

McBee's Coffee N Carwash Preliminary Development Plan

#PL2022-178

July 14, 2022



LEE'S SUMMIT
MISSOURI



Yours Truly



LS

Aerial Map



Location of Property

1295 SW Arborwalk Blvd

Size of Property

1.53 acres

Building Area

6,502 sq. ft.

Building Height

26'

FAR

0.097

Parking

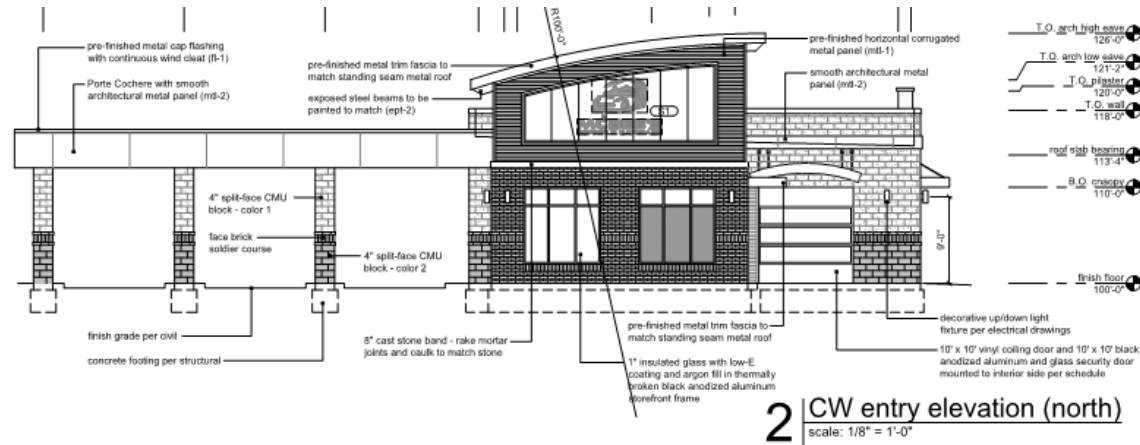
7 (required)

27 (proposed)

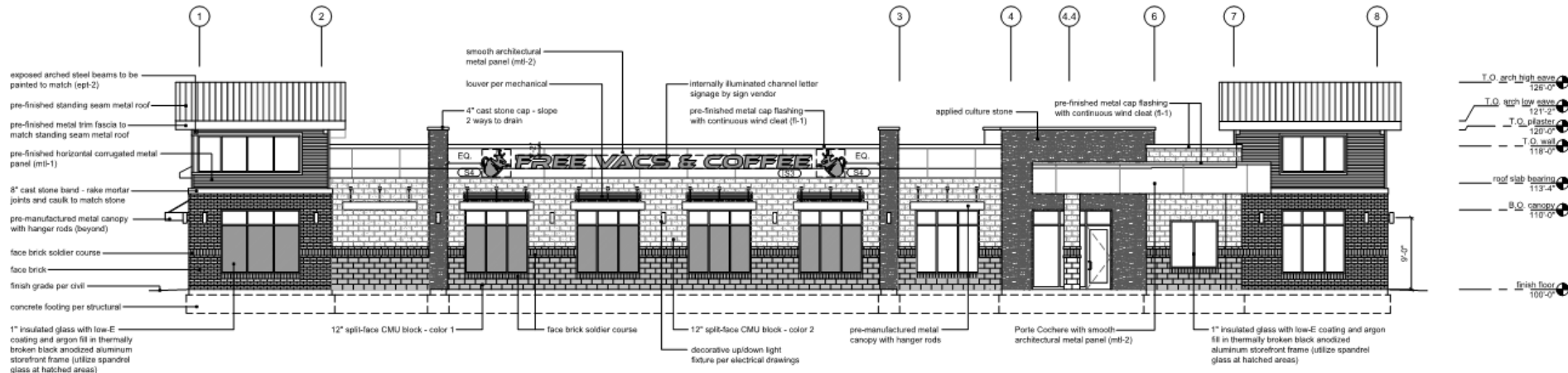


Project Information

CW ENTRY		
storefront / glass o.h. door	366	28%
split face CMU	254	20%
brick	212	17%
stone	18	1%
architectural metal & canopies	440	34%
total	1,290	100%



