

SITE NUMBER: 12802  
 BASE MDL: SMART 55 - NARROW 2017  
 ASSET TYPE: FRAN  
 CLASSIFICATION: NEW  
 OWNER: NPCQB  
 BASE VERSION: 2017  
 UPGRADE CLASSIFICATION:  
 NEW BUILD  
 PROJECT YEAR: 2019  
 FURNITURE PACKAGE: 2016 V3  
 DRAWING RELEASE: SPRING 2018

**linear!**  
**Marc Brundige,**  
**Architect**  
 8951 CYPRESS WATERS BLVD., STE 130  
 DALLAS, TX 75019  
 PHONE: 972.929.9226  
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4200 W. 115TH ST. STE. 200  
 LEAWOOD, KANSAS  
 66211  
 OFFICE: (913) 327-3120  
 CELL: (913) 544-3421

PROJECT TYPE: NEW  
 SMART 55 - NARROW

MICHAEL E. NEIKIRK PE  
 Civil Engineer  
 306 North Market Street Ste. 101  
 Mt. Carmel, IL 62863  
 Phone: (618) 263-4100

**Wendy's**  
 #12533 (NPCQB#6042)  
 711 E MISSOURI 291 HWY  
 LEE'S SUMMIT, MO 64063

REV.	DATE	DESCRIPTION



SHEET NAME  
 EXISTING CONDITIONS  
 SHEET NUMBER

**C1**

### LEGEND

	Benchmark		Sanitary Sewer Manhole		Water Line
	Iron Pin Found		Sign		Sanitary Sewer Main
	Iron Pin Set		Water Meter		Fence
	Bollard		Water Valve		Existing Contours
	Soil Boring Location		Utility Pole		Proposed Contours
	Sanitary Sewer Cleanout		To Be Removed		Underground Electric Storm Sewer
	Gas Meter		Top of Curb		Limits of Pavement Removal
	Storm Sewer Curb Inlet		Pavement		Overhead Utility Lines
	Storm Sewer MH/Open Lid		Match Existing		Gas Lines
	Light Pole or Traffic Light		Grade point		Ditch / Swale
	Storm Sewer Manhole		Number of Parking Spaces		Existing Asphalt
	Air Conditioner		To Be Removed		New Asphalt
					New Concrete
					Existing Concrete
					Existing Asphalt TBR

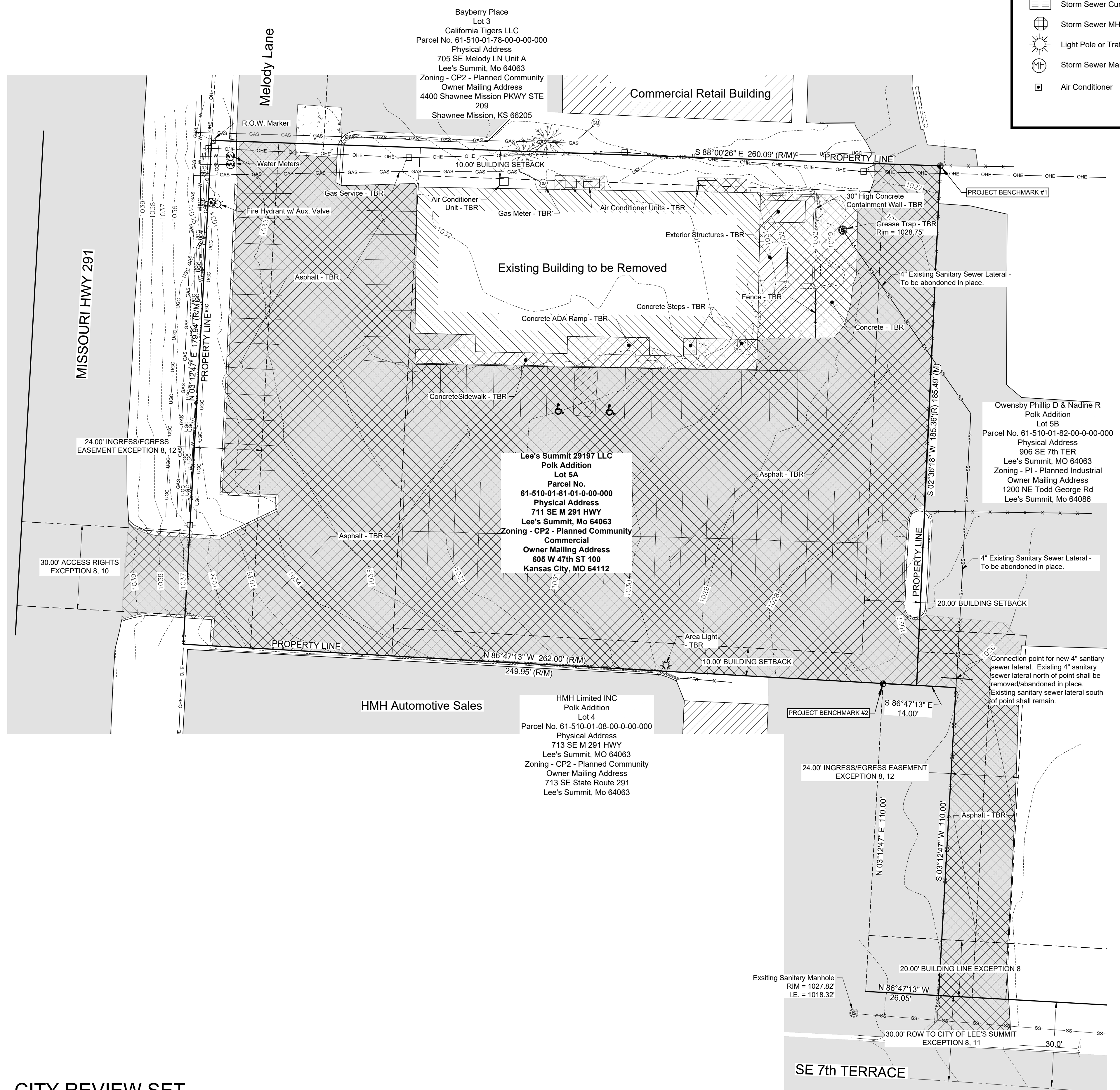
UTILITIES SHOWN HEREON ARE BASED ON PLAN INFORMATION AND ABOVE GROUND FEATURES TO THE BEST OF OUR KNOWLEDGE. THIS EXISTING CONDITIONS DRAWING DOES NOT GUARANTEE THE "EXISTENCE OR NON EXISTENCE" OF UNDERGROUND UTILITIES. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT NORTH CAROLINA 811 AND FIELD VERIFY UTILITIES. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY UTILITIES ENCOUNTERED BUT NOT SHOWN HEREON OR IF LOCATION OF UTILITIES VARIES FROM THAT SHOWN ON THE PLANS

ALL EXISTING ITEMS ON THE SITE SHALL BE DEMOLISHED UNLESS OTHERWISE INDICATED. ITEMS TO BE DEMOLISHED SHALL BE COORDINATED WITH OWNER. CONTRACTOR SHALL HAUL DEMO ITEMS OFF-SITE. EXISTING WATER METER SHALL REMAIN.

ALL REMOVAL AREAS SHOWN SHALL BE SAW CUT TO FULL DEPTH WHEN ADJACENT TO REMAINING PAVEMENT.

Benchmark #1:  
 Iron Pin  
 Northing = 997,235.05'  
 Easting = 2,828,035.85'  
 Elev. = 1,026.08'

Benchmark #2:  
 Iron Pin  
 Northing = 997,050.27'  
 Easting = 2,828,015.40'  
 Elev. = 1,026.54'



NOTE: Bearings based on: N.A.D. 83  
 Missouri State Plane Coordinate System  
 - West Zone

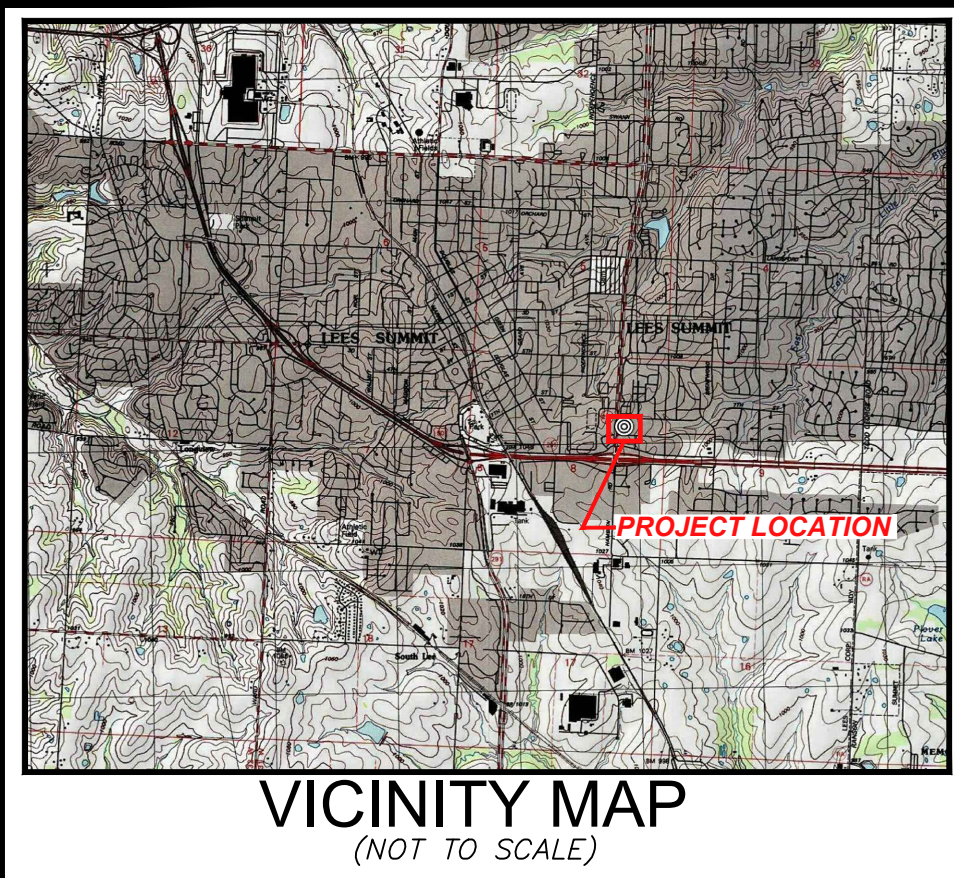
0' 20' 40' 60'



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NOT FOR CONSTRUCTION - CITY REVIEW SET

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### SITE PLAN DESIGN NOTES

- |  |        |   |  |       |
|--|--------|---|--|-------|
| 1 TRAFFIC DIRECTIONAL MARKER                   | 5/ C7  | 10 LANDSCAPING AREA                               | 19 SIDEWALK WITH MIN. 24" DETECTABLE WARNING         | 4/ C7 |
| 2 DIAGONAL STRIPING - 4" YELLOW @ 24" O.C.     | 2/ C7  | 11 SAFETY RAILING SEE ARCHITECTURAL DETAILS       | 20 SAWCUT CURB / PAVEMENT FULL DEPTH FOR CLEAN JOINT |       |
| 3 ADA ACCESSIBLE PARKING STALLS                | 2/ C7  | 12 SIDEWALK RAMP WITH MIN. 24" DETECTABLE WARNING | 21 5' x 5' CONCRETE STOOP                            | 1/ C7 |
| 4 INTEGRAL CURB AND SIDEWALK                   | 8/ C7  | 13 MENU BOARD                                     | 22 CANOPY PROTECTION BAR                             | 7/ C8 |
| 5 DUMPSTER ENCLOSURE                           | 9B/ C7 | 14 ORDER STATION                                  | 23 ADA ACCESSIBLE PARKING SIGN                       | 7/ C7 |
| 6 CONCRETE CURB                                | 11/ C7 | 15 PRE-SELL BOARD                                 | 24 CONCRETE SIDEWALK                                 | 3/ C7 |
| 7 ASPHALT PAVEMENT                             | 9B/ C7 | 16 BOLLARD  | 25 OUTDOOR PATIO SEE ARCHITECTURAL SHEETS            |       |
| 8 PAVEMENT STRIPING - 4" YELLOW                | 12/ C7 | 17 CONCRETE PAVEMENT                              | 26 PYLON SIGN SEE ARCHITECTURAL SHEETS               |       |
| 9 DUMPSTER PAD - 8" CONCRETE PAVEMENT W/ APRON | 12/ C7 | 18 PAVEMENT MARKER DETAIL                         | 27 AREA LIGHT - SEE SHEET C9                         |       |
|  |        |   | 28 TRANSITION FROM 6" CURB TO EXISTING CURB.         |       |

### LEGEND

● Benchmark	○ Iron Pin Found	⊙ Sanitary Sewer Manhole	— W — W — Water Line	— SS — Sanitary Sewer Main
⊙ Backflow Preventer	⊙ Bollard	⊙ Soil Boring Location	- - - 470 - - - Existing Contours	- - - 470 - - - Proposed Contours
⊙ Sanitary Sewer Cleanout	⊙ Gas Meter	⊙ Storm Sewer Curb Inlet	- - - UGE - - - Undergroud Electric	- - - S - - - Storm Sewer
⊙ Storm Sewer MH/Open Lid	⊙ Light Pole or Traffic Light	⊙ Storm Sewer Manhole	⊙ Air Conditioner	⊙ Air Conditioner
⊙ Sign	⊙ Water Meter	⊙ Water Valve	⊙ Utility Pole	⊙ To Be Removed
⊙ Top of Curb	⊙ Pavement	⊙ Match Existing	⊙ Grade point	⊙ Number of Parking Spaces
⊙ To Be Removed	⊙ To Be Removed	⊙ To Be Removed	⊙ To Be Removed	⊙ To Be Removed

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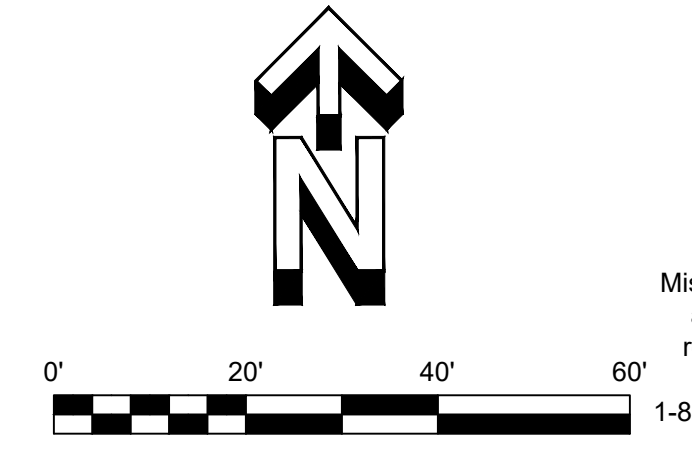
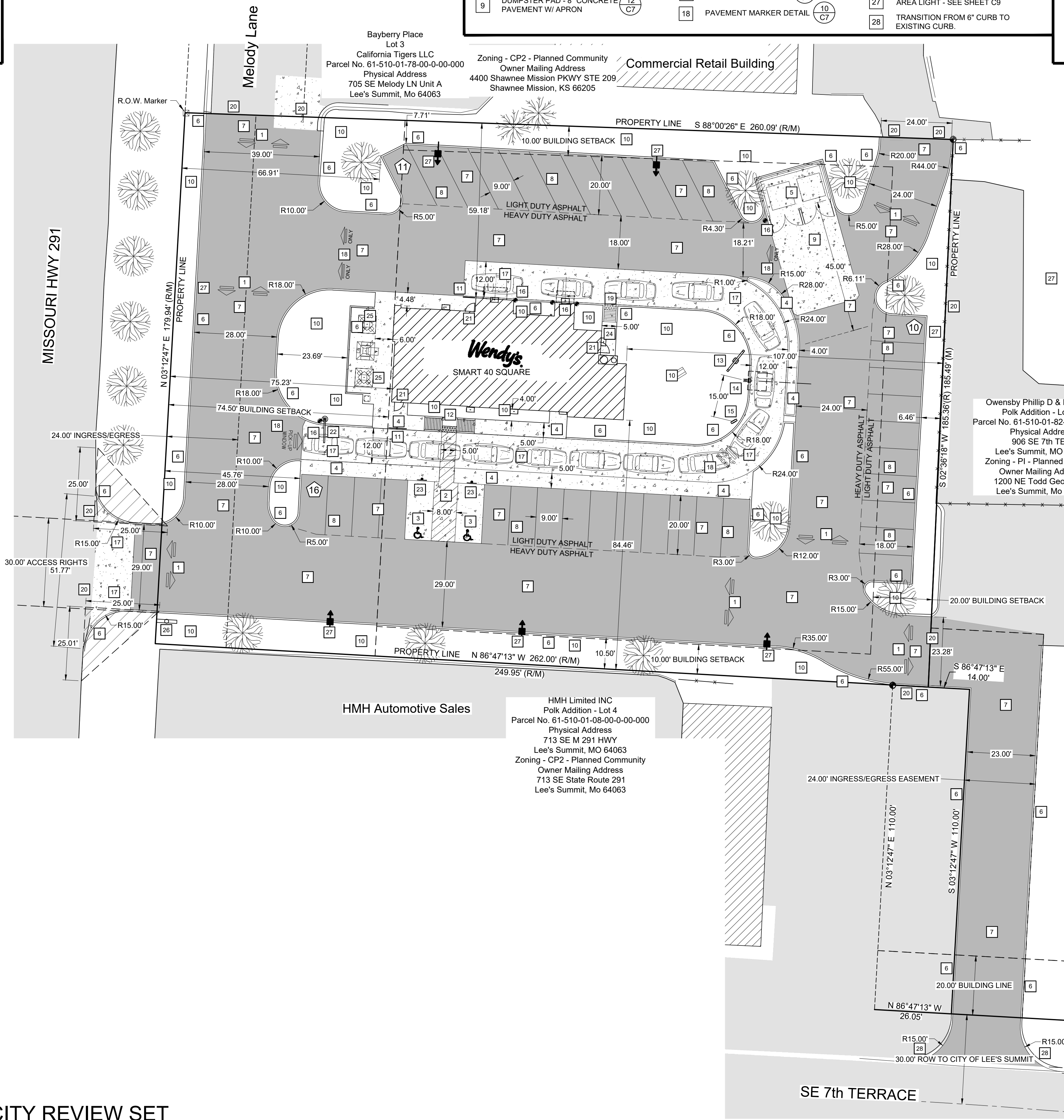
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 #12533 (NPCQB#6042)  
 711 E MISSOURI 291 HWY  
 LEE'S SUMMIT, MO 64063

### SITE DATA

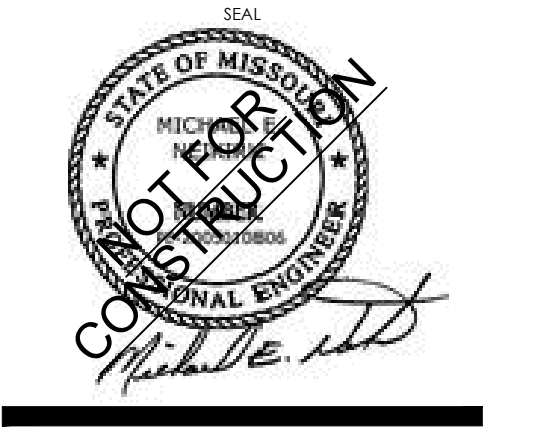
- AREA OF SITE: 47,692.73 SQ.FT. - 1.09 ACRES.
- PARKING CONDITIONS ARE AS FOLLOWS:  
 MIN. REQUIRED SPACES: 14 PER 1000 SQ.FT. GROSS FLOOR SPACE  
 TOTAL GROSS FLOOR SPACE: 2,504 SQ. FT.  
 PARKING REQUIRED: 35 STALLS  
 ACTUAL SPACES:  
 35 REGULAR SPACES  
 2 ACCESSIBLE SPACES  
 TOTAL SPACES: 37
- PROPERTY ZONING: CP-2, PLANNED COMMUNITY COMMERCIAL
- EXISTING USE: RESTAURANT  
 PROPOSED USE: RESTAURANT WITH DRIVE THRU DRIVE THRU STACKING REQUIRED: 4 FROM MENU BOARD AND 4 FROM FIRST WINDOW STACKING SUPPLIED: 14 FROM FIRST WINDOW
- PHYSICAL ADDRESS: 711 SE M 291 HWY LEE'S SUMMIT, MO 64063
- PARCEL INFORMATION: LEE'S SUMMIT 29197 LLC POLK ADDITION - LOT 5A PARCEL NO. 61-510-01-81-01-0-00-000
- OWNER ADDRESS: 605 W 47TH ST 100, KANSAS CITY, MO 64112
- BUILDING FLOOR AREA: 2,506 SQ.FT. FLOOR AREA RATIO = 2,506 / 47,692.73 (LOT AREA) = 5.25%
- BUILDING HEIGHT: 24 FT.  
 DRAINAGE: LOT AREA = 47,692.73 SQ.FT.  
 EXISTING:  
 IMPERVIOUS AREA: 43,283 SQ.FT. = 90.75%  
 PROPOSED:  
 IMPERVIOUS AREA: 35,431.21 SQ.FT. = 74.29%  
 PERVIOUS AREA: 12,260.52 SQ.FT. = 25.71%

ZONING REQUIREMENTS:  
 Zoning - CP2 - Planned Community  
 1. Minimum Front Yard: 15'  
 2. Minimum Side Yard: 10'  
 3. Minimum Rear Yard: 20'  
 4. Building Height: 40'  
 \*74.5 Front Building Setback line per Exception 8



REV.	DATE	DESCRIPTION

ISSUE DATE: 09-05-19  
 PROJECT NUMBER: NPCQB#6042  
 DRAWN BY: T.L. RM  
 CHECKED BY: MEN, T.L.



