. ALL OVERHEAD WALLS WITH OWNER</p> <p>5. COORDINATE ALL FINAL OUTLET, WALL AND FLOOR LOCATION W/ OWNER BEFORE CONSTRUCTION</p> <p>6. COORDINATE ALL FINISHES WITH OWNER</p> <p>7. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY FIRE MARSHAL</p> <p>8. FIELD VERIFY ALL DIMENSIONS AND SITE CONDITIONS</p> <p>9. CONTRACTOR TO COORDINATE W/ OWNER ON ALL ITEMS SUPPLIED AND APPROVE THE CONSTRUCTION WORK</p> <p>10. NEW WALL CONSTRUCTION SHALL BE 24 GAUGE STEEL, TRUCK AND BLOOMS, STEPS 3/4" OC MIN. 1/2" SIPPLUM BOARD. WALL STUDS SHALL BE PROVIDED IN ACCORDANCE WITH OTHER ASD/CSI OR AISI S100</p> <p>11. WALL COVERING IN PROPOSED BATHROOM TO HAVE TILE OR OTHER NONMANAGEMENT SURFACING TO A HEIGHT NOT LESS THAN 4'0" GWT.</p>
LOCATION PLAN / KEY PLAN	

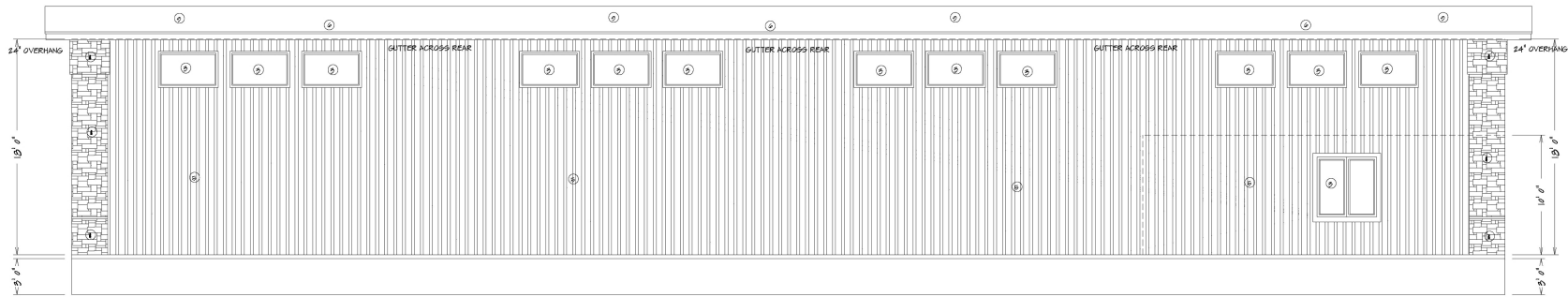
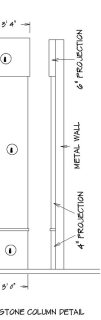


LEFT ELEVATION
3/16" = 1'0"



RIGHT ELEVATION
3/16" = 1'0"

- ELEVATIONS NOTES**
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 - ⑨ ROOF: GALVALUM



REAR ELEVATION
3/16" = 1'0"