2 CW entry elevation (north)
scale: 1/8" = 1'-0"

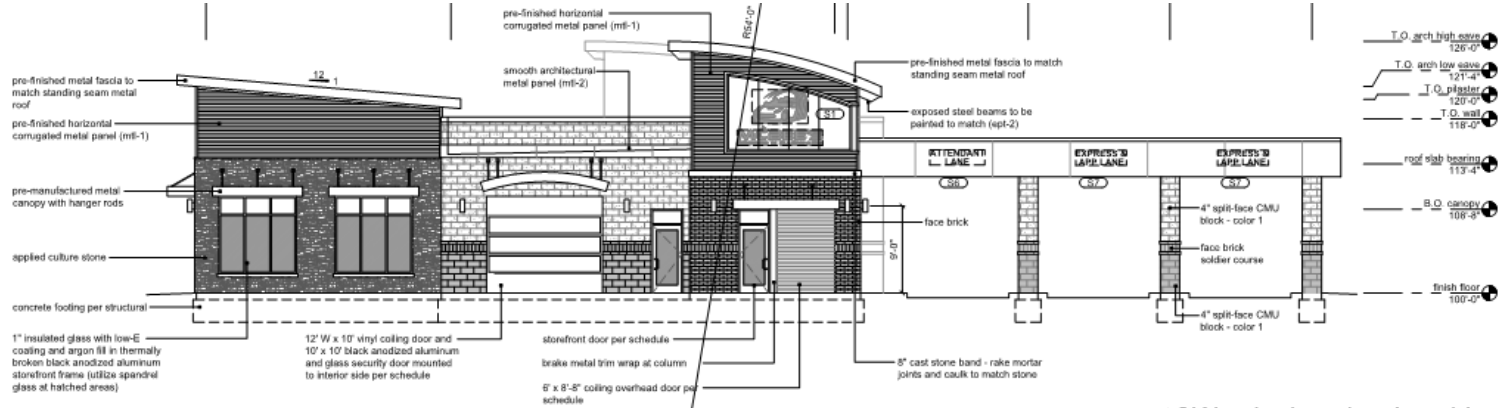


1 front elevation (east)
scale: 1/8" = 1'-0"



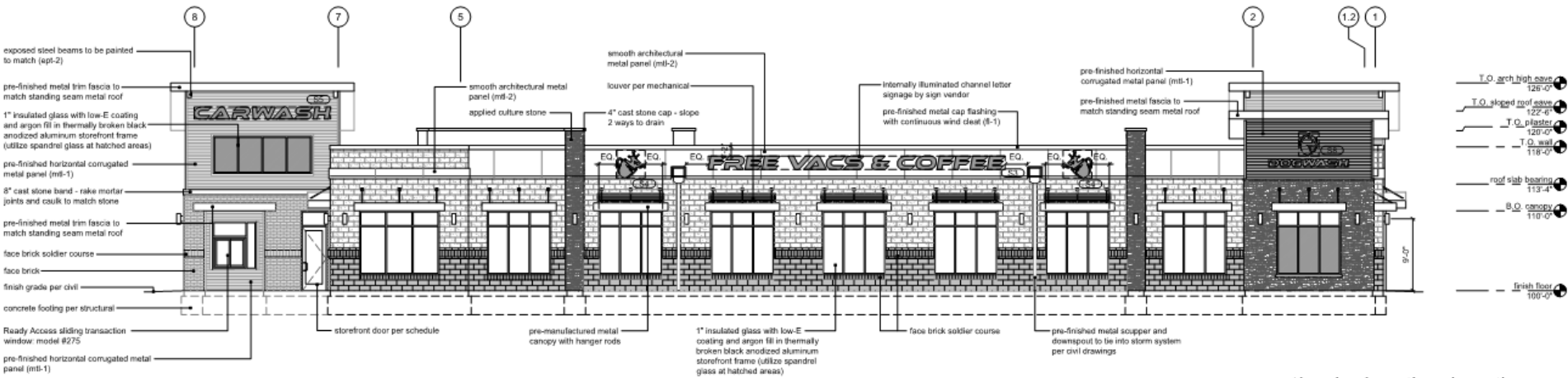
Elevations

CW EXIT:		
storefront / glass o.h. door	400	23%
coiling o.h. door	52	3%
split face CMU	310	18%
brick	136	8%
stone	222	13%
architectural metal & canopies	602	35%
total	1,722	100%