SHEET NAME: SITE PLAN  
 SHEET NUMBER: C2

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LEGEND			
	Benchmark		Sanitary Sewer Manhole
	Iron Pin Found		Sign
	Backflow Preventer		Water Meter
	Bollard		Water Valve
	Soil Boring Location		Utility Pole
	Sanitary Sewer Cleanout	TBR	To Be Removed
	Gas Meter	TC	Top of Curb
	Storm Sewer Curb Inlet	PV	Pavement
	Storm Sewer MH/Open Lid	ME	Match Existing
	Light Pole or Traffic Light	470.0	Grade point
	Storm Sewer Manhole		Number of Parking Spaces
	Air Conditioner	TBR	To Be Removed
	Water Line		Existing Asphalt
	Sanitary Sewer Main		New Asphalt
	Fence		New Concrete
	Existing Contours		Stormwater Easement
	470 Contours		
	470 Contours		
	UGS Contours		
	S Contours		
	OHU Contours		
	GAS Lines		
	Ditch / Swale		



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FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

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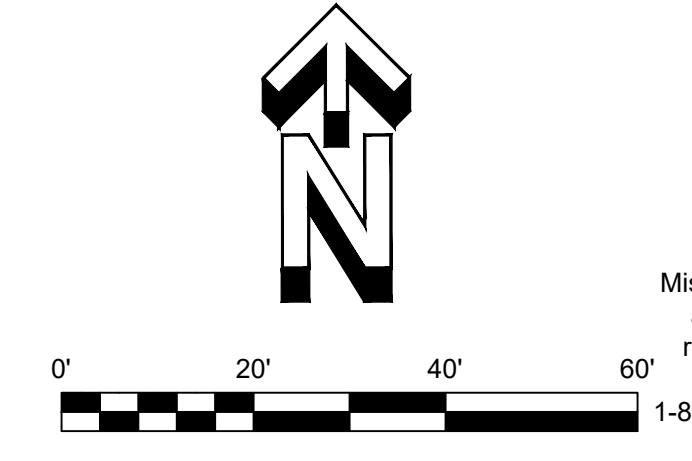
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SHEET NUMBER  
**GRADING & DRAINAGE**  
 SHEET NUMBER

**C3**



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LEGEND					
	Benchmark		Sanitary Sewer Manhole		Water Line
	Iron Pin Found		Sign		Sanitary Sewer Main
	Backflow Preventer		Water Meter		Fence
	Bollard		Water Valve		Existing Contours
	Soil Boring Location		Utility Pole		New Contours
	Sanitary Sewer Cleanout		To Be Removed		Underground Electric Storm Sewer
	Gas Meter		Top of Curb		Limits of Pavement Removal
	Storm Sewer Curb Inlet		Pavement		Overhead Utility Lines
	Storm Sewer MH/Open Lid		Match Existing		Gas Lines
	Light Pole or Traffic Light		Grade point		Ditch / Swale
	Storm Sewer Manhole		Number of Parking Spaces		Existing Asphalt
	Area Light		To Be Removed		New Asphalt
					Existing Concrete
					New Concrete
					Stormwater Easement
					Existing Asphalt TBR

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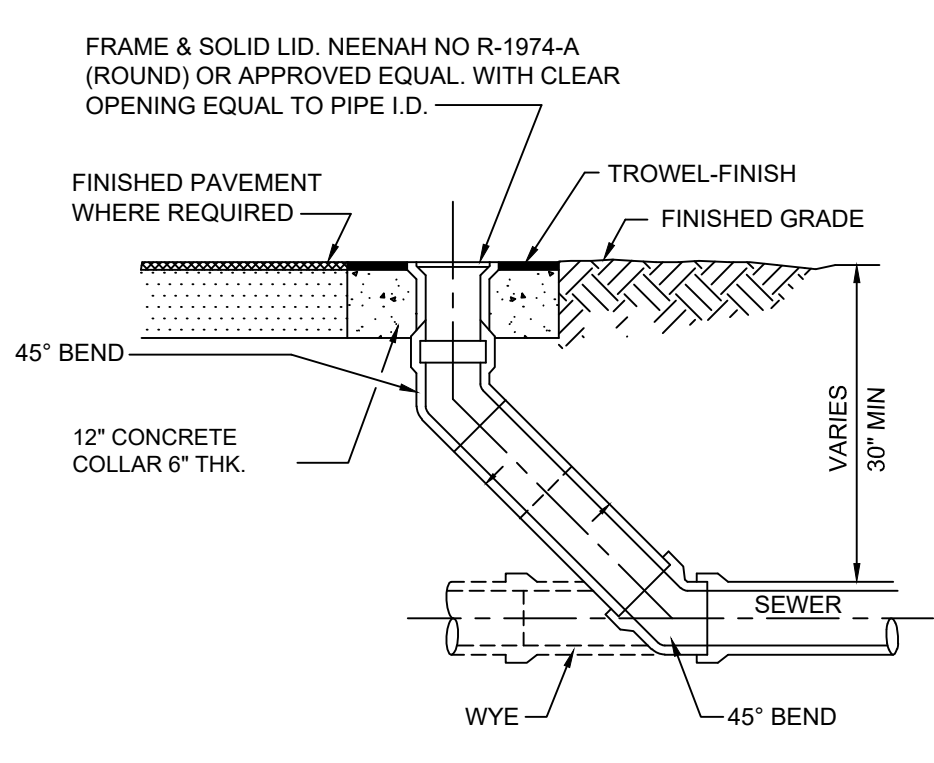
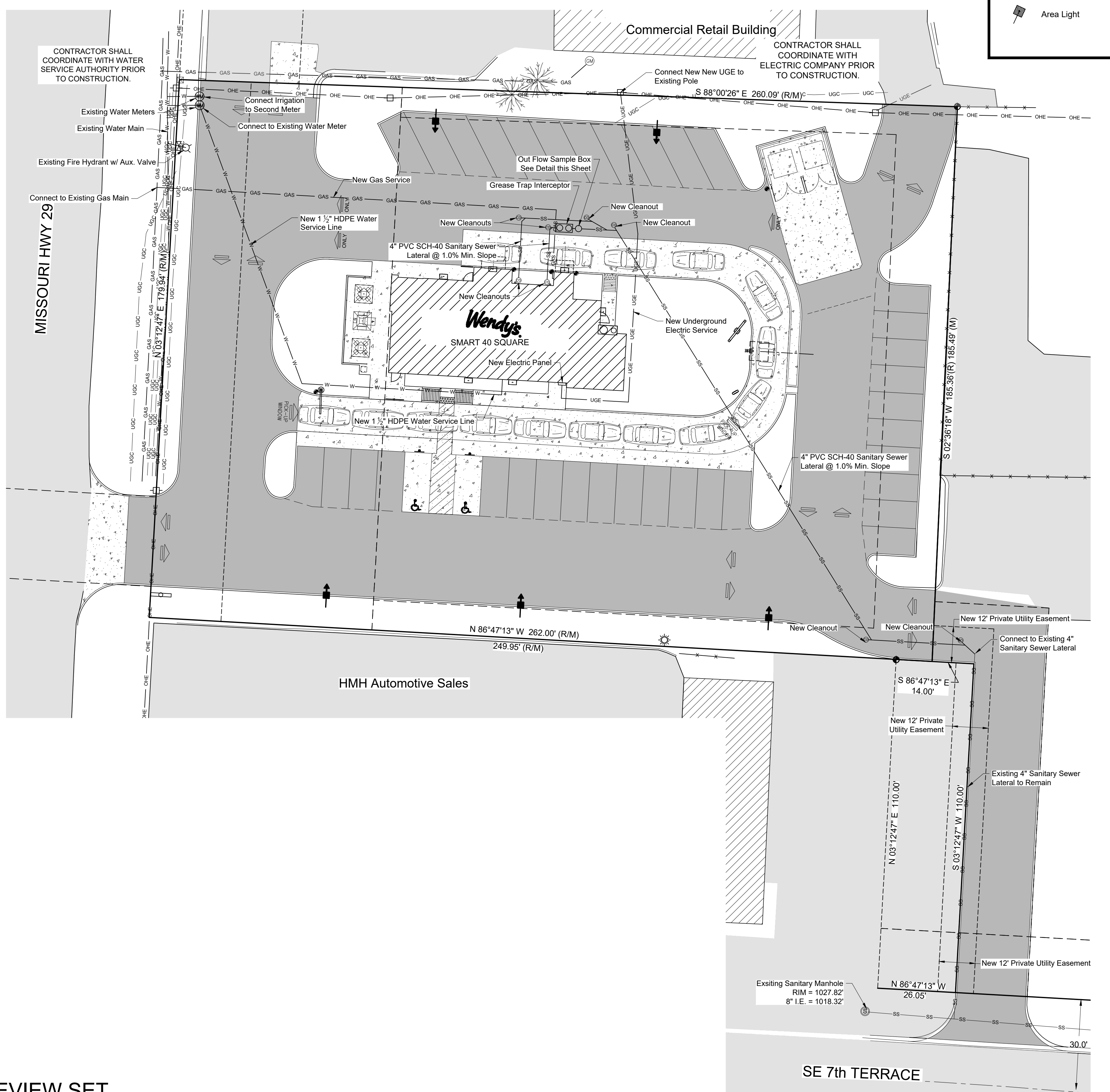
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 CHECKED BY: MEN. T.A.



SHEET NAME  
**UTILITY PLAN**  
 SHEET NUMBER  
**C4**

### CONTRACTOR CONSTRUCTION NOTES

- CONTRACTOR SHALL VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING WATER MAIN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. ALL WATER CONNECTIONS SHALL BE COORDINATED WITH PROPER UTILITY COMPANY PRIOR TO CONSTRUCTION. CONSTRUCTION SHALL CONFORM TO LOCAL PLUMBING CODE.
- CONTRACTOR SHALL COORDINATE CONNECTION POINT, SERVICE SIZE AND TRANSFORMER LOCATION WITH ELECTRICAL SERVICE CO. PRIOR TO CONSTRUCTION. METER BASES CANNOT BE MOUNTED ON TRANSFORMERS. CURRENT TRANSFORMERS FOR SERVICES ABOVE 400 AMPERES CAN BE INSTALLED ON POLES, BUILDINGS, OR INSIDE TRANSFORMERS. WILSON ENERGY WILL SPOT ALL TRANSFORMER AND METER LOCATIONS. PLEASE NOTIFY WILSON ENERGY OF EXACT ELECTRICAL REQUIREMENTS SUCH AS TOTAL CONNECTED LOAD AND VOLTGE REQUIREMENTS. ANY TREES OR SHRUBBERY THAT INTERFERES WITH WILSON ENERGY ELECTRICAL LINES IN THE FUTURE WILL BE REMOVED.
- CONTRACTOR SHALL VERIFY LOCATION, SIZE AND INVERT OF EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION AND COORDINATE WITH PROPER UTILITY COMPANY PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. CONTRACTOR SHALL INSPECT THE EXISTING LINE TO ENSURE IT IS NOT DAMAGED AND NOTIFY ENGINEER OF UNSATISFACTORY CONDITIONS. CONSTRUCTION SHALL CONFORM TO LOCAL PLUMBING CODE.
- CONTRACTOR SHALL COORDINATE WITH GAS SERVICE PROVIDER PRIOR TO CONSTRUCTION. EXPOSURES ARE TO BE MADE ON GAS MAIN TO VERIFY LOCATION AND DEPTH PRIOR TO CONSTRUCTION. CONSTRUCTION SHALL CONFORM TO LOCAL GAS AND PLUMBING CODE.
- CONTRACTOR SHALL COORDINATE CONNECTION POINT AND SERVICE SIZE WITH APPROPRIATE SERVICE PROVIDER PRIOR TO CONSTRUCTION FOR BOTH TELEPHONE AND CABLE TV SERVICE.

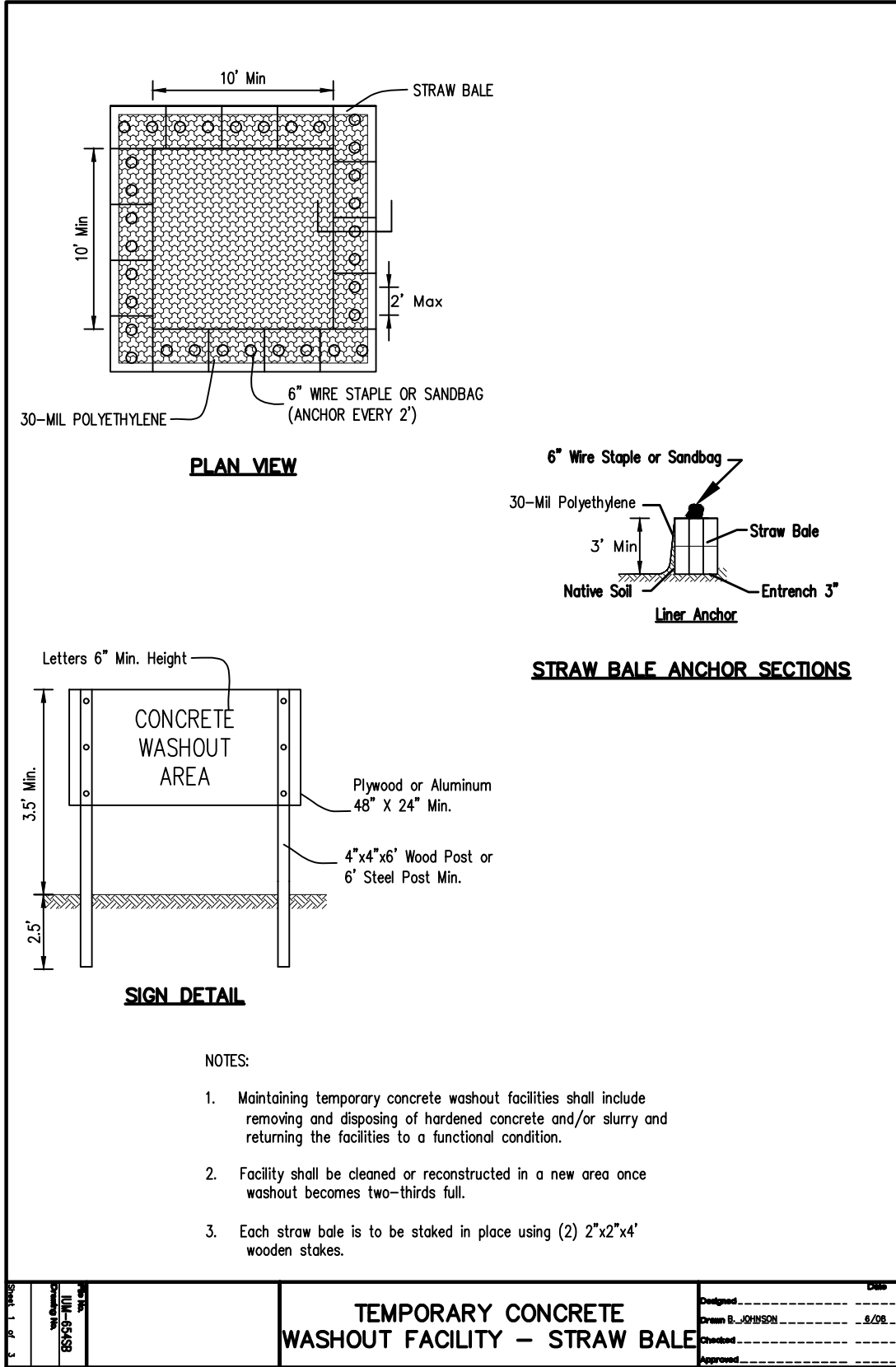


1 CLEANOUT DETAIL

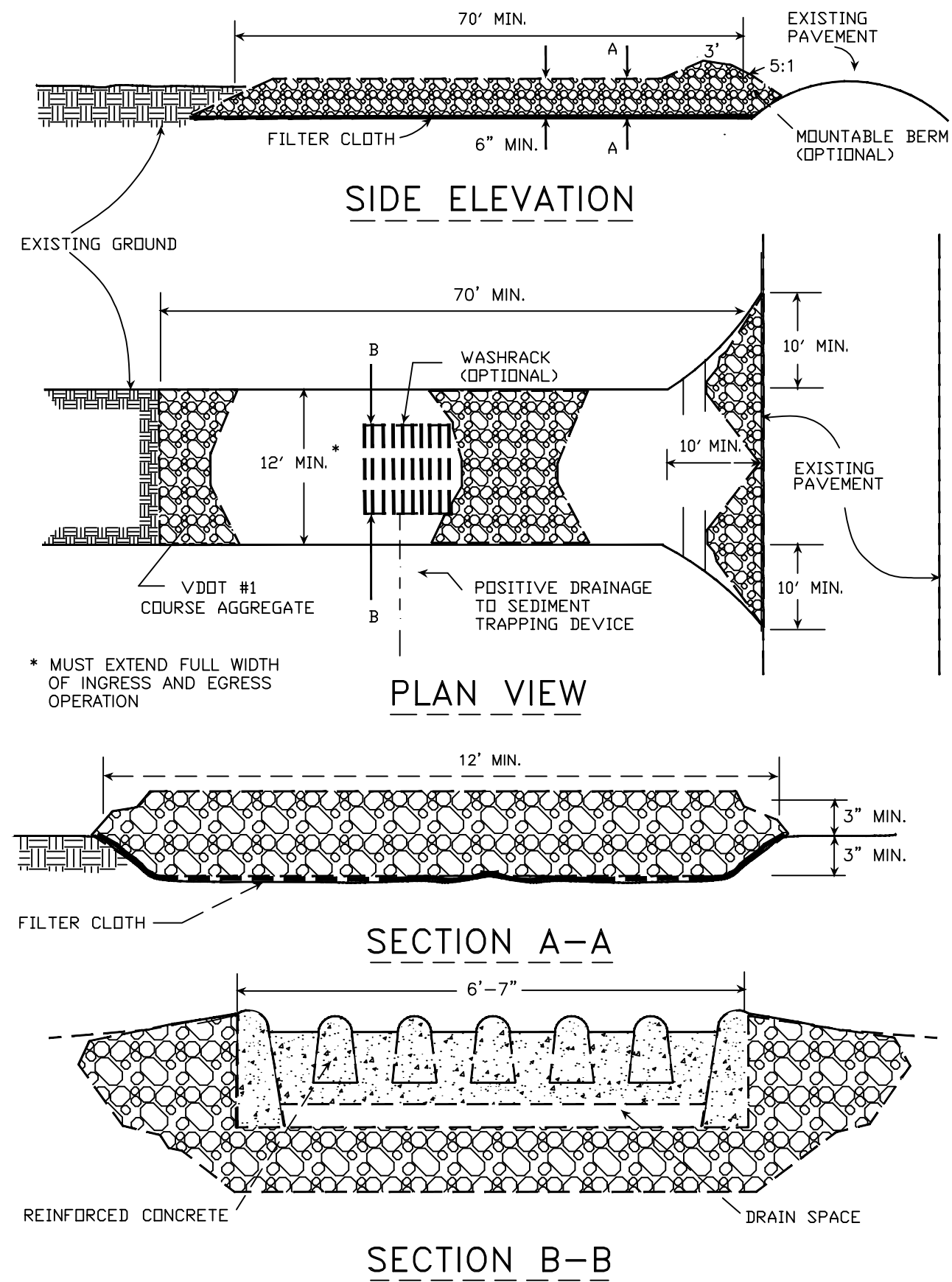
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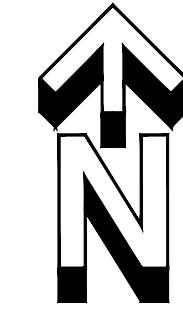
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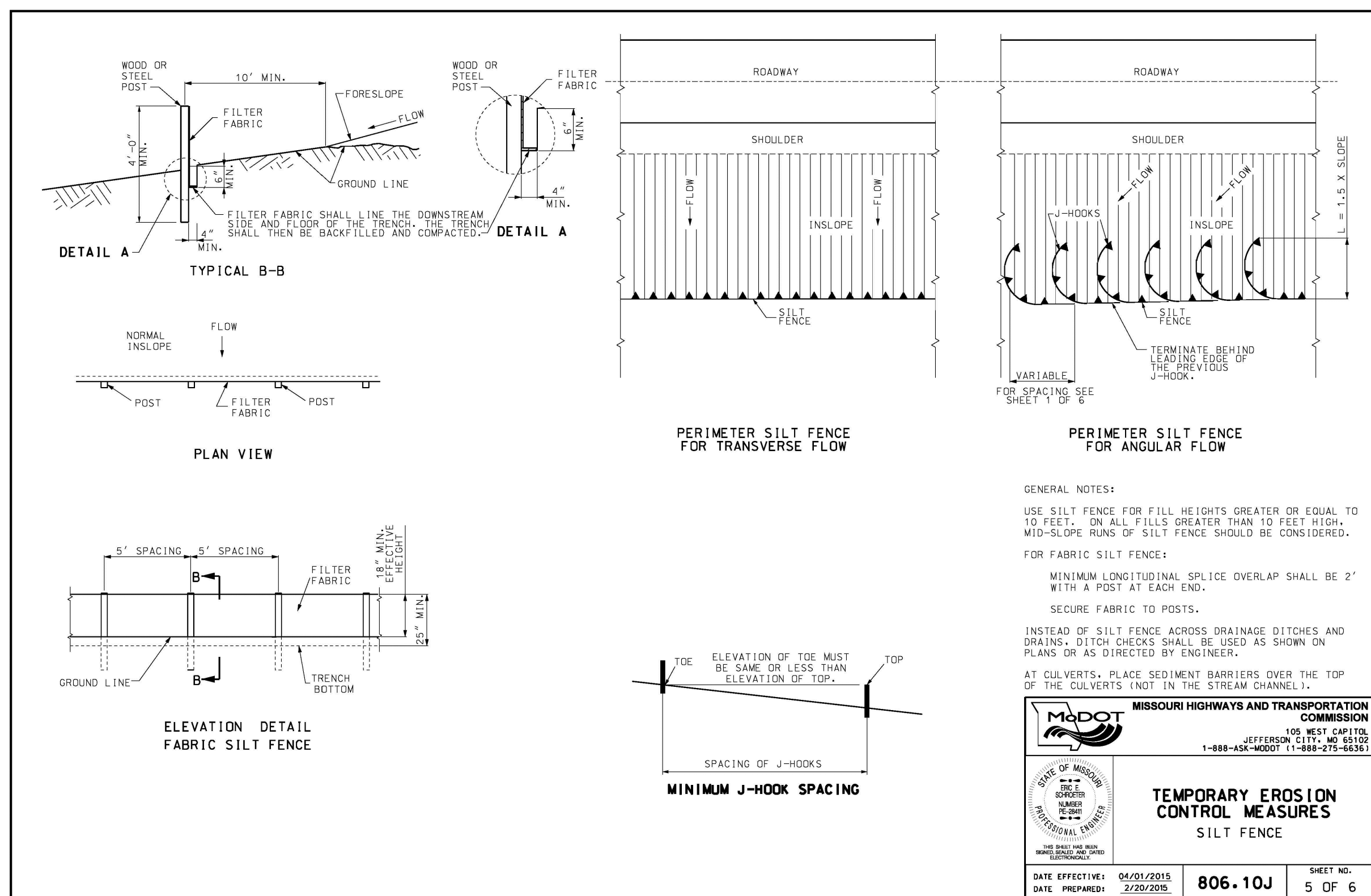
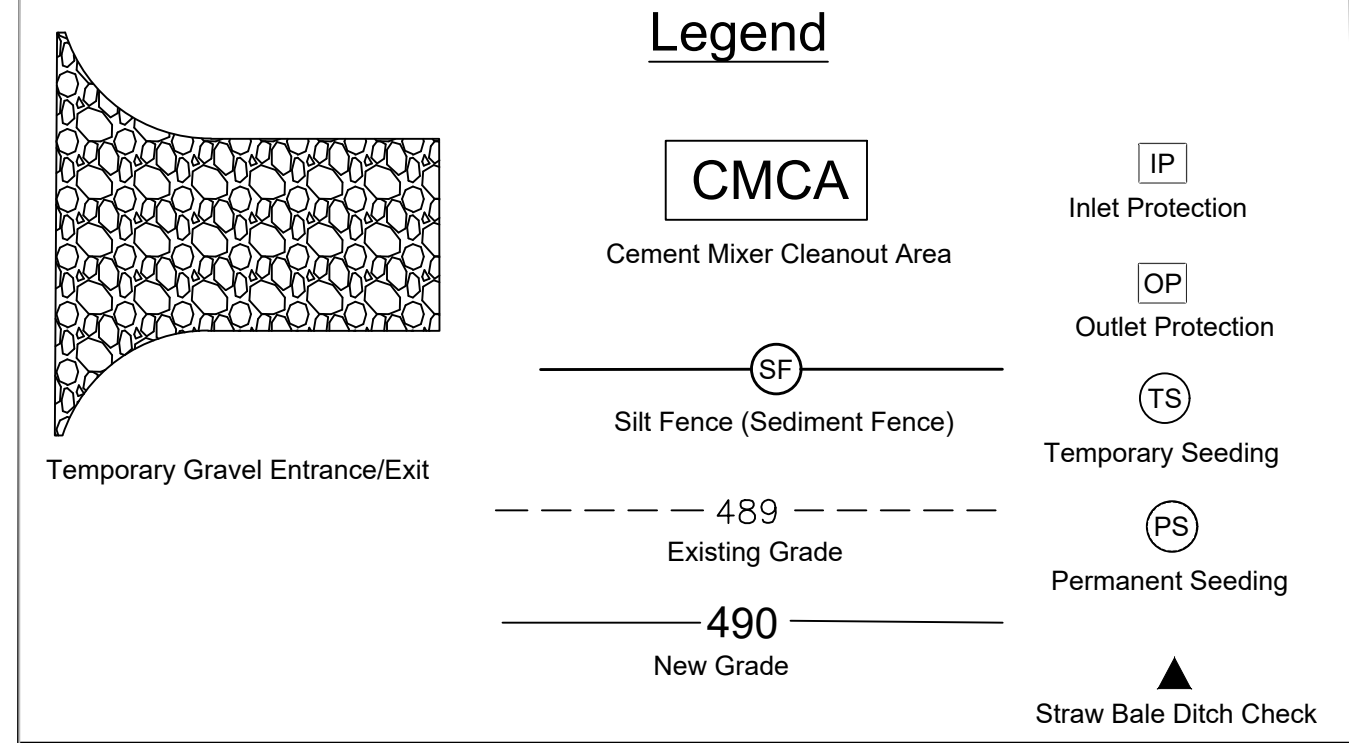
**STONE CONSTRUCTION ENTRANCE**