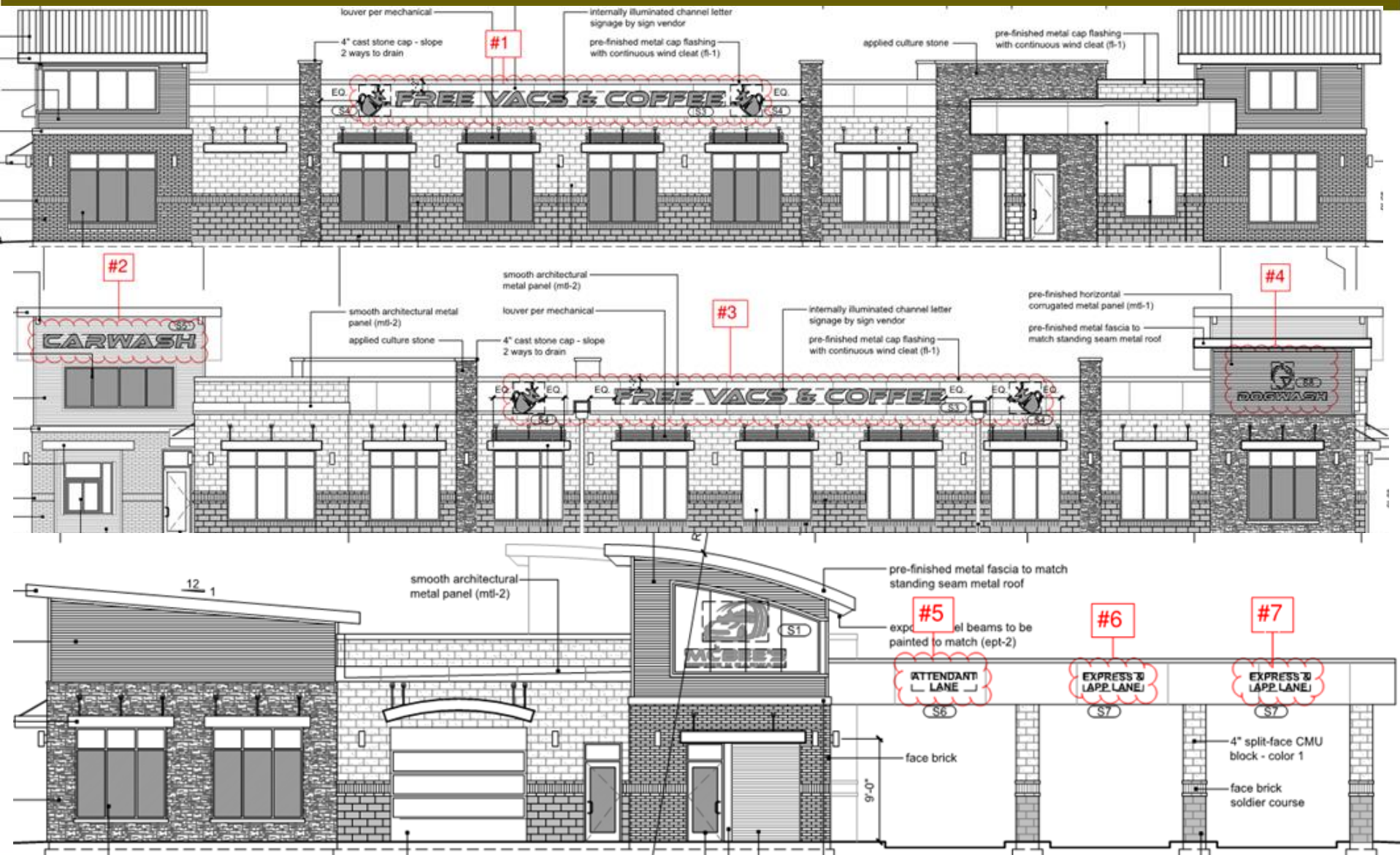


2 CW exit elevation (south)
scale: 1/8" = 1'-0"

- T.O. arch high eave 126'-0"
- T.O. arch low eave 121'-4"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 108'-9"
- finish floor 100'-0"
- T.O. arch high eave 126'-0"
- T.O. sloped roof eave 122'-6"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 110'-0"
- finish floor 100'-0"