SOURCE: ADAPTED from 1983 Maryland Standards for Soil erosion and Sediment Control, and Va. DSWC Plate 3.02-1



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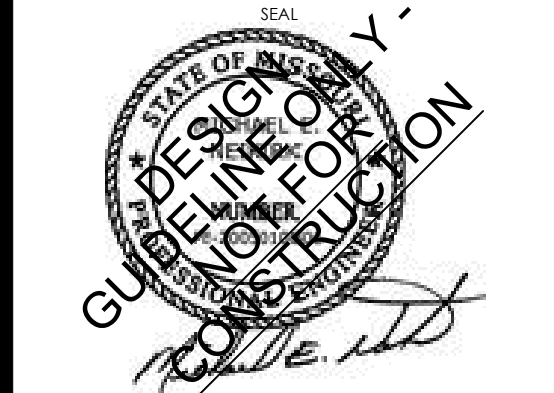
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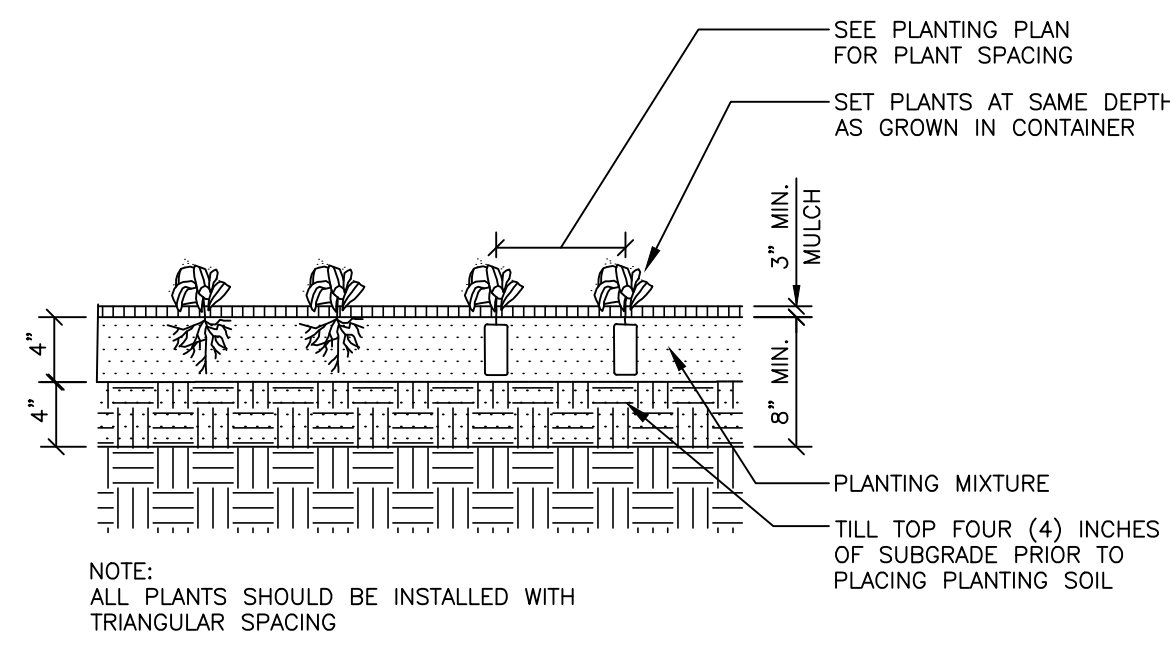
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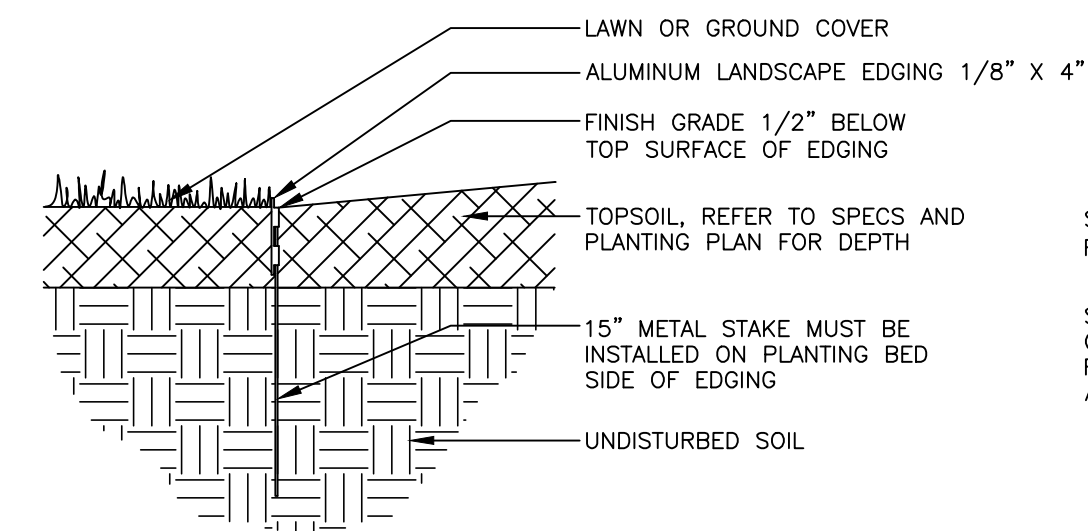


SHEET NAME  
**EROSION CONTROL**

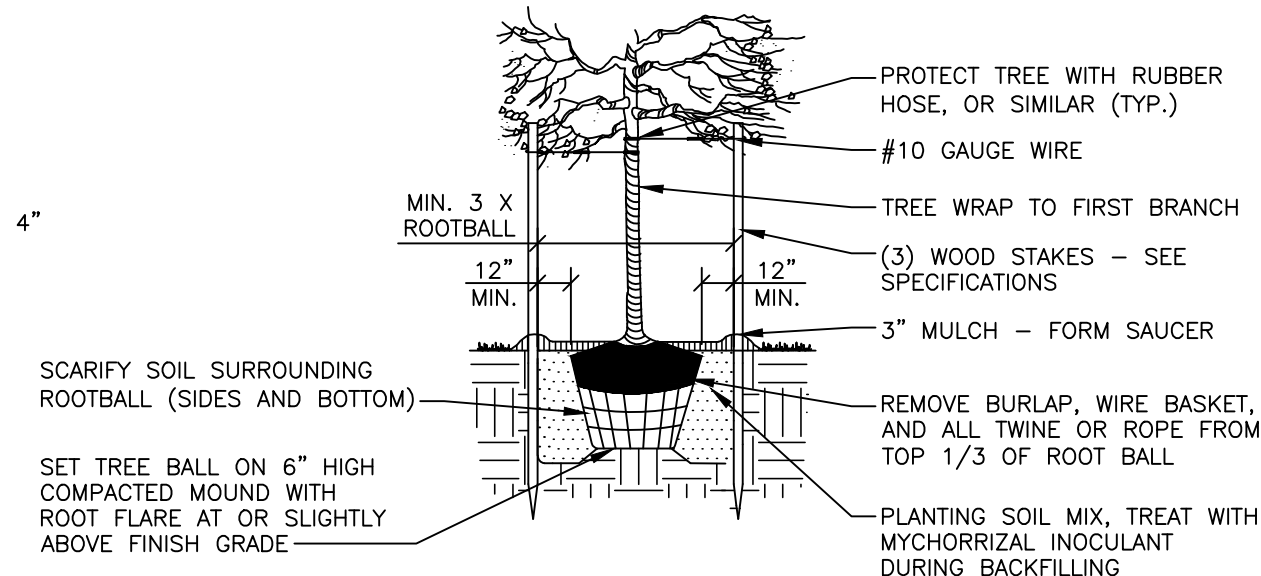
SHEET NUMBER  
**C5**



1 GROUNDCOVER PLANTING DETAIL  
NOT TO SCALE

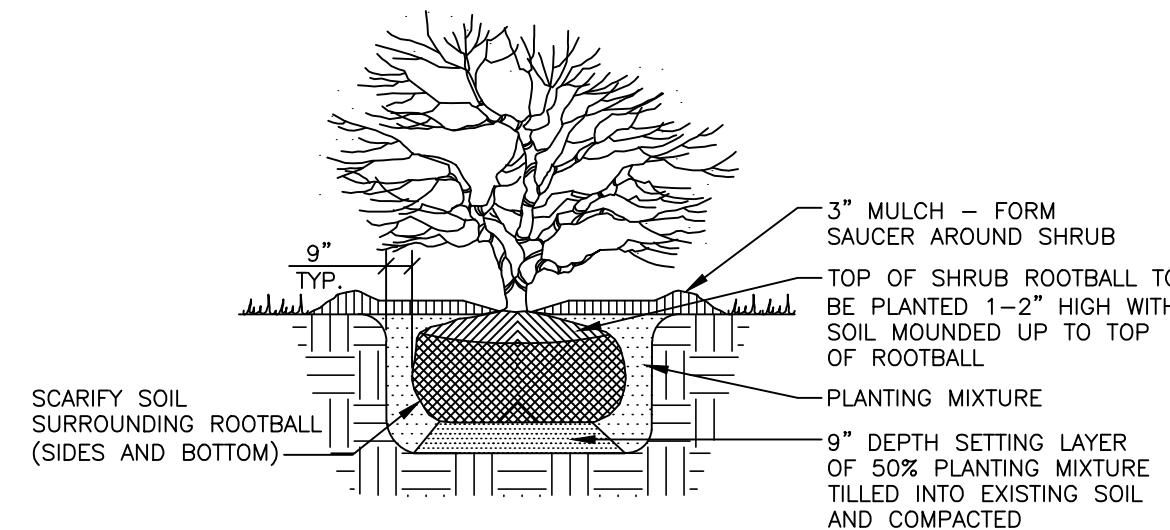


2 METAL EDGING DETAIL  
NOT TO SCALE



- NOTES
- TREES WITH 2.5" CALIPER MUST HAVE A MINIMUM VOLUME OF 500 CF OF NEW PLANTING SOIL MIX AROUND THE ROOT BALL.
  - TREES WITH 3" CALIPER MUST HAVE A MINIMUM VOLUME OF 750 CF OF NEW PLANTING SOIL MIX AROUND THE ROOT BALL.
  - CONTRACTOR TO CONFIRM PERCOLATION OF ALL PLANTING PITS PRIOR TO TREE INSTALLATION. IF PITS DO NOT PERCOLATE, INSTALL 4" PERFORATED UNDERDRAIN AT BOTTOM OF PIT AND CONNECT TO NEAREST DOWNSTREAM STORM CATCHBASIN/MAHOLE.

3 TREE PLANTING DETAIL  
NOT TO SCALE



4 SHRUB PLANTING DETAIL  
NOT TO SCALE

### LEGEND

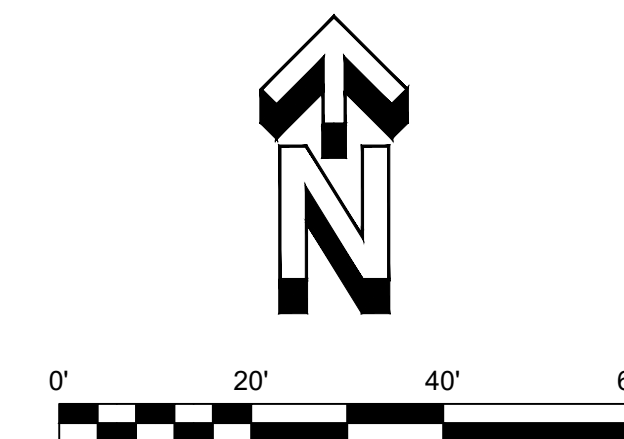
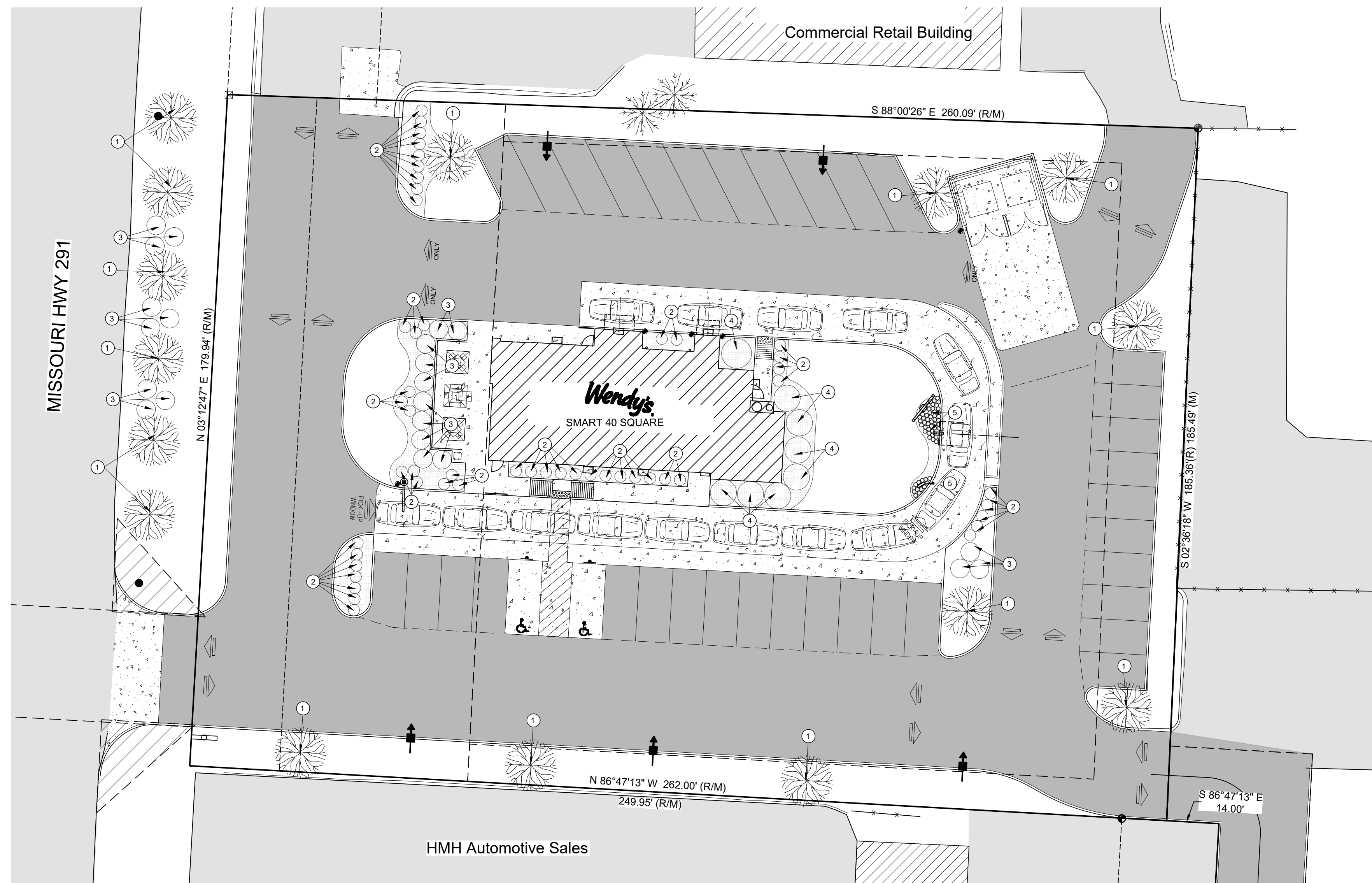
● Benchmark	⊙ Sanitary Sewer Manhole	— W — W — W — Water Line	▨ Existing Asphalt	▨ Gravel
○ Iron Pin Found	⊙ Sign	— SS — SS — SS — Sanitary Sewer Main	▨ New Asphalt	▨ Existing Concrete
○ Iron Pin Set	⊙ Water Meter	— X — X — X — X — X — Fence	▨ New Concrete	▨ Stormwater Easement
⊙ Bollard	⊙ Water Valve	— 470 — — 470 — — Existing Contours	▨ Existing Asphalt TBR	
⊙ Soil Boring Location	⊙ Utility Pole	— UGE — UGE — UGE — New Contours		
⊙ Sanitary Sewer Cleanout	TBR To Be Removed	— S — S — S — Storm Sewer		
⊙ Gas Meter	TC Top of Curb	— OHE — OHE — Overhead Electric		
⊙ Storm Sewer Curb Inlet	PV Pavement	— GAS — GAS — Gas Lines		
⊙ Storm Sewer MH/Open Lid	ME Match Existing	— Ditch / Swale		
⊙ Light Pole or Traffic Light	470.0 Grade point			
⊙ Storm Sewer Manhole	⊙ Number of Parking Spaces			
⊙ Air Conditioner	TBR To Be Removed			

### Landscaping Table

KEYNOTE	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
1	Red Maple	Acer rubrum	18	3" CALIPER
2	Green Velvet Boxwood	Buxus x 'Green Velvet'	35	2 GAL. CONTAINER
3	Koreanspice Viburnum	Viburnum carlesii 'Compactum'	15	2 GAL. CONTAINER
4	Blue Point Juniper	Juniperus chinensis 'Blue Point'	8	24"-30" BALLED AND BURLAPPED
5	Liriope 'Big Blue'	Liriope muscari 'Big Blue'	56	2 1/2" PEA POT

### LANDSCAPING REQUIREMENTS

- Planting areas shall be mulched. All planting areas and lawn areas shall be separated by steel edging. No steel edging needs to be installed adjacent to buildings, sidewalks, or curbs. Cut steel edging at 45 degree angle where it intersects walks and curbs.
- All landscaped and lawn areas shall be irrigated through the use of an automatic underground irrigation system with rain and freeze sensors and evapotranspiration weather-based controllers. Irrigation system shall be designed and installed by a licensed irrigation contractor. Hunter Irrigation System shall be used unless equal is approved by owner.
- All landscape material shall be maintained in accordance with the American Standard for Nursery Stock as published by the American Association of Nurserymen. All dead, dying, or diseased material will be replaced, in kind, by the owner within the next available planting season.
- All portion of the site not covered with paving or buildings shall be landscaped. Open area not covered with other materials shall be covered with sod. Ground cover shall be utilized on all slopes in excess of 3:1 slopes.
- Street Frontage = 179.94'  
Required Trees: 1 tree required for each 30 feet of street frontage = 6 required trees  
Actual Trees: 6 trees along frontage.  
Required Shrubs: 1 shrub for each 20 feet of street frontage = 9 required shrubs  
Actual Shrubs = 9 shrubs along frontage
- Parking Lot Screening = 48.50'  
Required Shrubs: 12 Shrubs required for each 40 feet of Parking Lot = 15 Shrubs  
Actual Shrubs: 16 Shrubs along Parking lot Frontage
- Total Lot Area minus Building Footprint = 45,186.73 Sq. Ft.  
Required Shrubs: 2 shrubs per 5,000 sq. ft. of total lot area = 18 Shrubs  
Actual Shrubs = 56 Shrubs on Lot (not used for Street Frontage or Parking Lot Screening)  
Required Trees: 1 Tree per 5,000 sq. ft. of total lot area = 9 Trees  
Actual Trees = 9 Trees
- Total Vehicle Use Area = 30,676.20 Sq. Ft.  
Required Interior Landscape Area: 5% of VUA = 1,534 Sq. Ft.  
Actual Interior Landscape Area = 1,876 Sq. Ft.