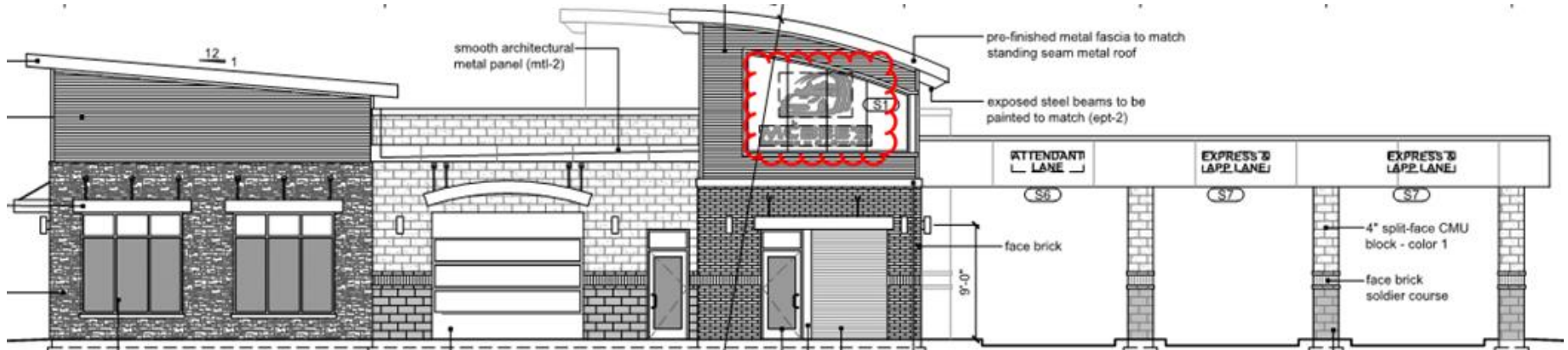
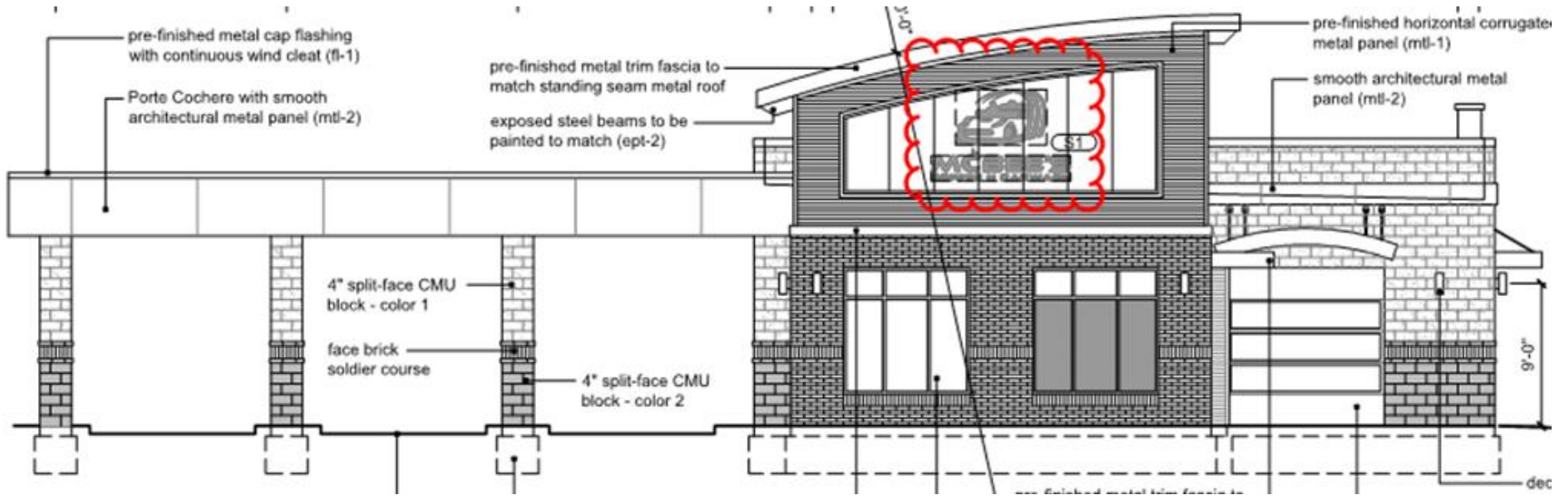