Missouri One Call System, Inc. is open 7 days a week, 24 hours a day to process locate requests or address questions regarding a locate request. The toll free number is 1-800-344-7483 or 811 (the National three digit call before you dig phone number).

SITE NUMBER: 12802  
BASE MDL: SMART 55 - NARROW 2017  
ASSET TYPE: FRAN  
CLASSIFICATION: NEW  
OWNER: NPCQB  
BASE VERSION: 2017  
UPGRADE CLASSIFICATION: NEW BUILD  
PROJECT YEAR: 2019  
FURNITURE PACKAGE: 2016 V3  
DRAWING RELEASE: SPRING 2018

linear!  
Marc Brundige,  
Architect  
8951 CYPRESS WATERS BLVD., STE 130  
DALLAS, TX 75019  
PHONE: 972.929.9226  
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**npc**  
quality burgers  
4200 W. 115TH ST. STE. 200  
LEAWOOD, KANSAS 66211  
OFFICE: (913) 327-3120  
CELL: (913) 544-3421

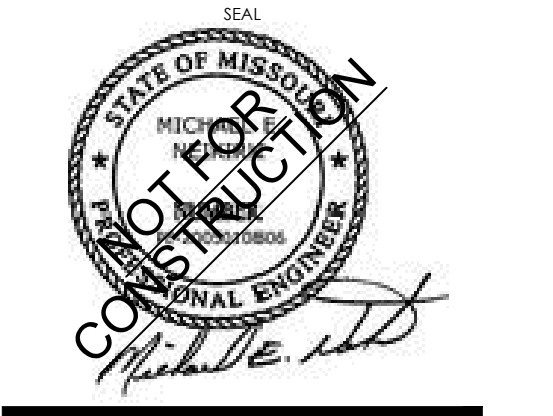
PROJECT TYPE: NEW  
SMART 55 - NARROW

MICHAEL E. NEIKIRK PE  
Civil Engineer  
306 North Market Street Ste. 101  
Mt. Carmel, IL 62853  
Phone: (618) 263-4100

**Wendy's**  
#12533 (NPCQB#6042)  
711 E MISSOURI 291 HWY  
LEE'S SUMMIT, MO 64063

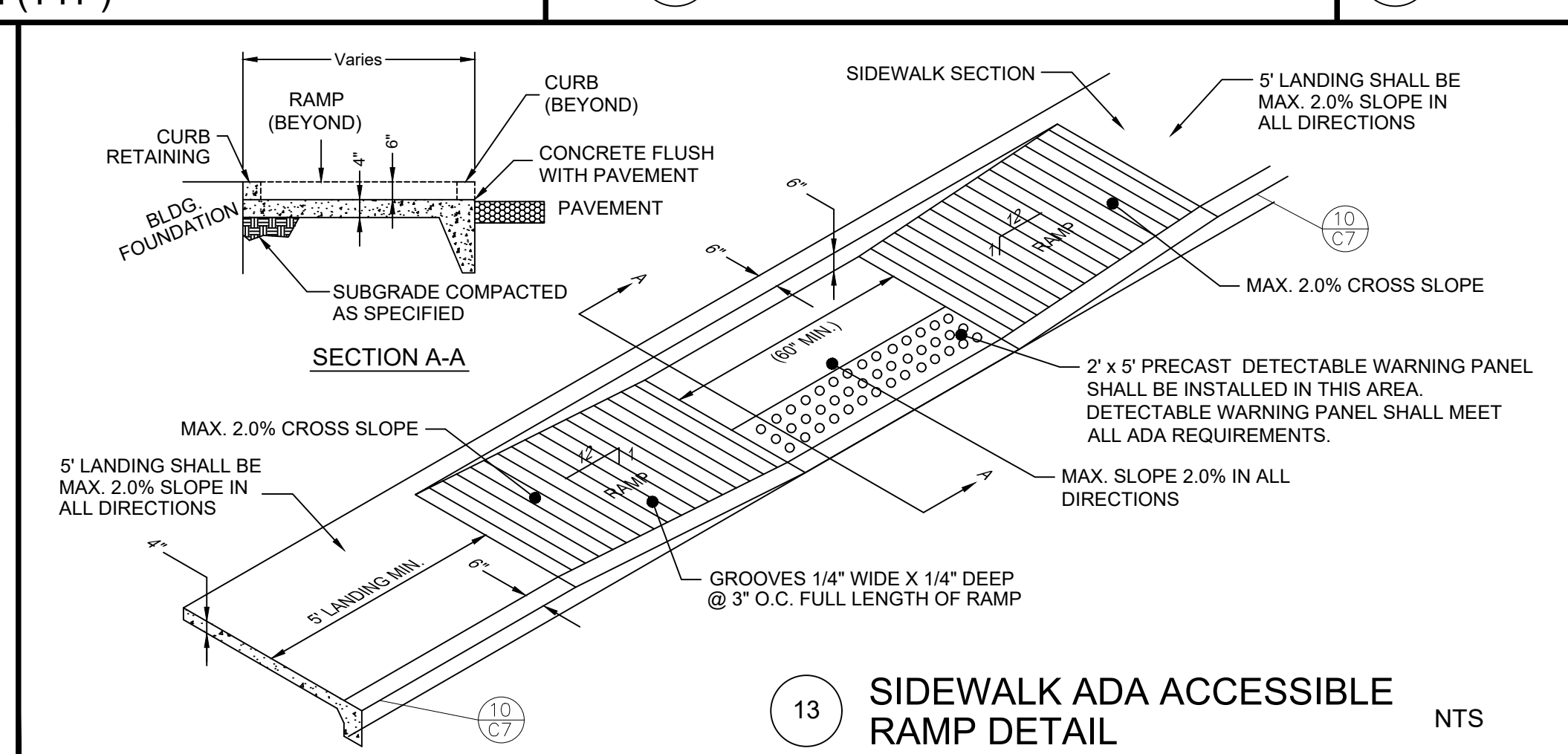
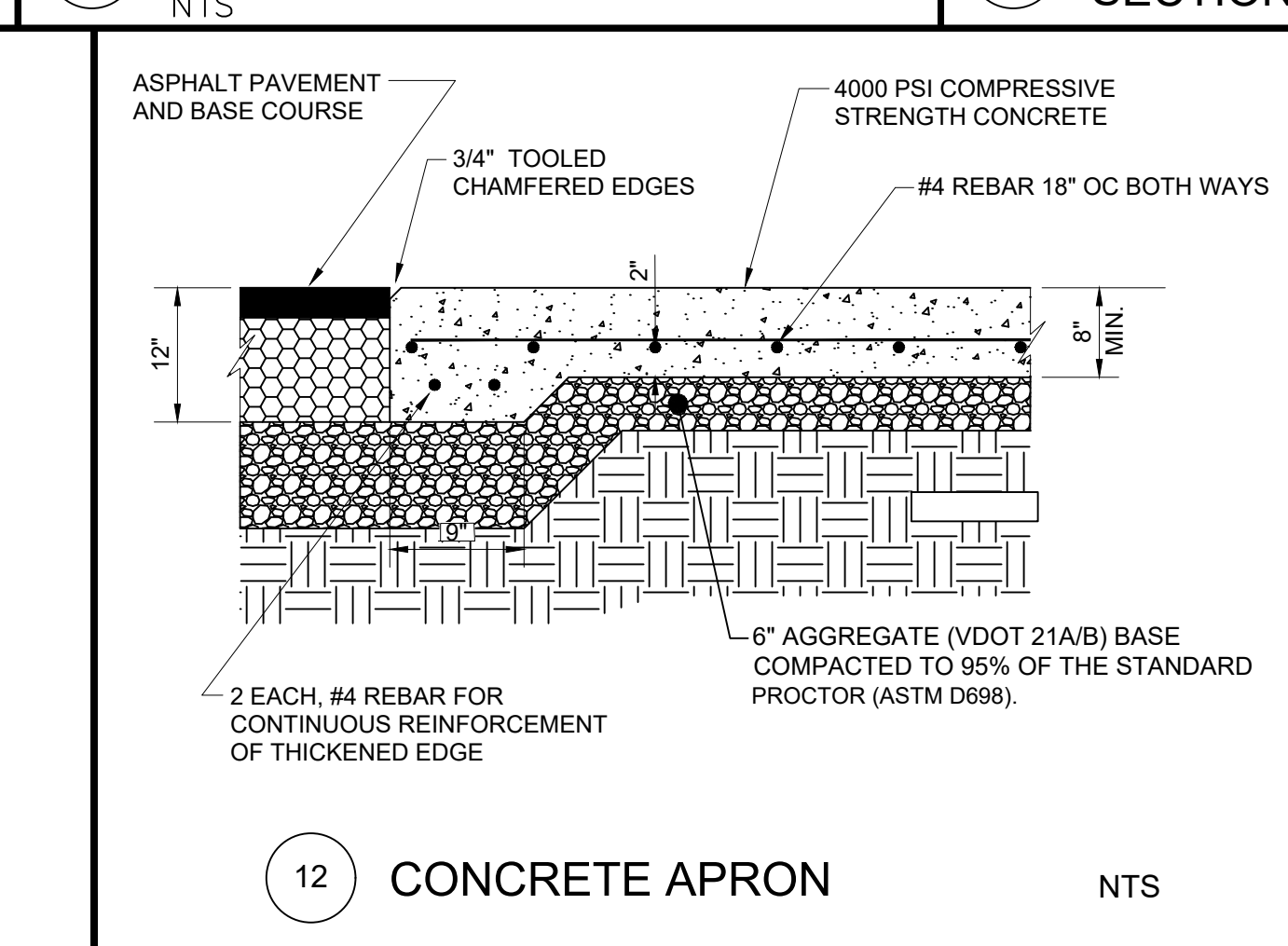
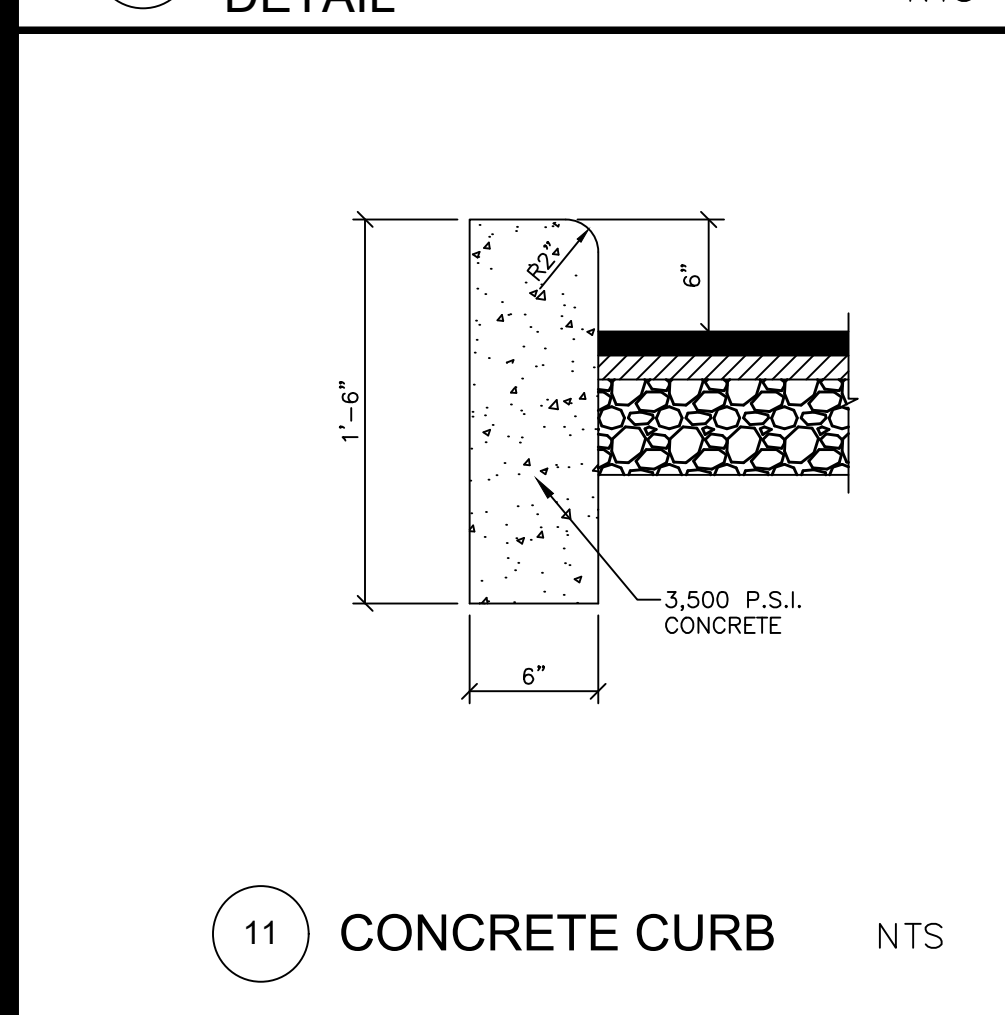
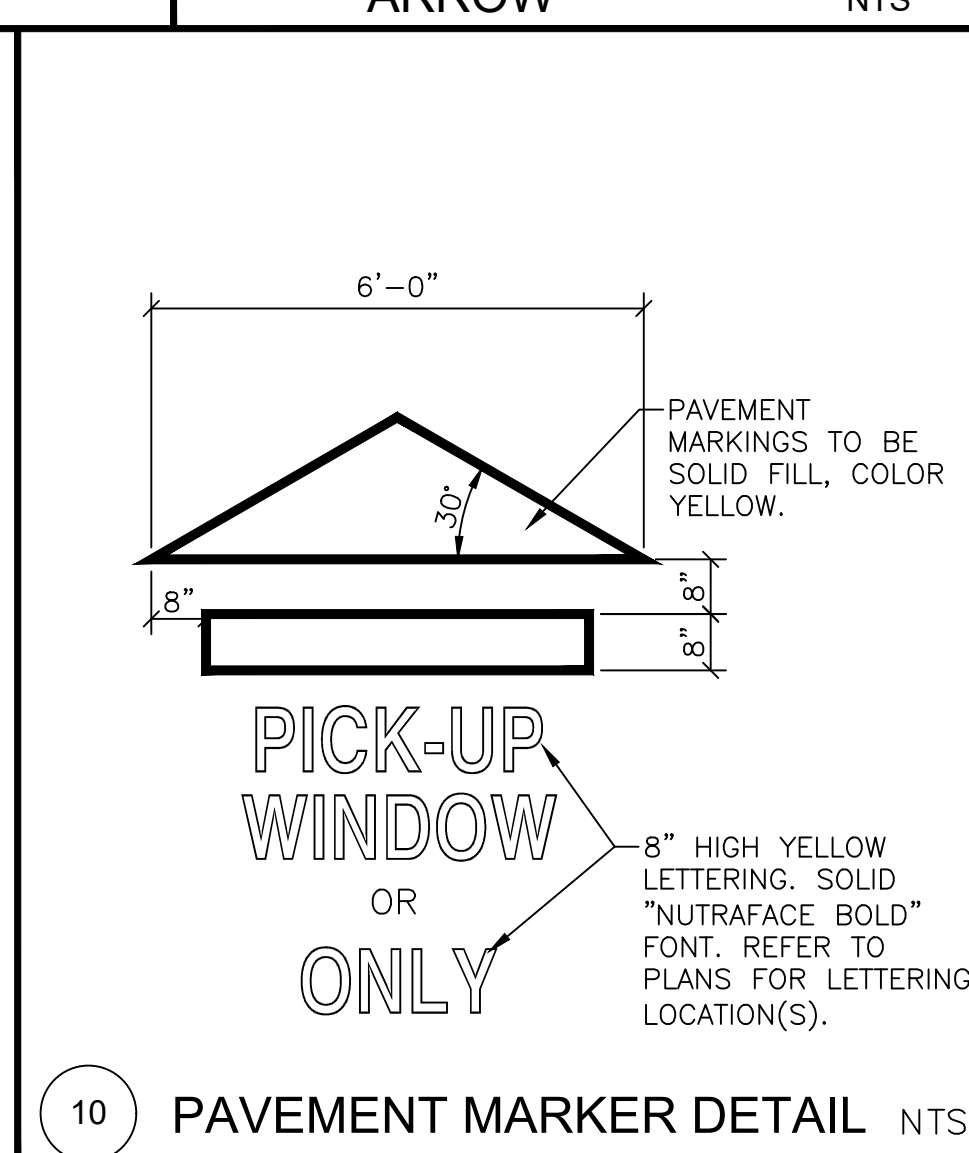
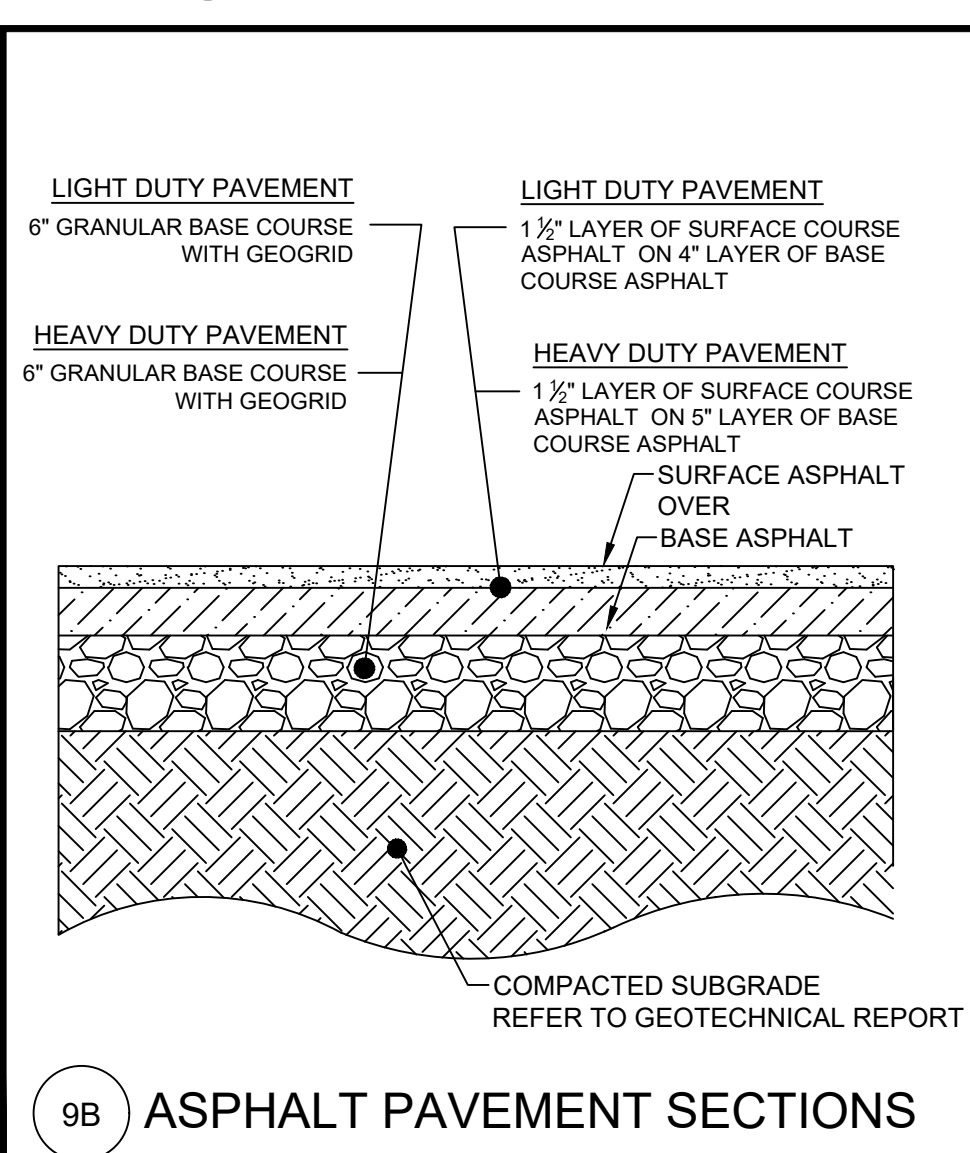
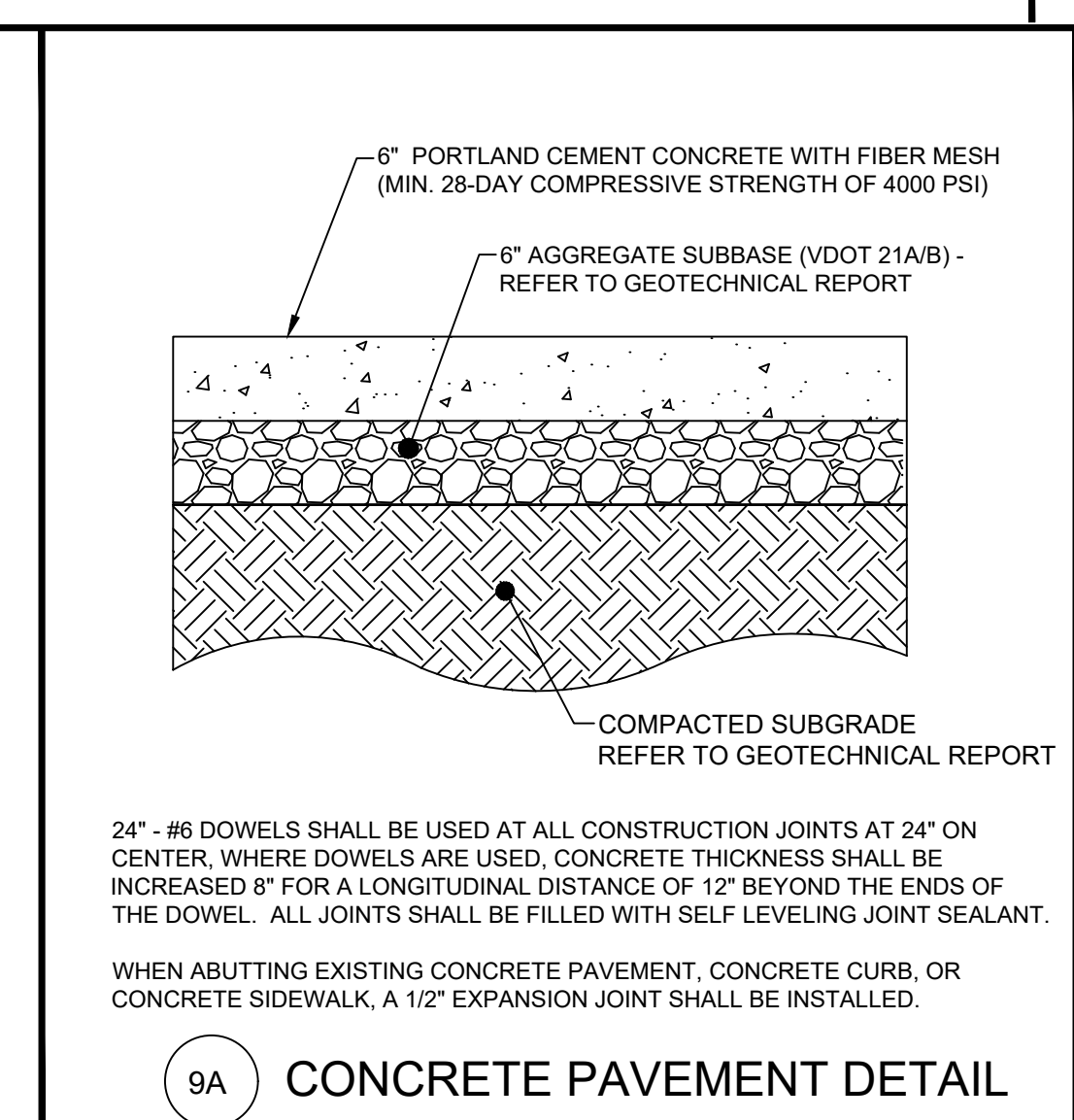
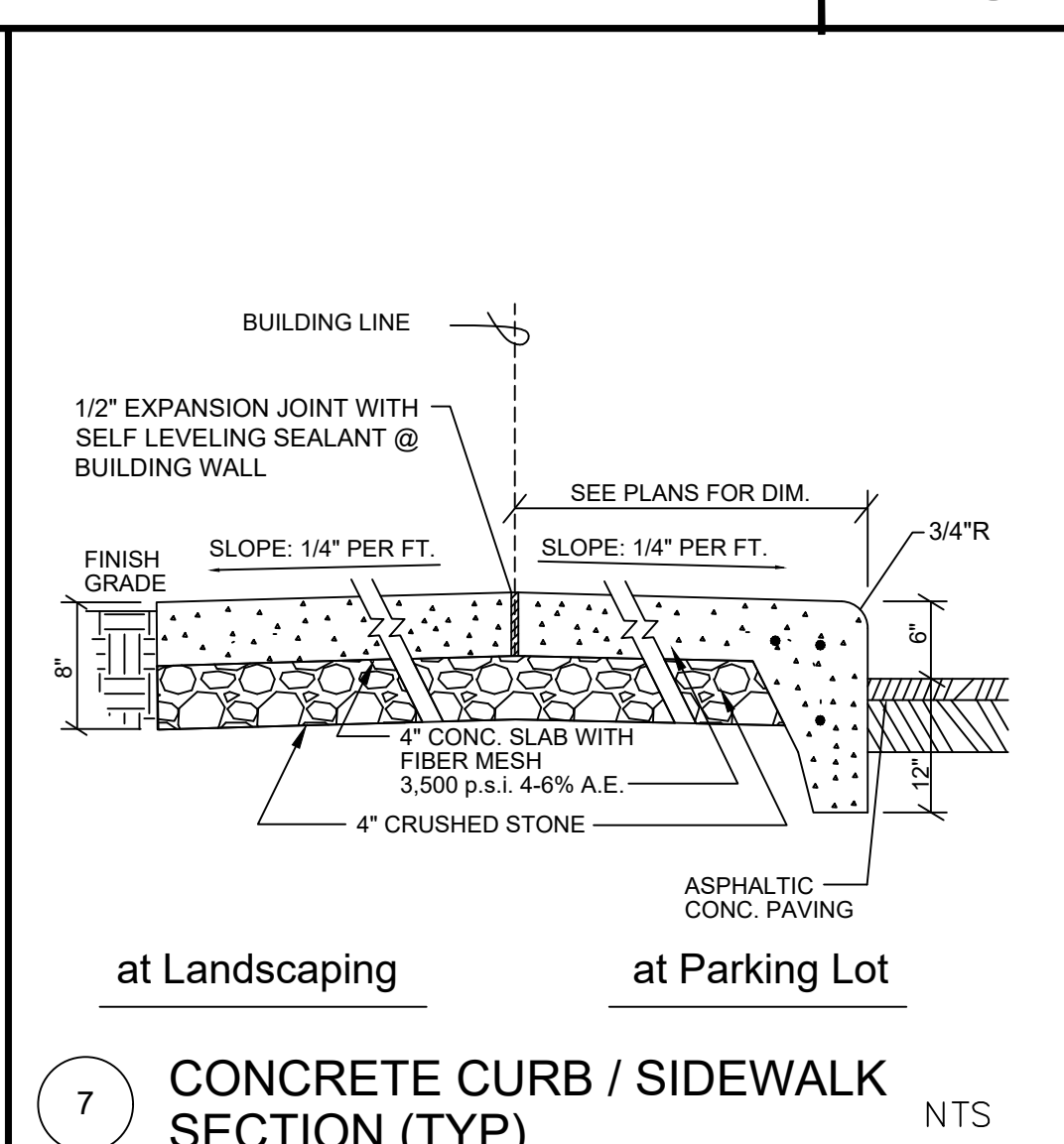
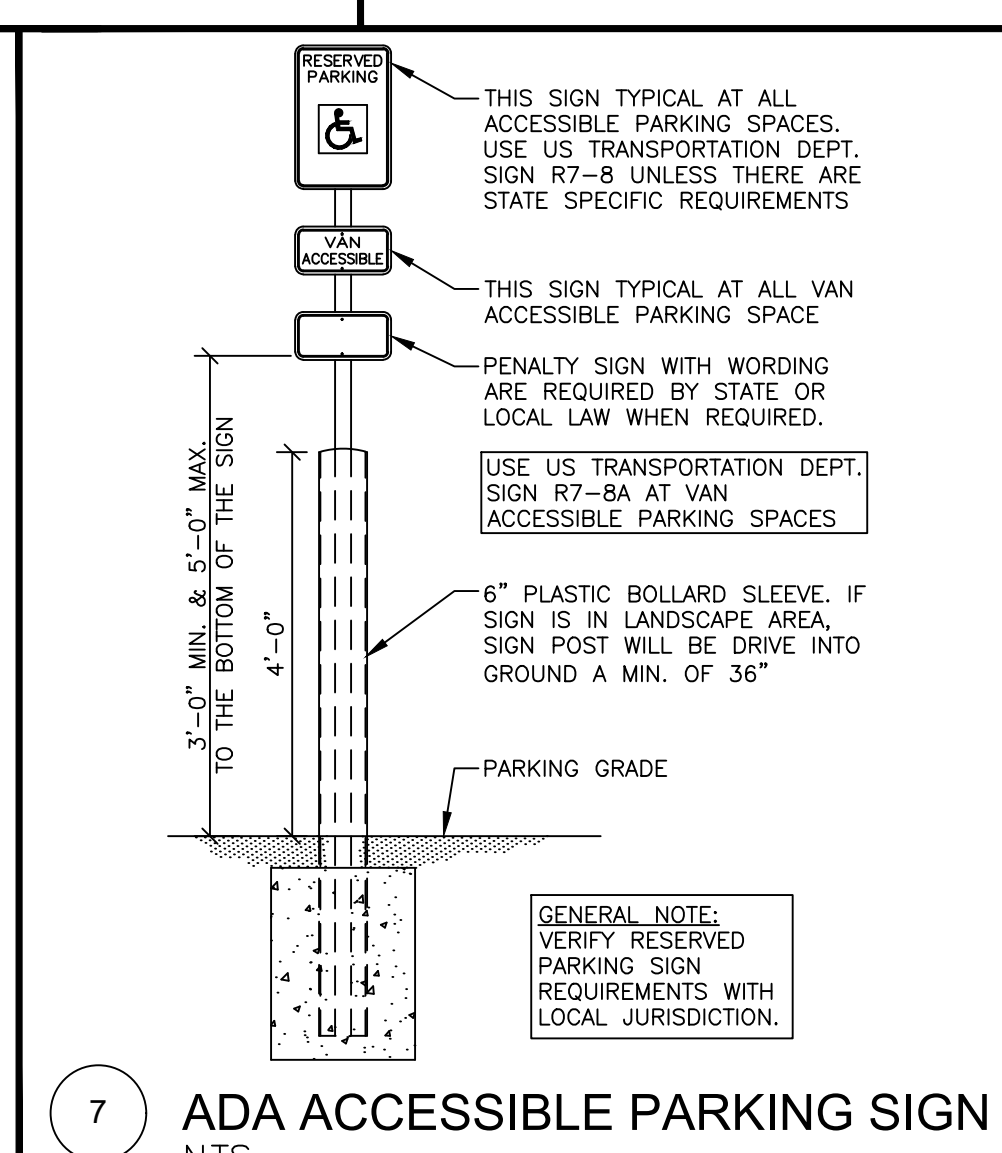
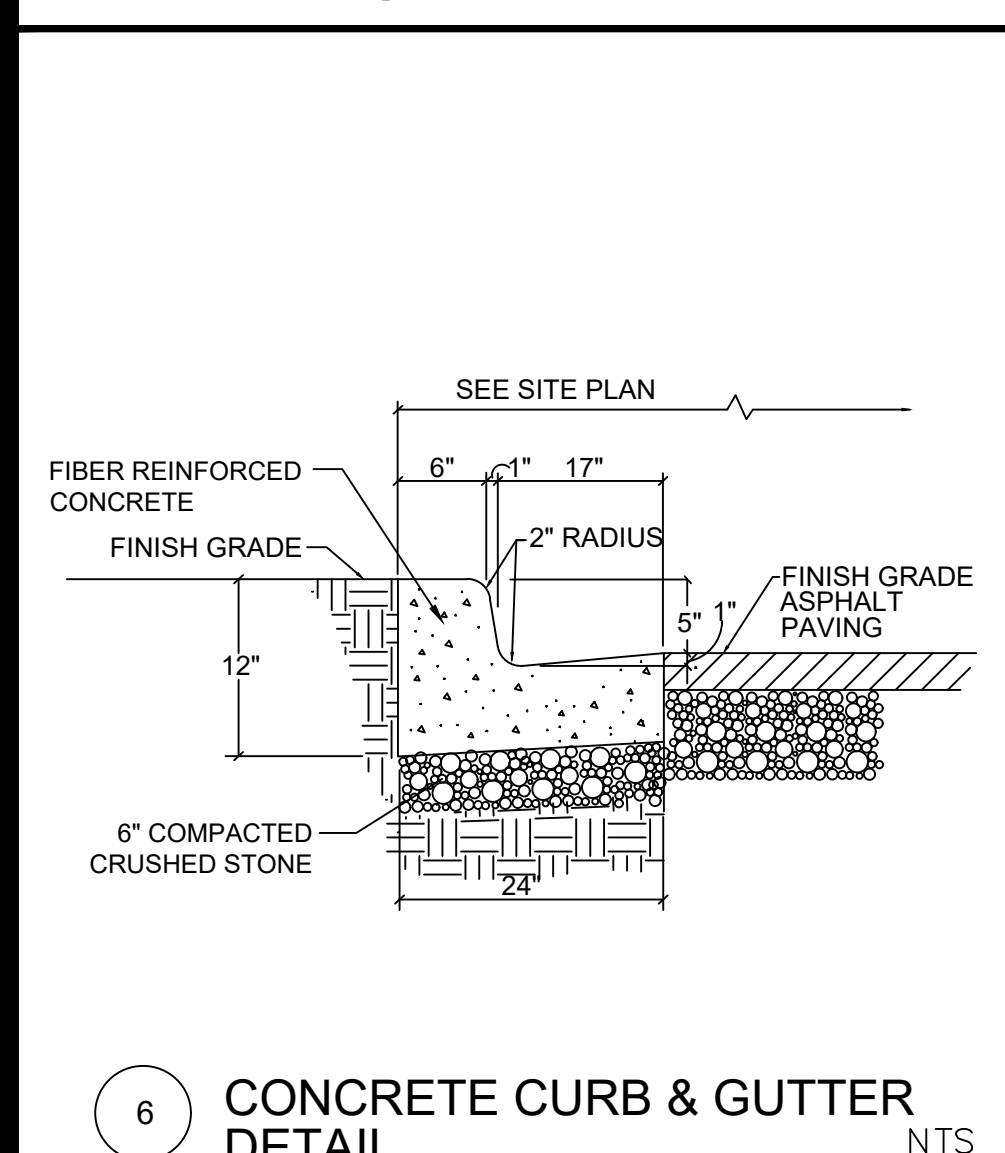
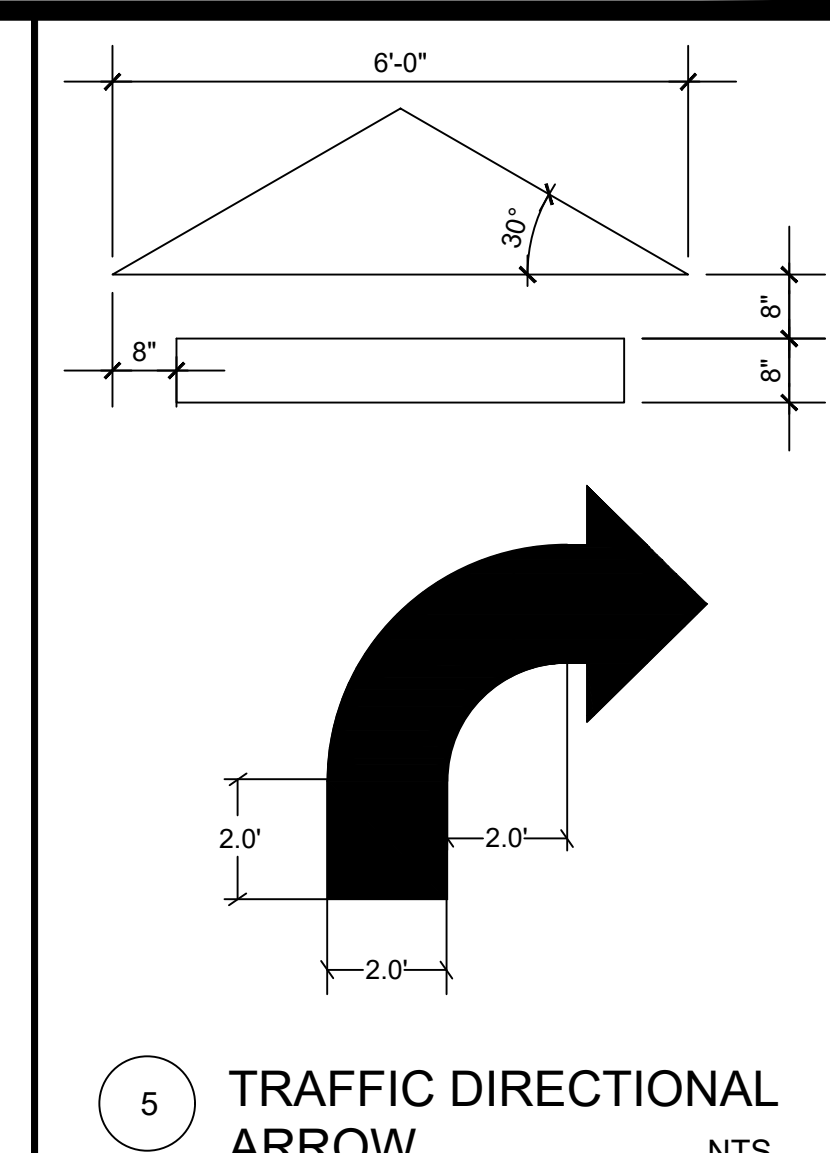
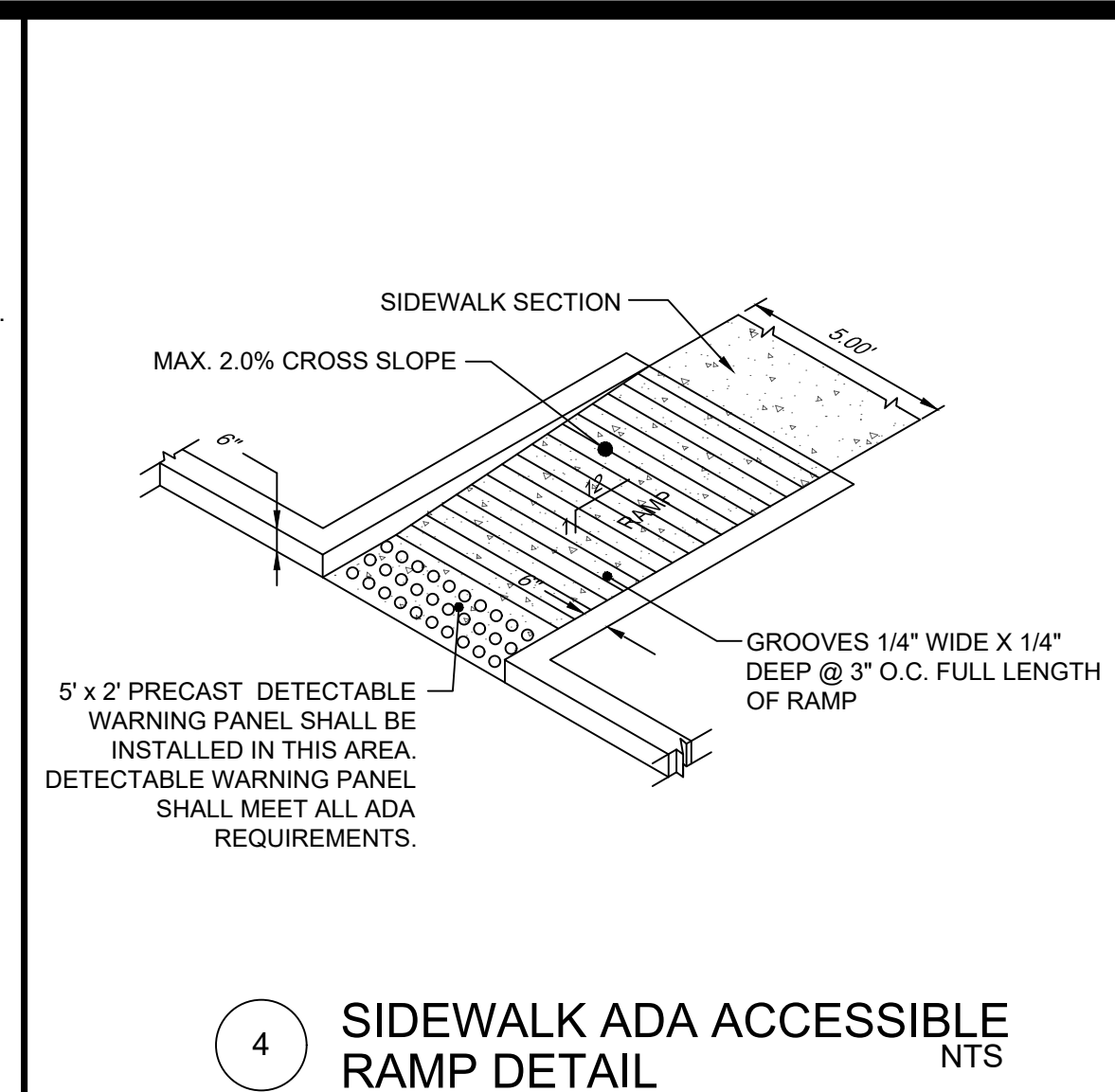
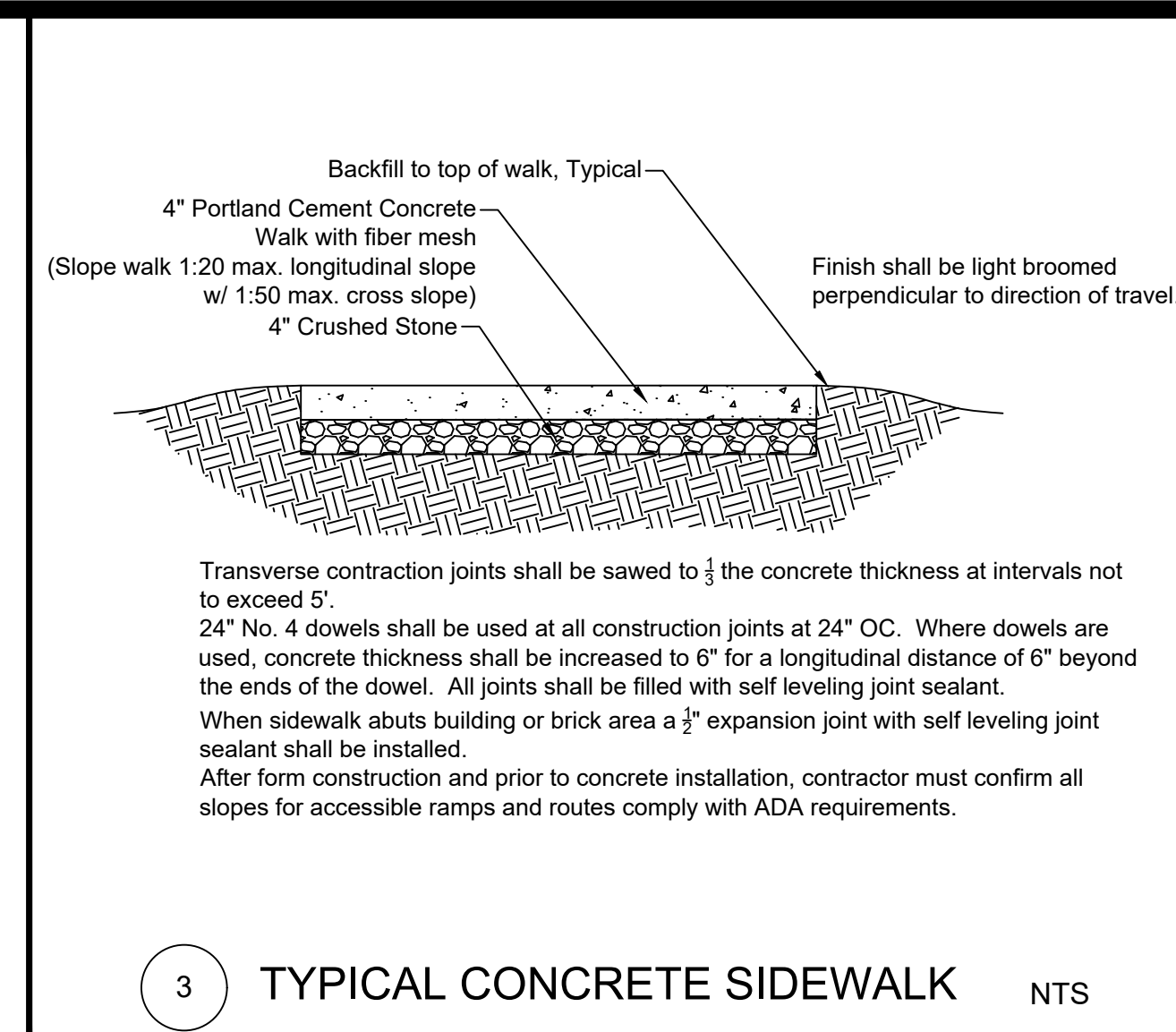
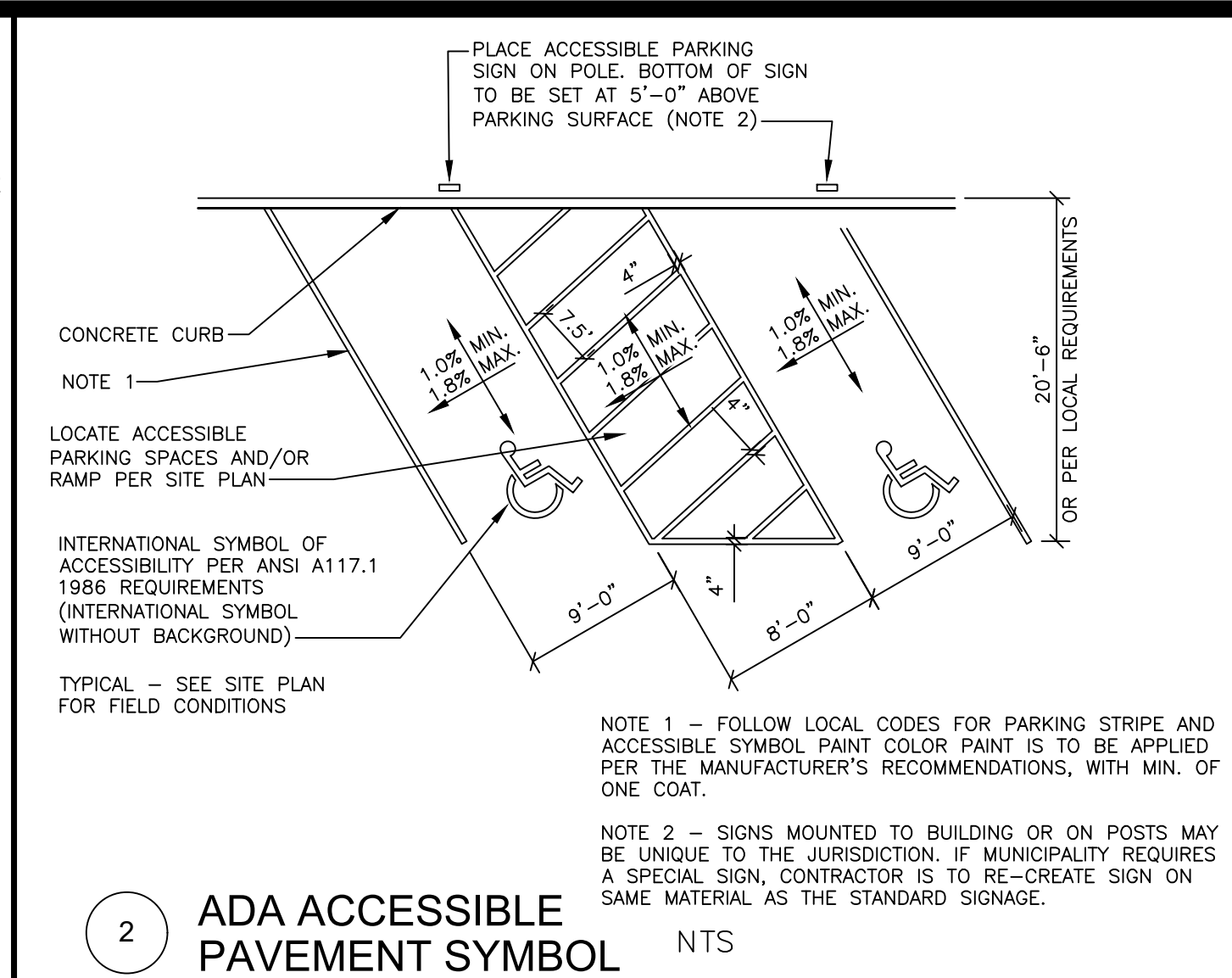
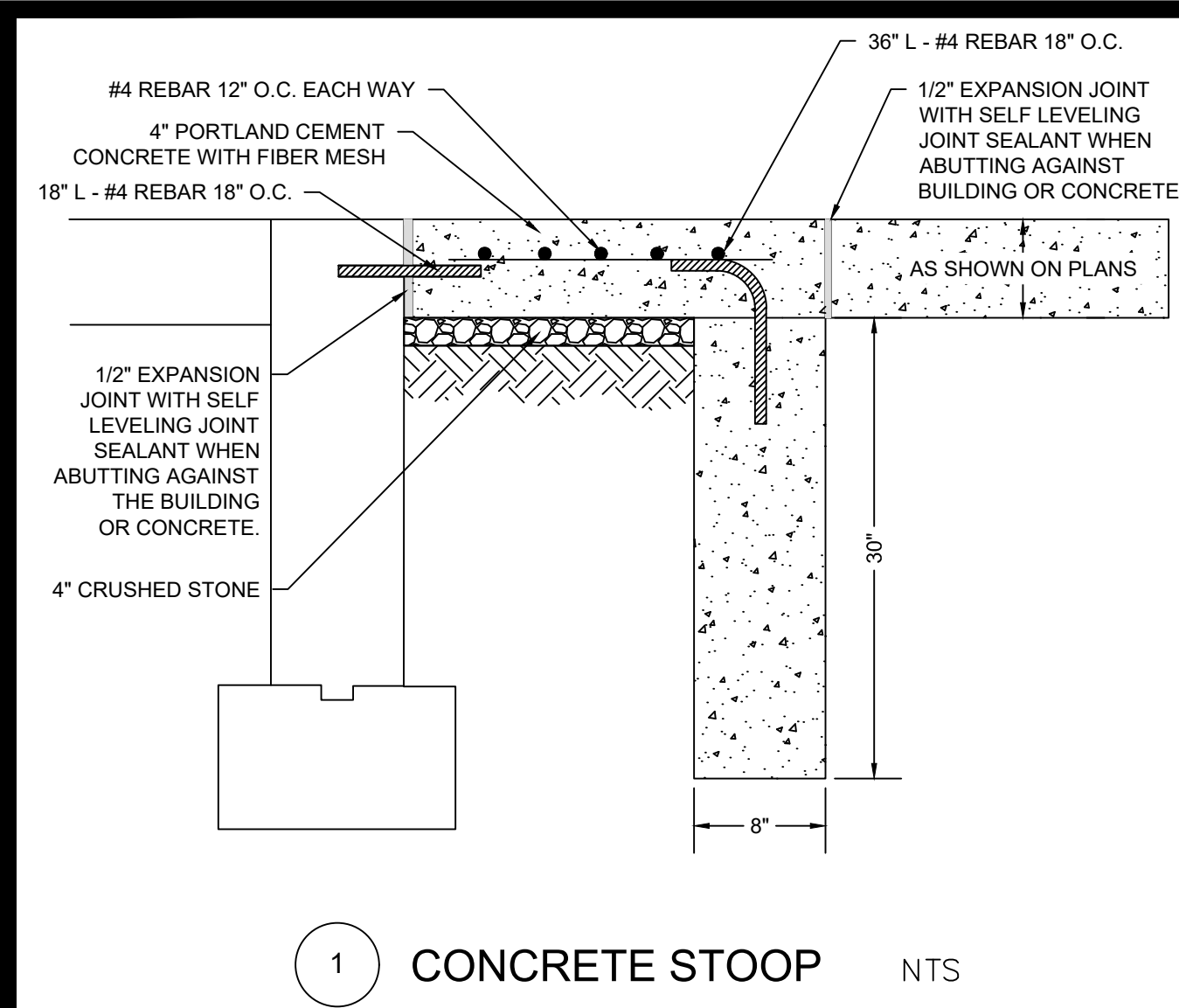
REV.	DATE	DESCRIPTION