1 back elevation (west)
scale: 1/8" = 1'-0"



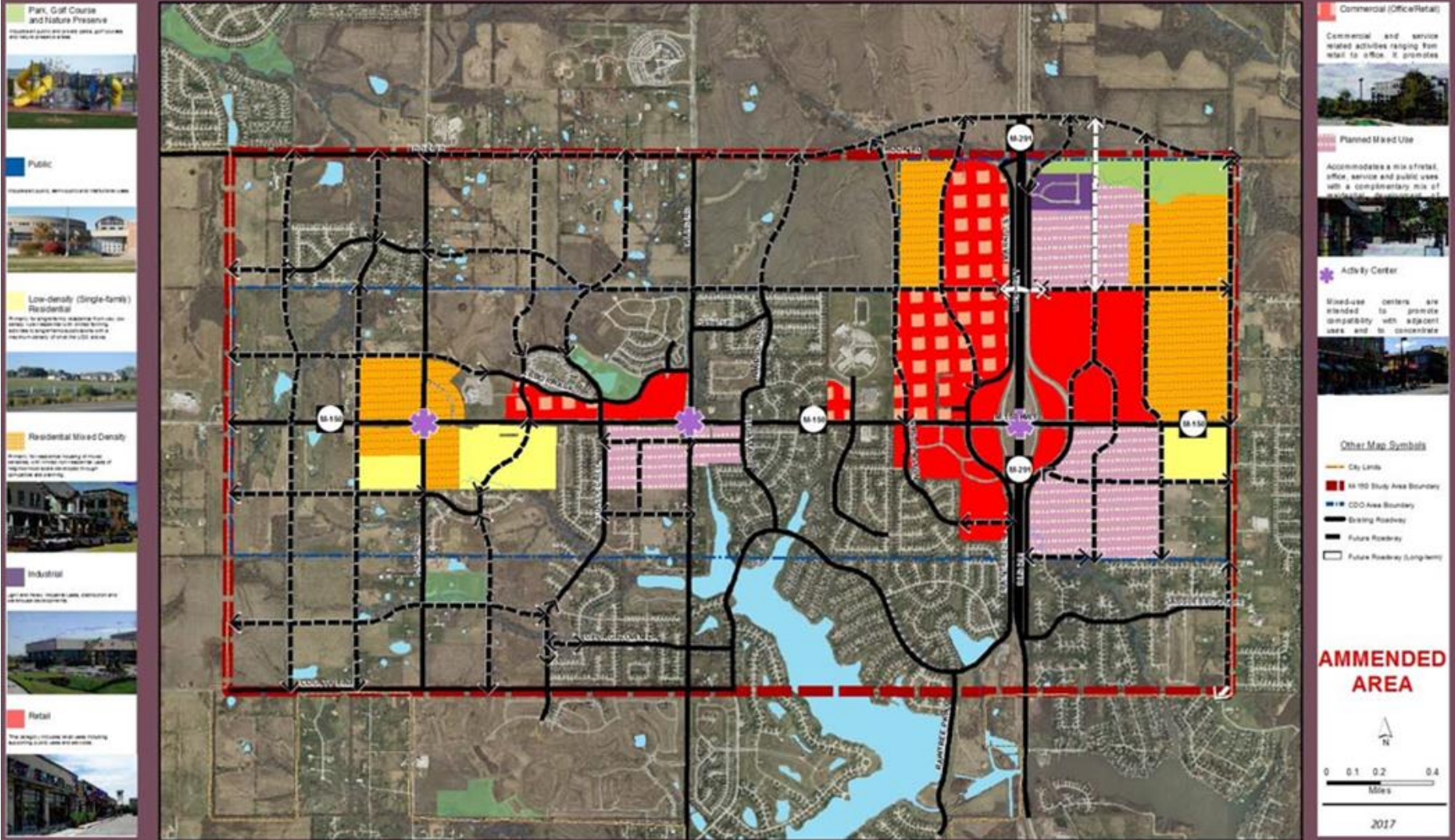
LS

Sign Package

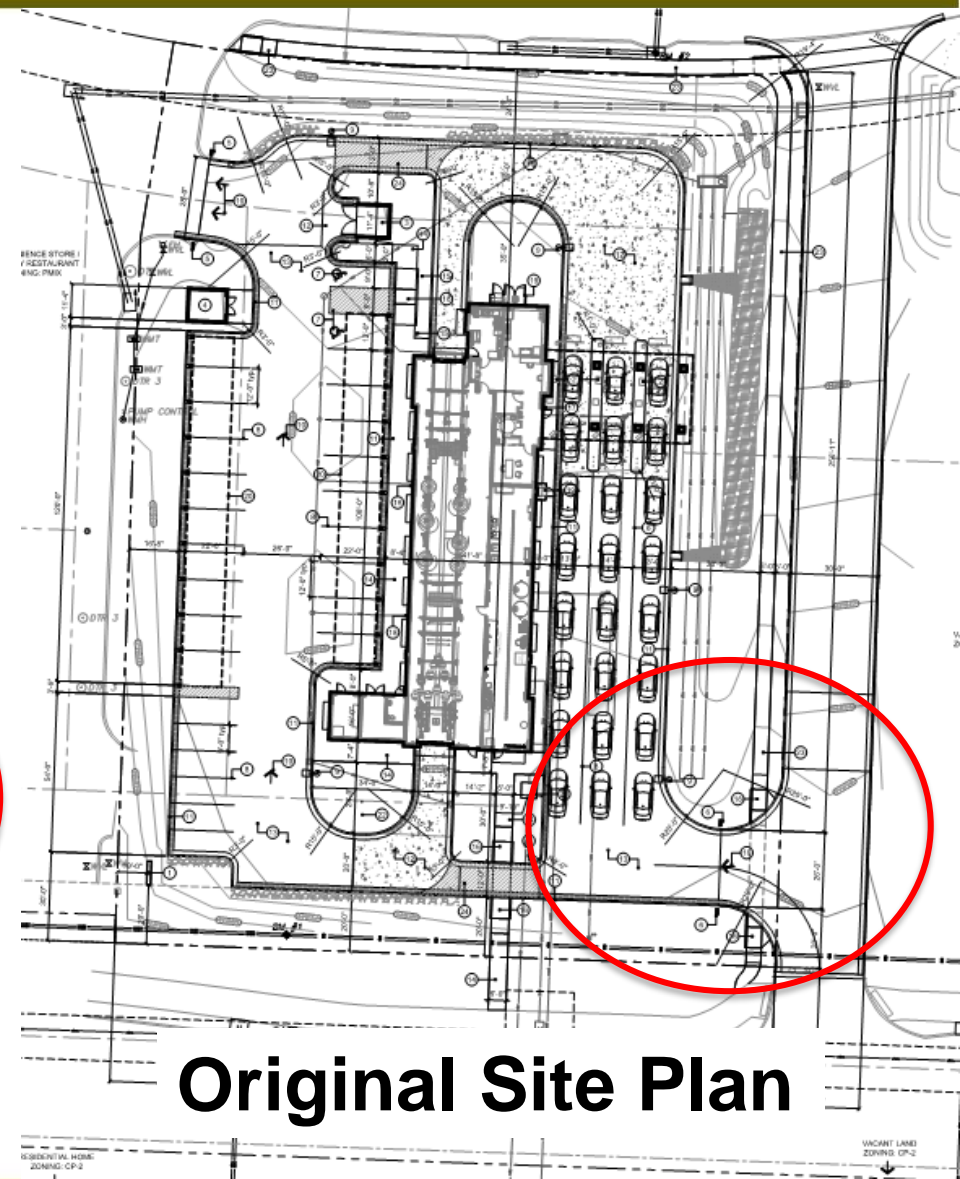
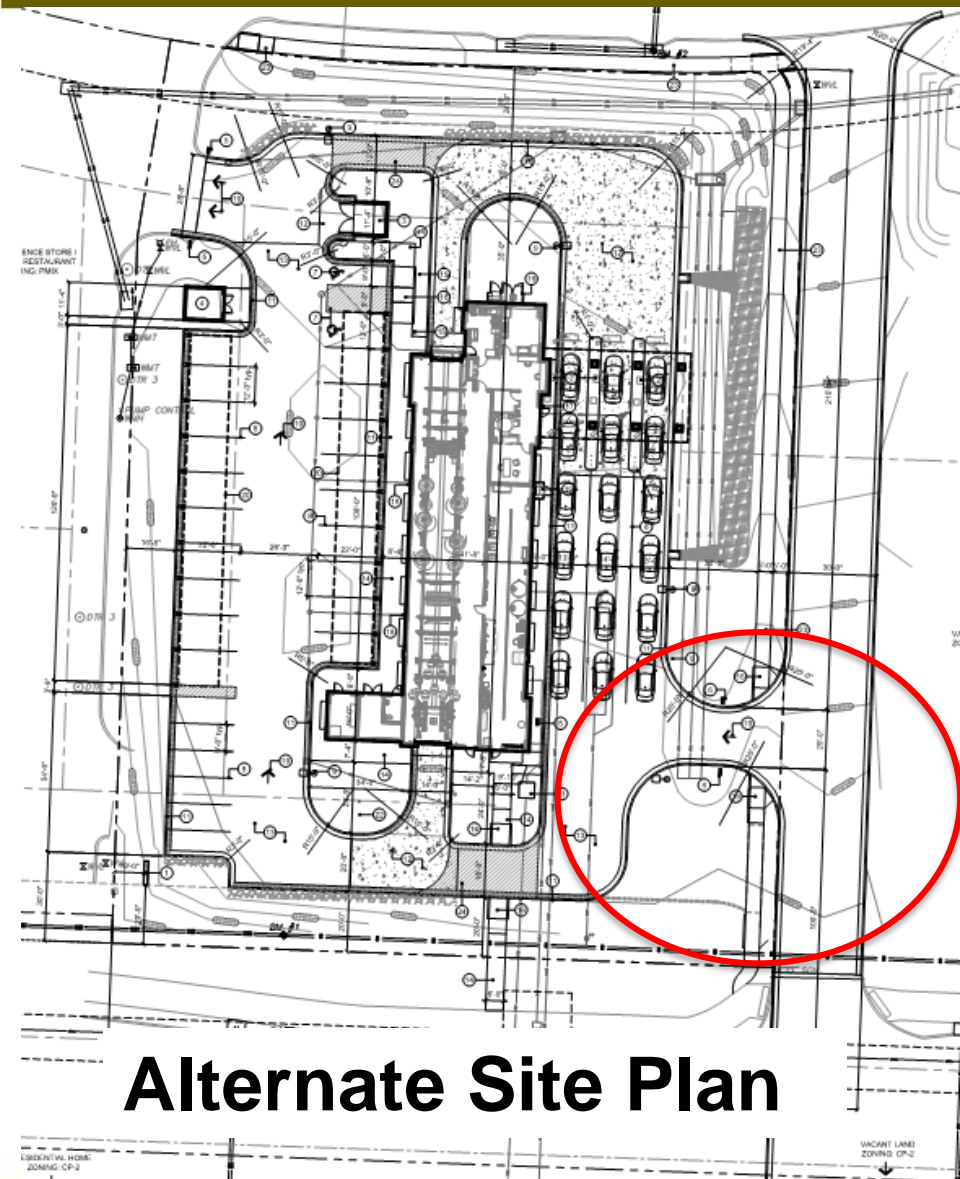


M-150 Sustainable Corridor Vision and Framework Plan

Land Use and Transportation Framework



M-150 CDO Design Standards



Alternate Site Plan

Original Site Plan



M-150 CDO Design Standards

1. Seven (7) total attached wall signs shall be approved as shown on the Exterior Elevations dated May 13, 2022 and revised June 14, 2022.
2. Driveway 1 shall be located slightly north of the originally proposed location, as shown on the alternate design on Sheet A1.1, in order to meet the throat length (100 ft) requirement of the Access Management Code.
3. Development shall be in accordance with the preliminary development plan dated May 13, 2022 and revised June 14, 2022.