ISSUE DATE: 7-11-19  
PROJECT NUMBER: NPCQB#6042  
DRAWN BY: T.L. RM  
CHECKED BY: MEN, T.L.



SHEET NAME  
LANDSCAPE PLAN  
SHEET NUMBER

**C6**



SITE NUMBER: 12802  
 BASE MDL: SMART 55 - NARROW 2017  
 ASSET TYPE: FRAN  
 CLASSIFICATION: NEW  
 OWNER: NPCQB  
 BASE VERSION: 2017  
 UPGRADE CLASSIFICATION:  
 NEW BUILD  
 PROJECT YEAR: 2019  
 FURNITURE PACKAGE: 2016 V3  
 DRAWING RELEASE: SPRING 2018

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 66211  
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PROJECT TYPE: NEW  
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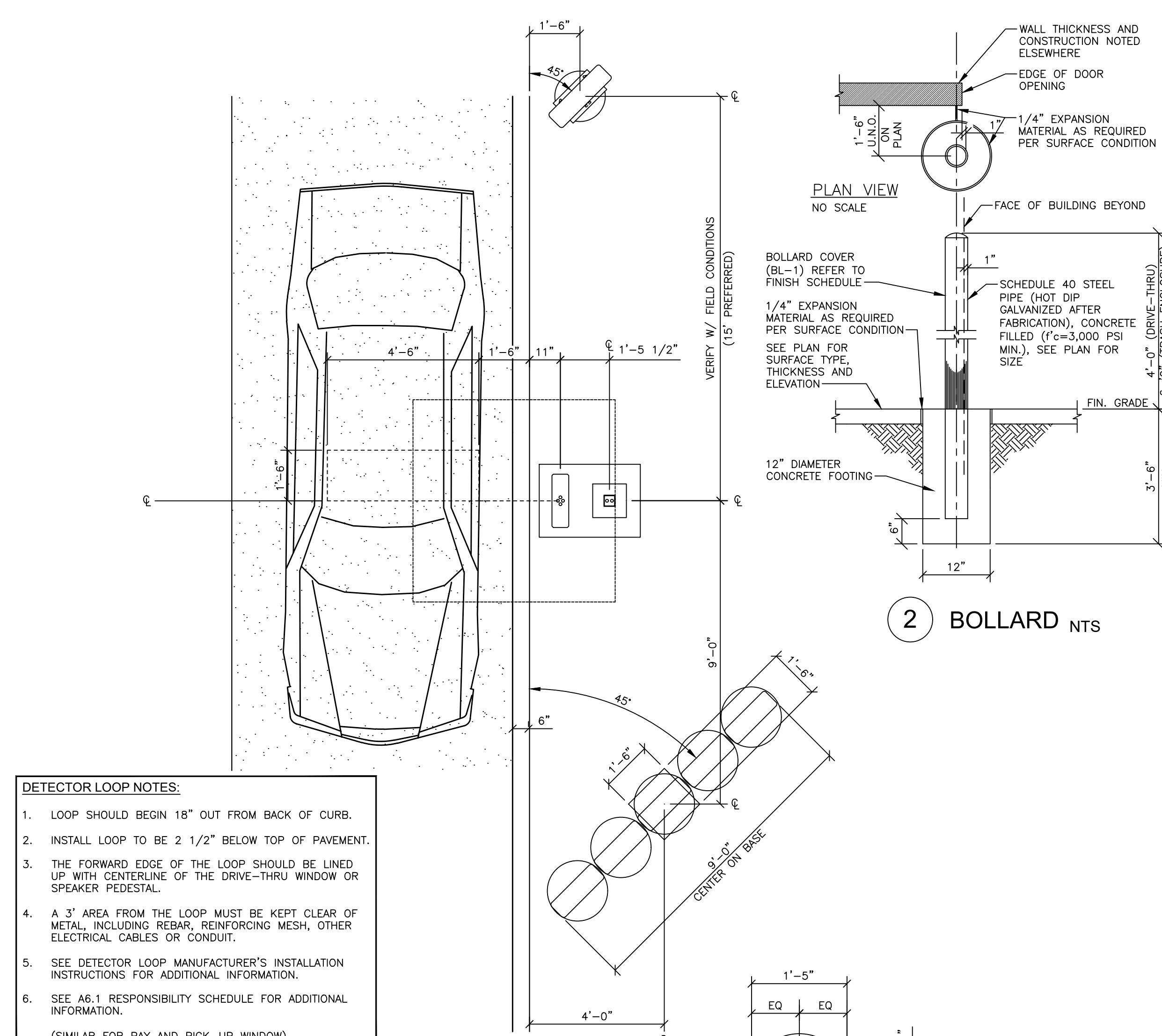
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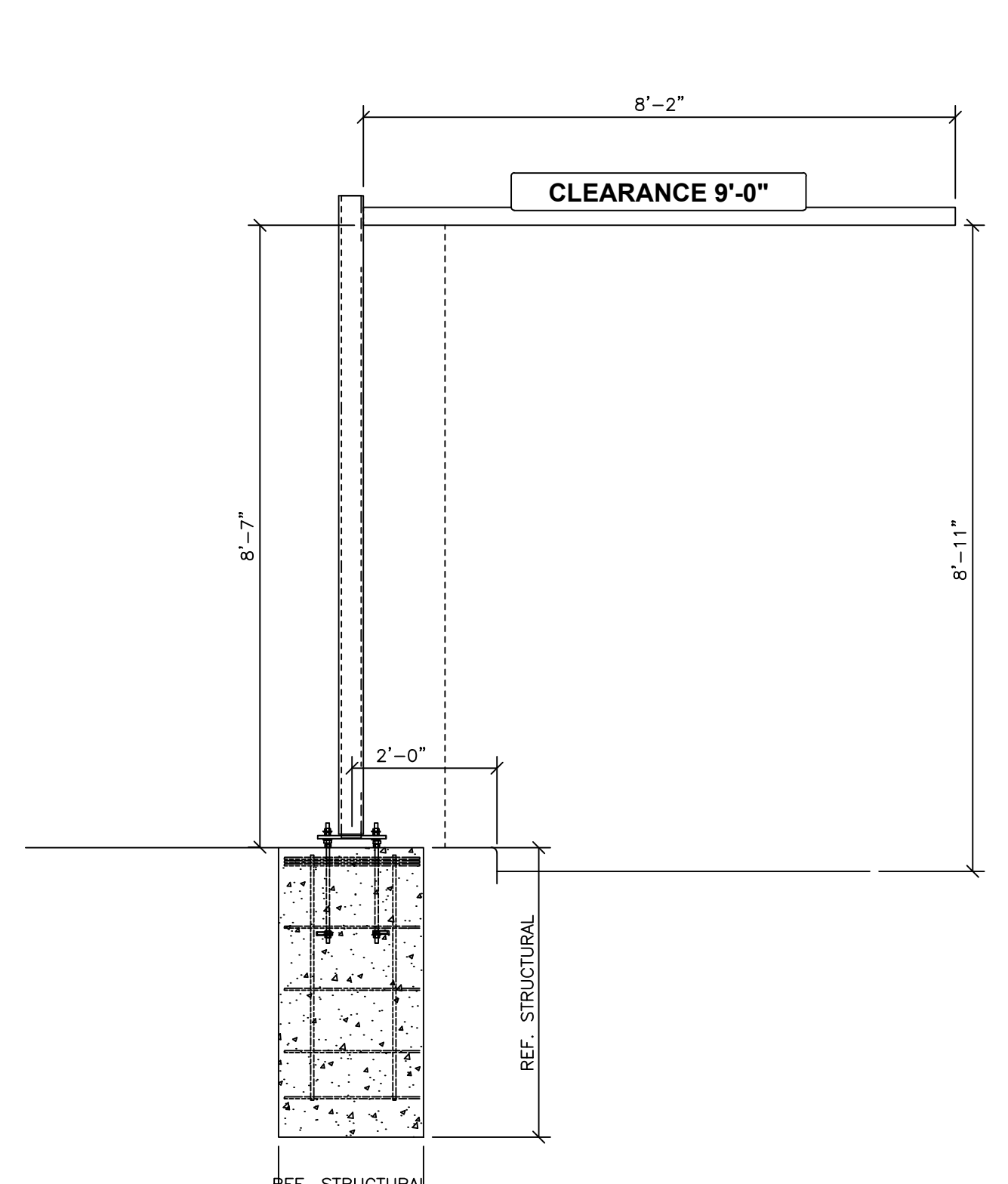
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 DETAILS

SHEET NUMBER  
 C7

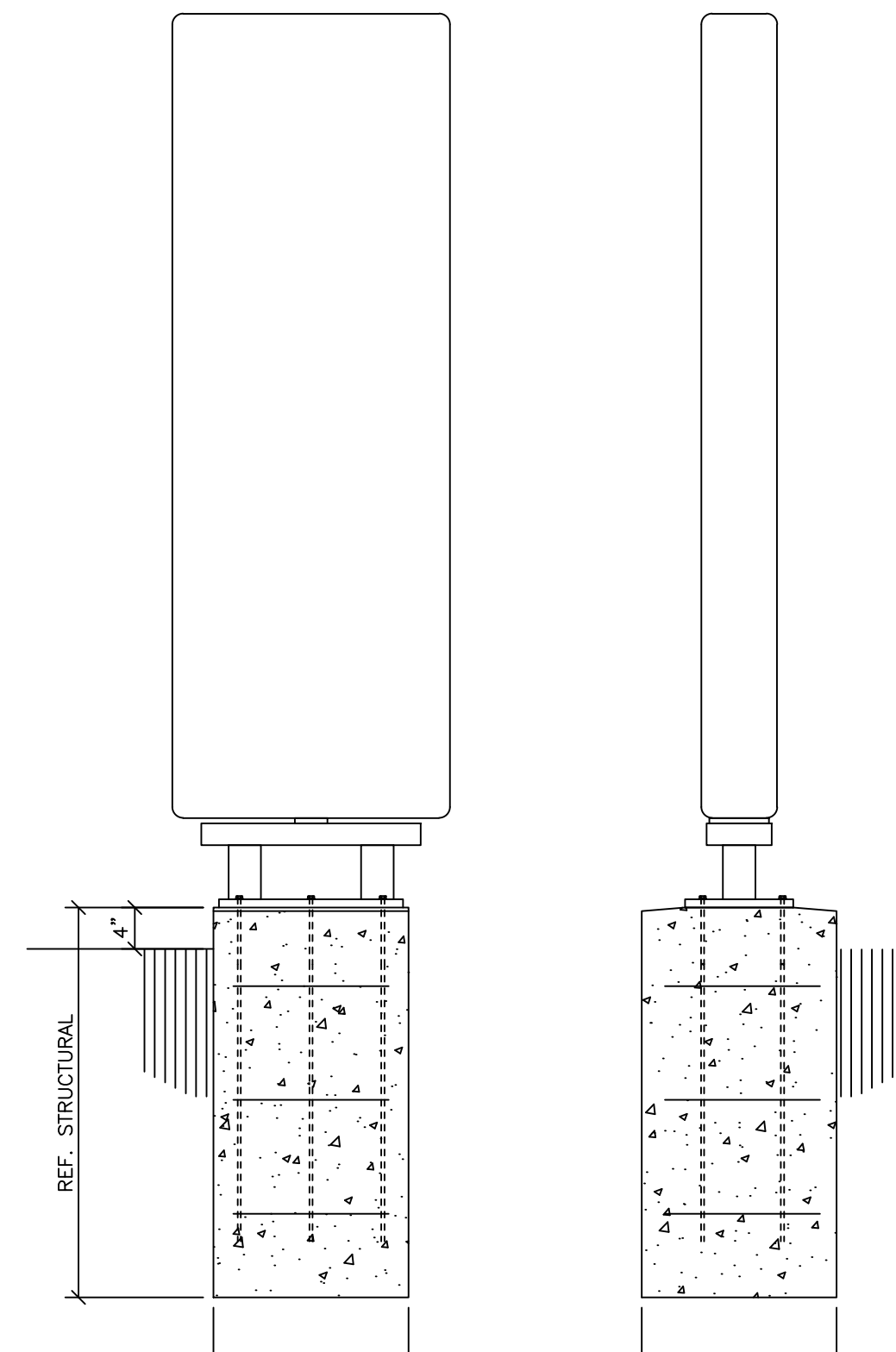
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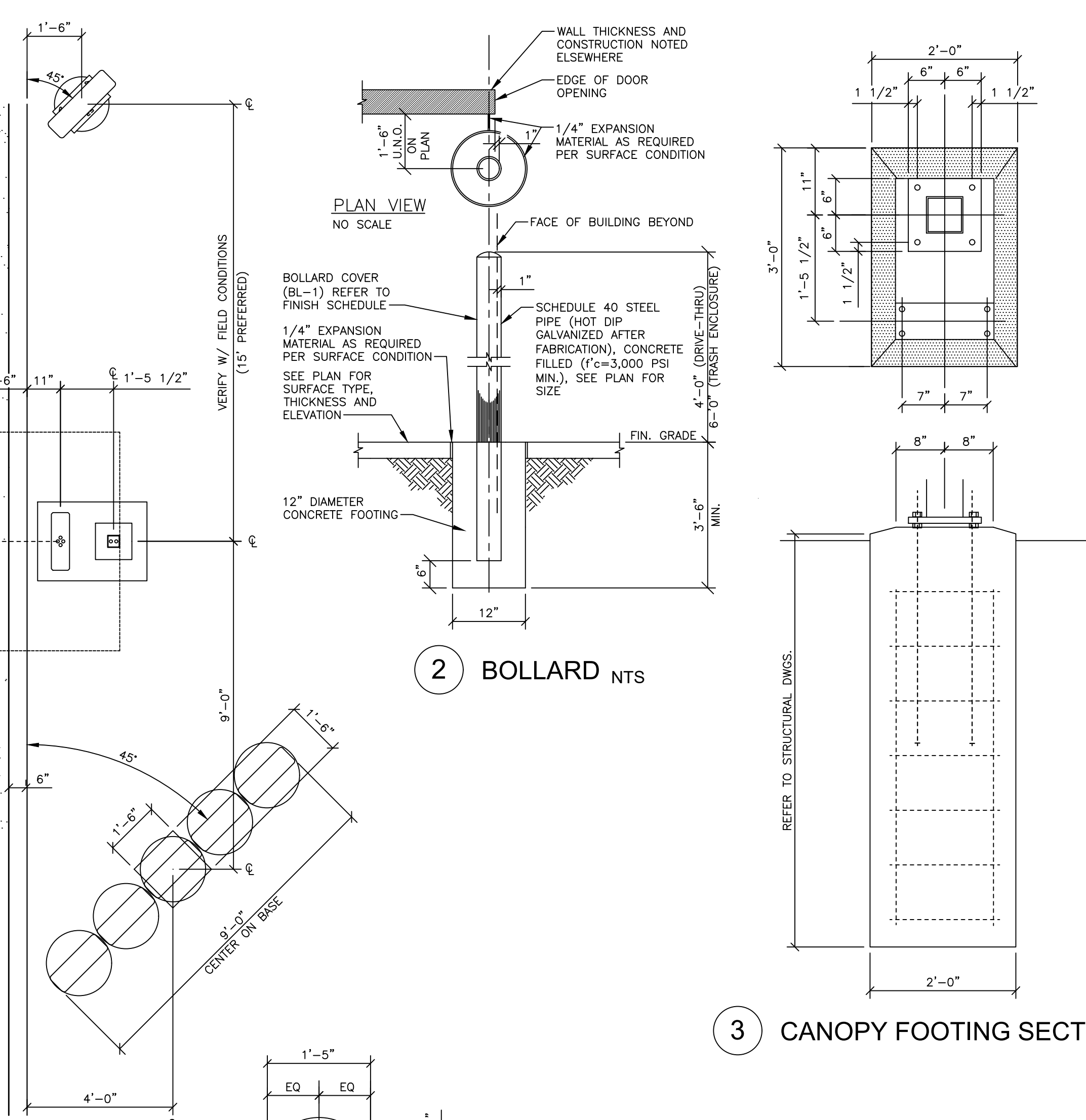
1 ORDER STATION PLAN VIEW NTS



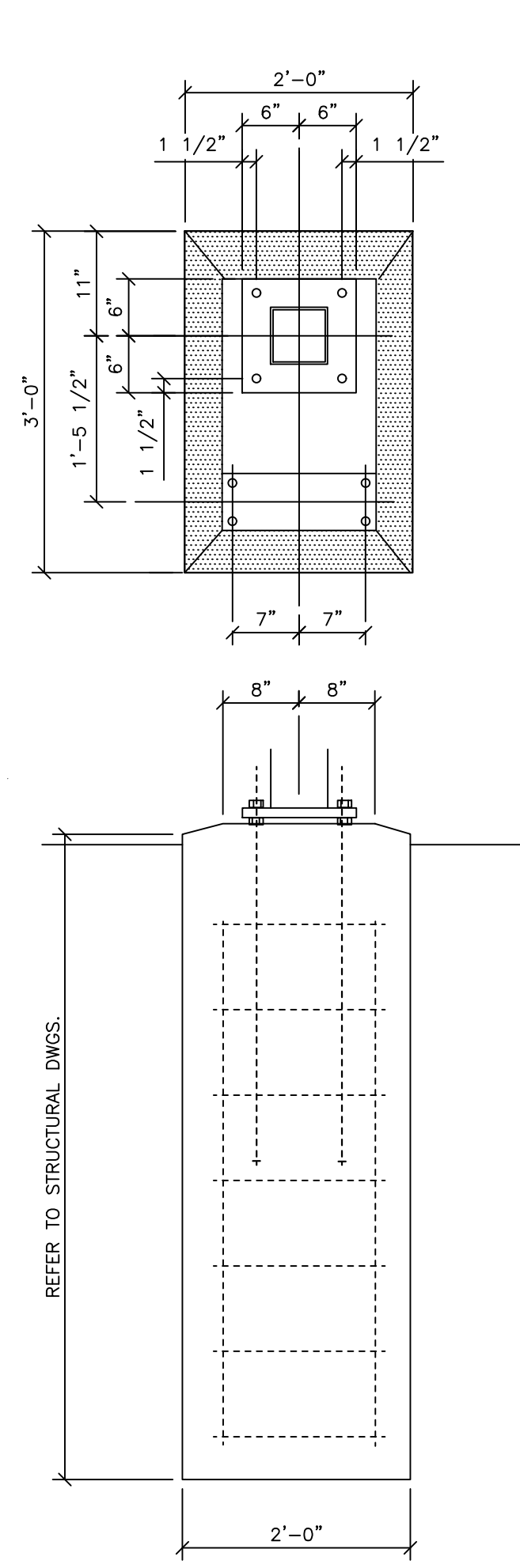
7 CANOPY PROTECTION BAR NTS



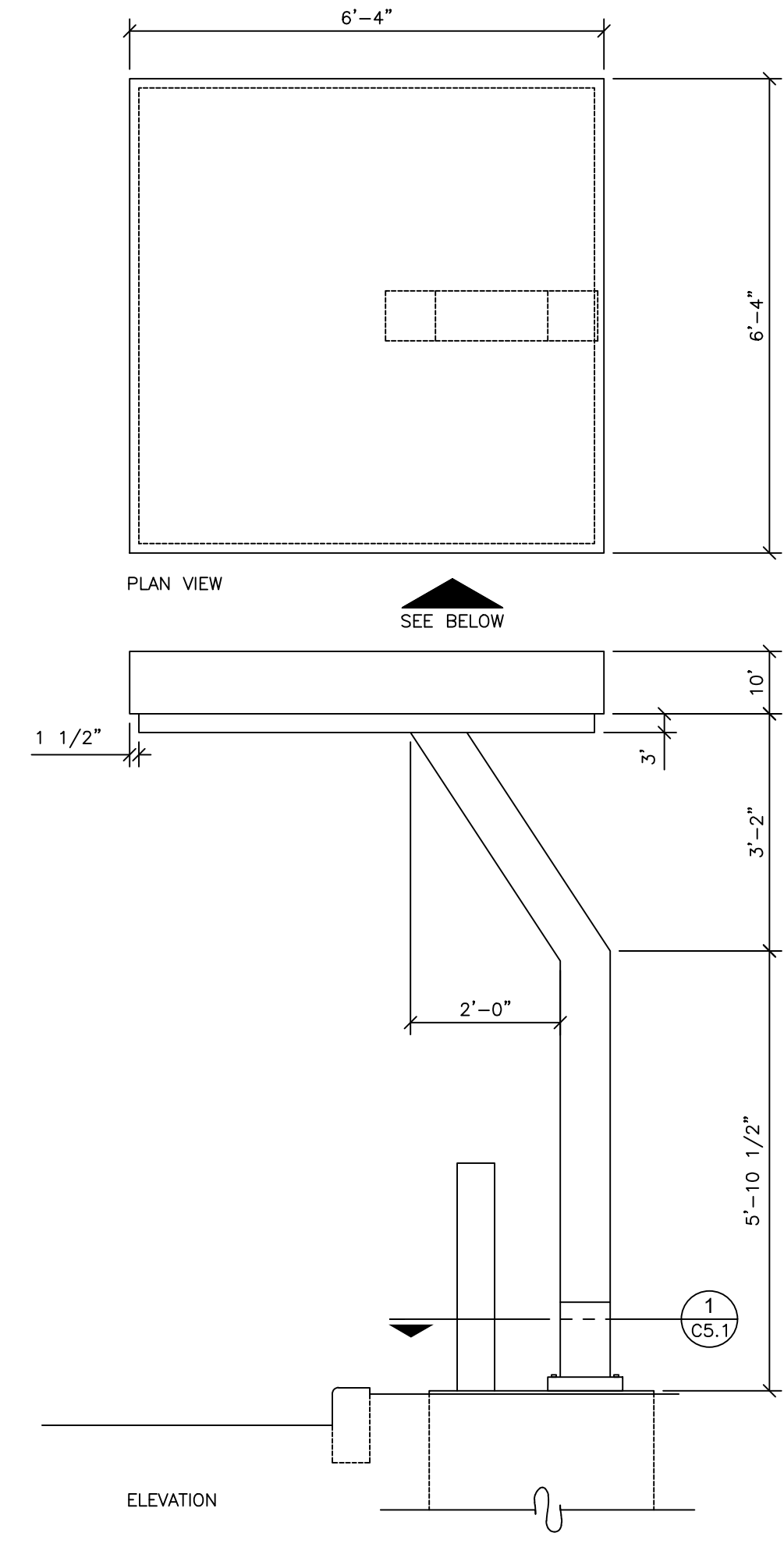
8 PRE-SELL BOARD FOOTING NTS



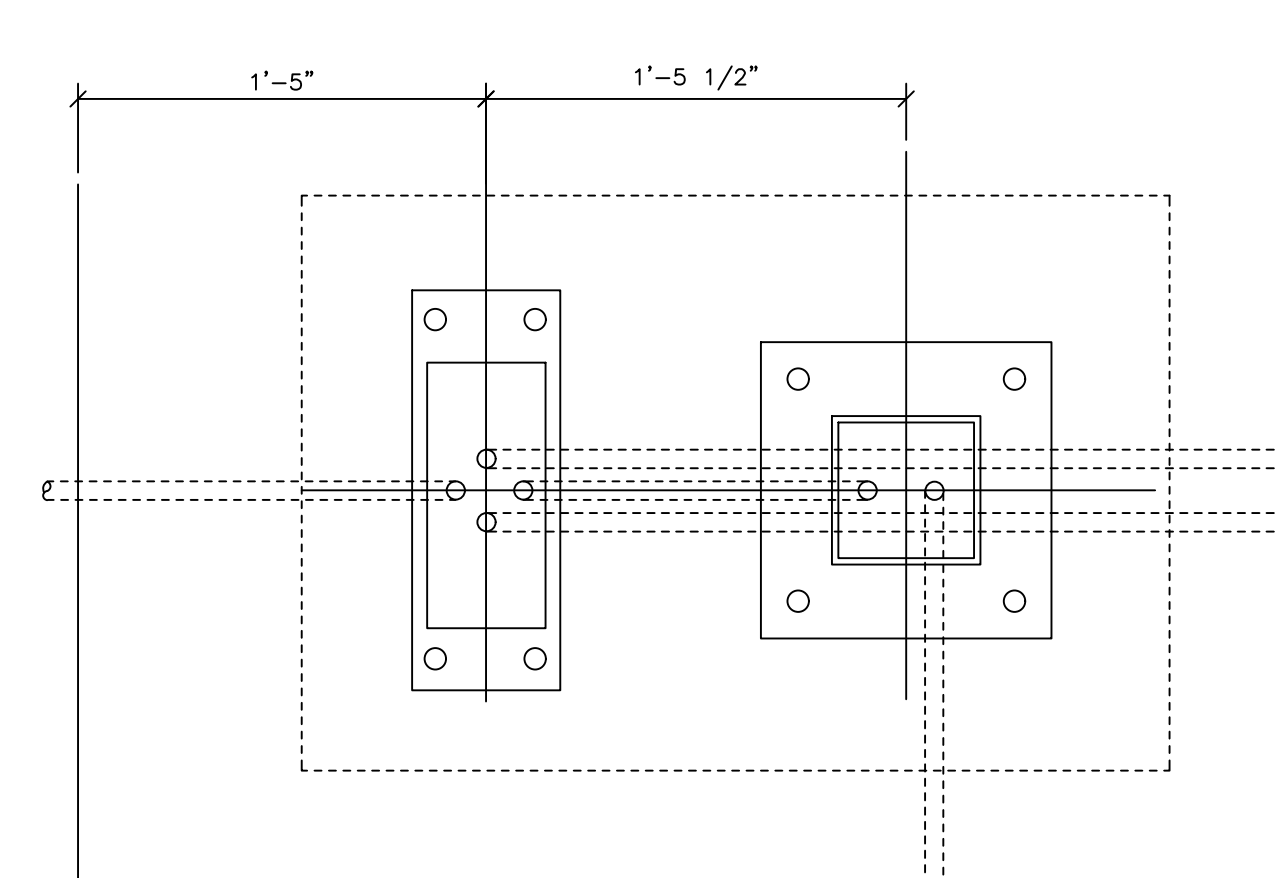
2 BOLLARD NTS



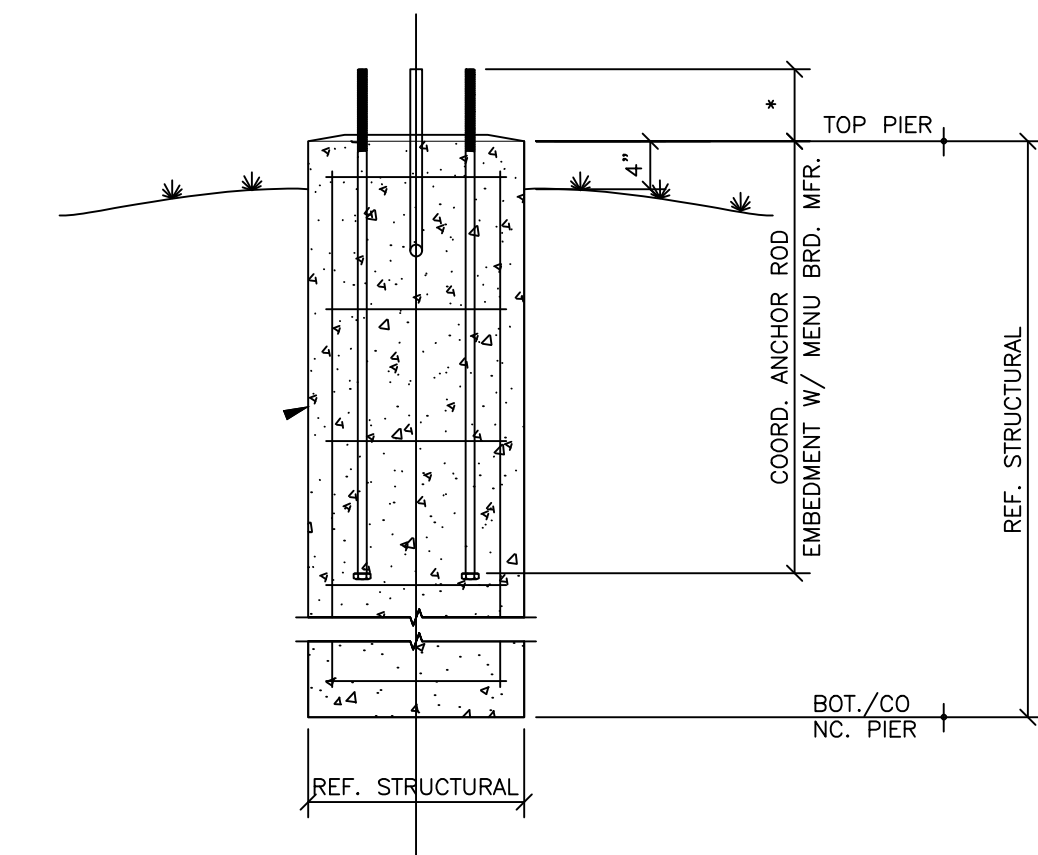
3 CANOPY FOOTING SECTION NTS



4 ORDER STATION CANOPY NTS



5 ORDER STATION CANOPY FOOTING NTS



6 MENU BOARD FOOTING NTS

- DETECTOR LOOP NOTES:**
1. LOOP SHOULD BEGIN 18" OUT FROM BACK OF CURB.
  2. INSTALL LOOP TO BE 2 1/2" BELOW TOP OF PAVEMENT.
  3. THE FORWARD EDGE OF THE LOOP SHOULD BE LINED UP WITH CENTERLINE OF THE DRIVE-THRU WINDOW OR SPEAKER PEDESTAL.
  4. A 3' AREA FROM THE LOOP MUST BE KEPT CLEAR OF METAL, INCLUDING REBAR, REINFORCING MESH, OTHER ELECTRICAL CABLES OR CONDUIT.
  5. SEE DETECTOR LOOP MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ADDITIONAL INFORMATION.
  6. SEE A6.1 RESPONSIBILITY SCHEDULE FOR ADDITIONAL INFORMATION.
- (SIMILAR FOR PAY AND PICK-UP WINDOW)

REF. SITE PLAN FOR LOCATION

SITE NUMBER: 12802  
 BASE MDL: SMART 55 - NARROW 2017  
 ASSET TYPE: FRAN  
 CLASSIFICATION: NEW  
 OWNER: NPCQB  
 BASE VERSION: 2017  
 UPGRADE CLASSIFICATION:  
 NEW BUILD  
 PROJECT YEAR: 2019  
 FURNITURE PACKAGE: 2016 V3  
 DRAWING RELEASE: SPRING 2018

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 Architect  
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PROJECT TYPE: NEW  
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**Wendy's**  
 #12533 (NPCQB#6042)  
 711 E MISSOURI 291 HWY  
 LEE'S SUMMIT, MO 64063

REV.	DATE	DESCRIPTION



SHEET NAME  
 DETAILS

SHEET NUMBER  
**C8**

NOT FOR CONSTRUCTION - CITY REVIEW SET



SITE NUMBER:	12802
BASE MDL:	SMART 55 - NARROW 2017
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE:	SPRING 2018

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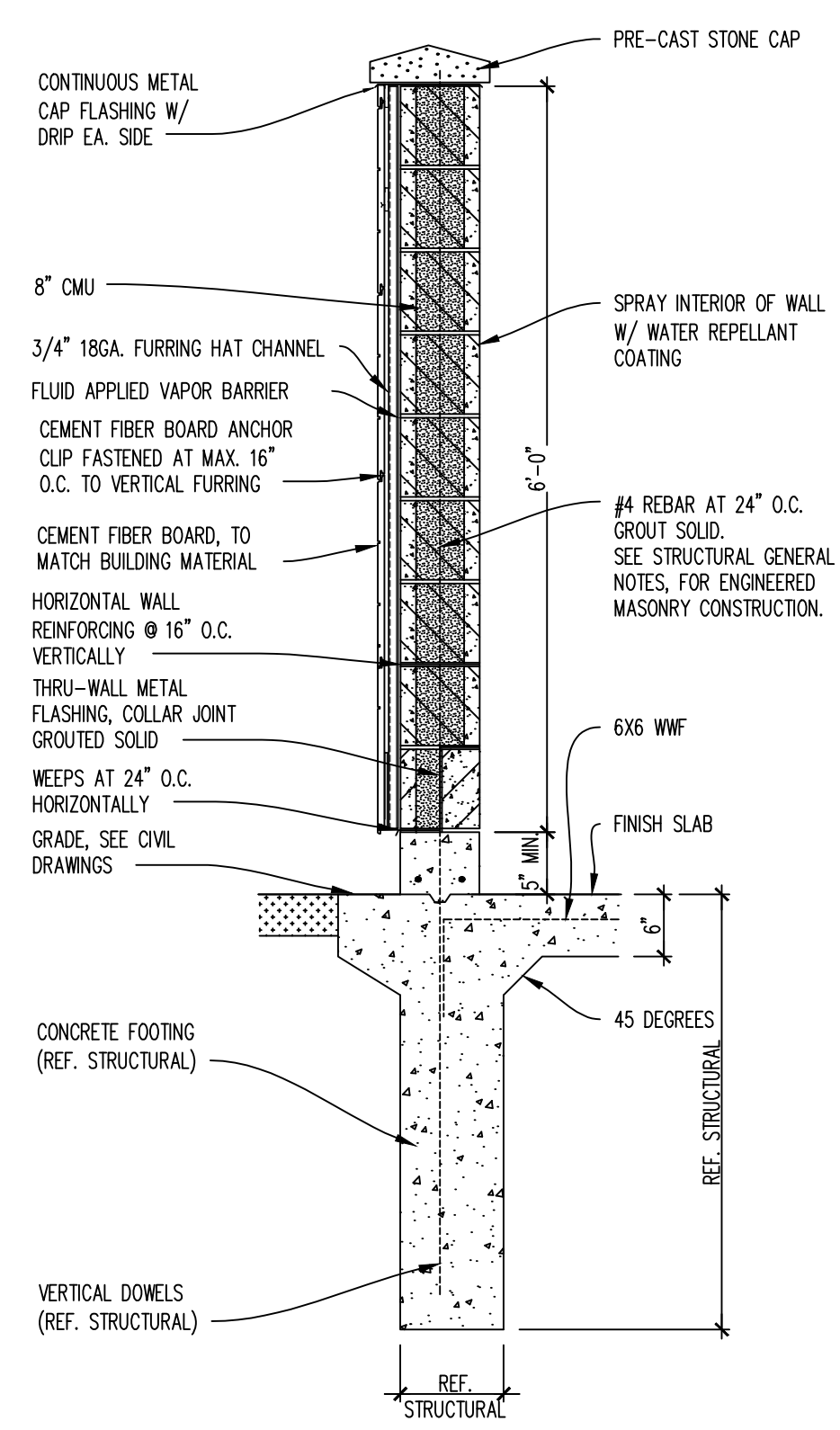
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 711 E MISSOURI 291 HWY  
 LEE'S SUMMIT, MO 64063

REV.	DATE	DESCRIPTION

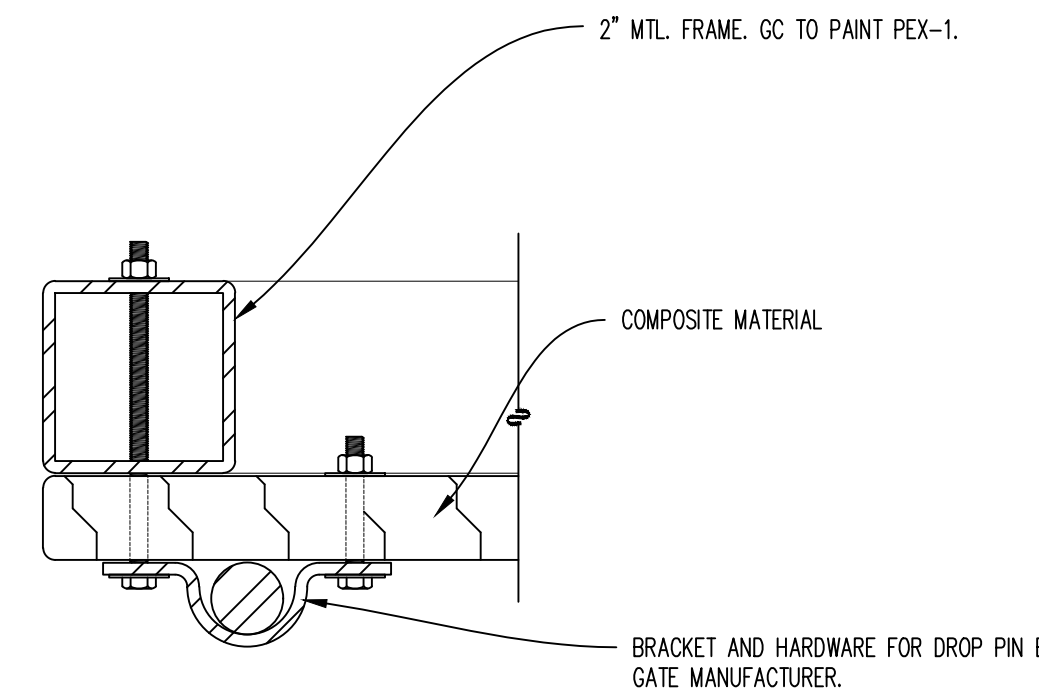


SHEET NAME  
**DETAILS**  
 SHEET NUMBER

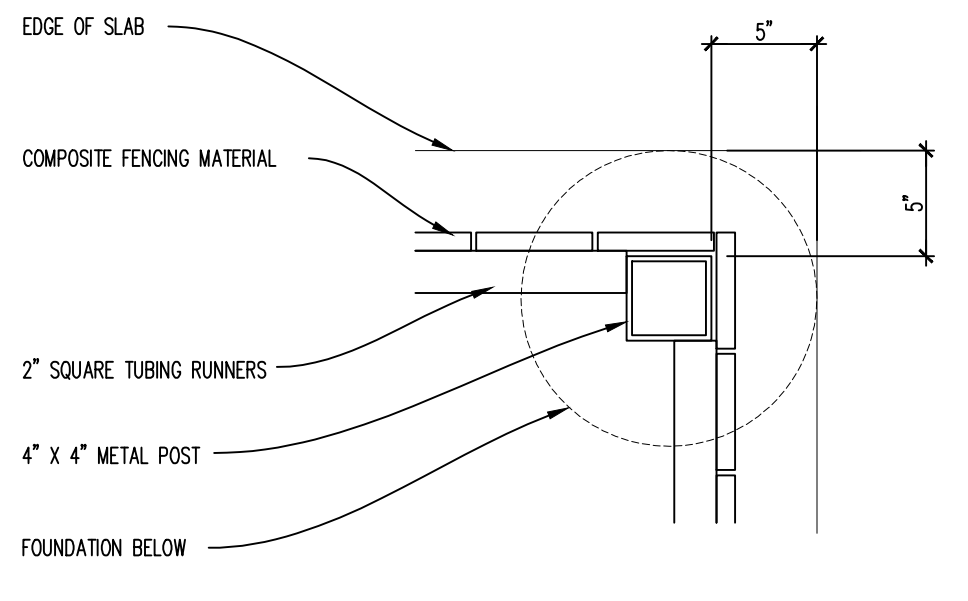
**C9**



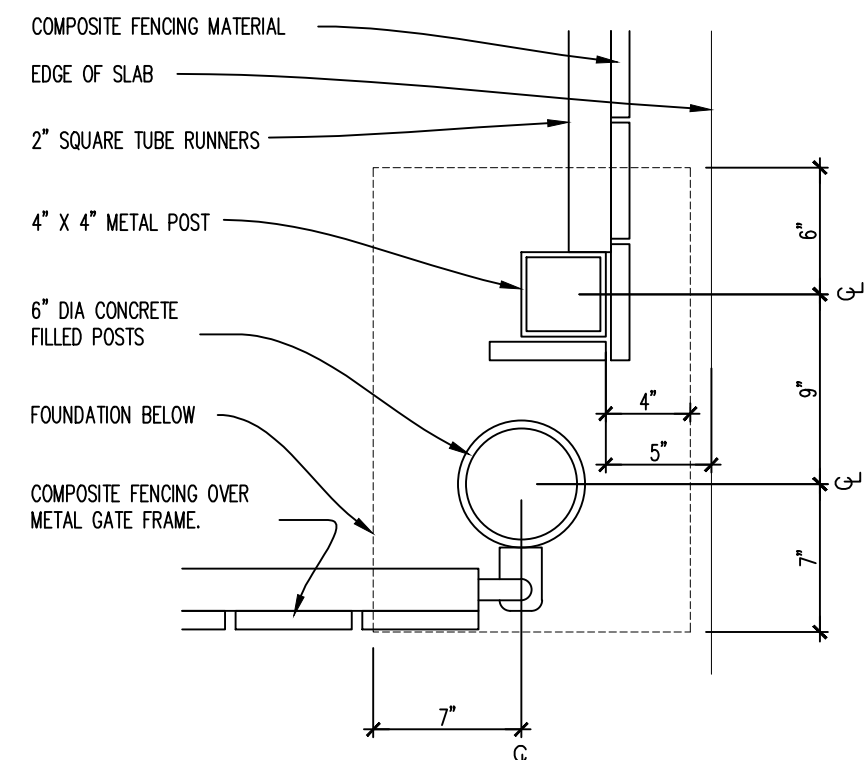
**08 WALL SECTION**  
 SCALE: 3/4"=1'-0"



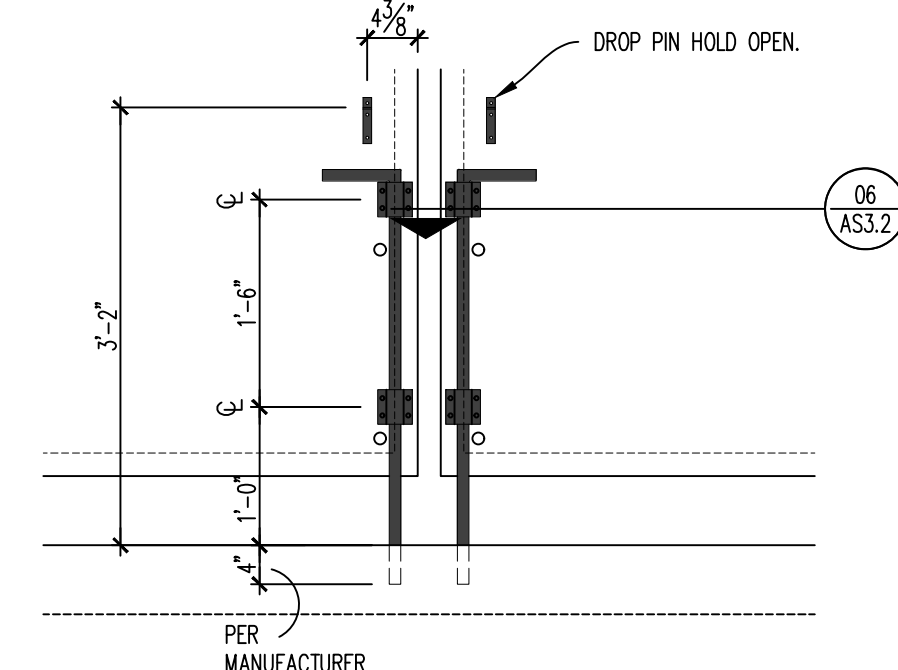
**07 DROP-PIN DETAIL COMPOSITE GATE**  
 SCALE: 6"=1'-0"



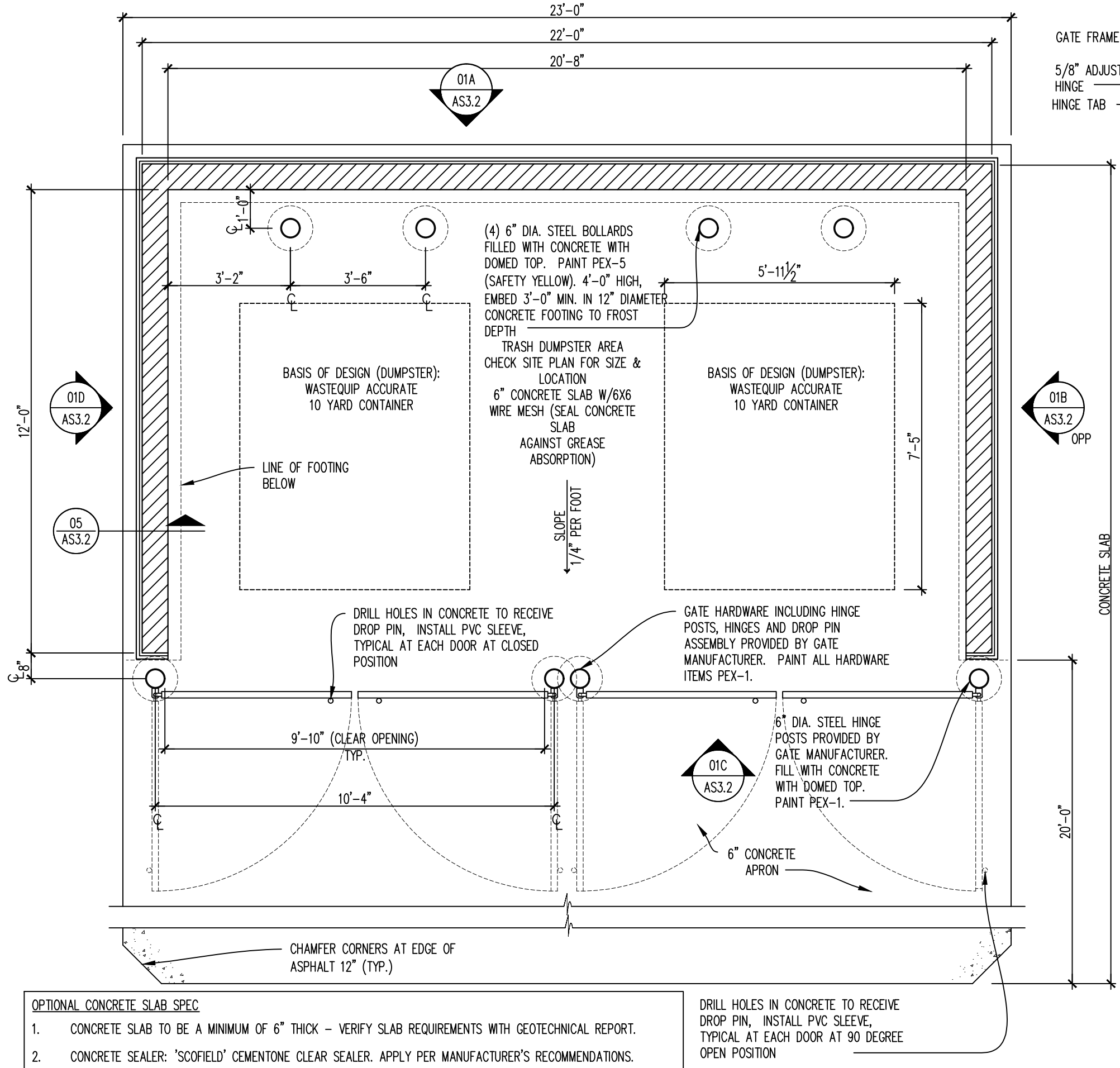
**06 PLAN DETAIL**  
 SCALE: 1 1/2"=1'-0"



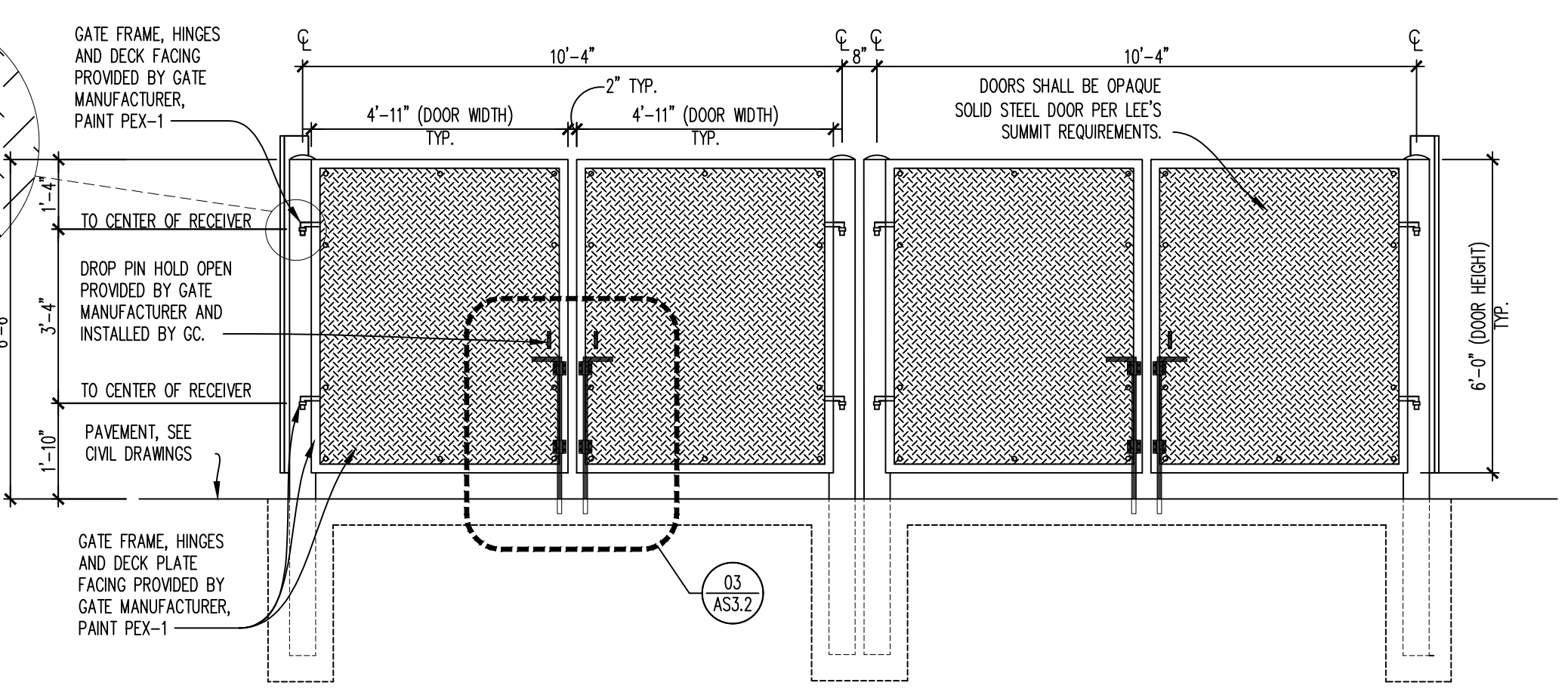
**05 PLAN DETAIL**  
 SCALE: 1 1/2"=1'-0"



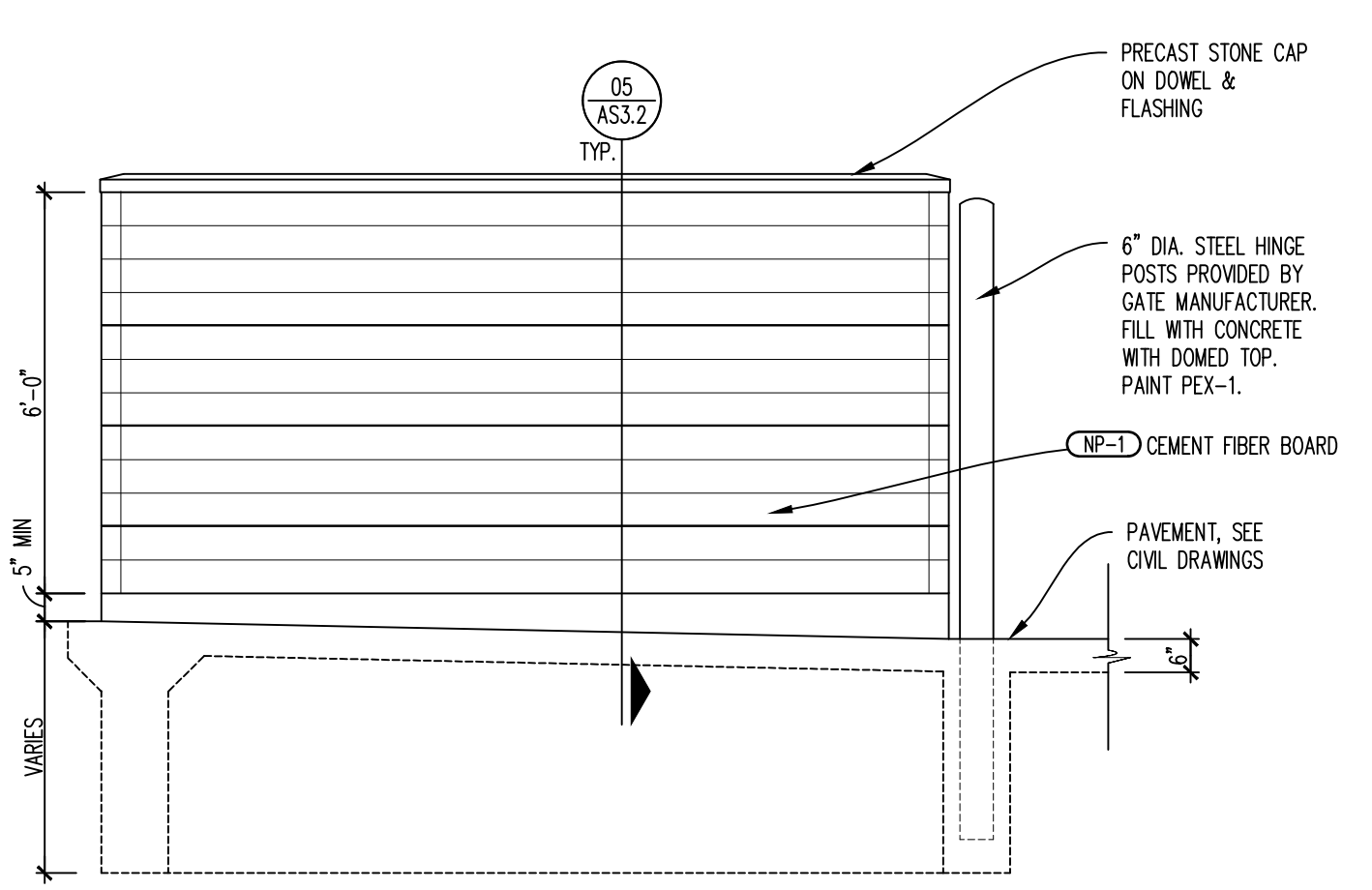
**03 DROP PIN DETAIL**  
 SCALE: 3/4"=1'-0"



**02 TRASH ENCLOSURE PLAN**  
 SCALE: 3/8"=1'-0"



**04 ELEVATION - COMPOSITE GATE**  
 SCALE: 3/8"=1'-0"



**01 TRASH ENCLOSURE ELEVATIONS**  
 SCALE: 3/8"=1'-0"

NOT FOR CONSTRUCTION - CITY REVIEW SET

SITE NUMBER: 12802  
 BASE MDL: SMART 55 - NARROW 2017  
 ASSET TYPE: FRAN  
 CLASSIFICATION: NEW  
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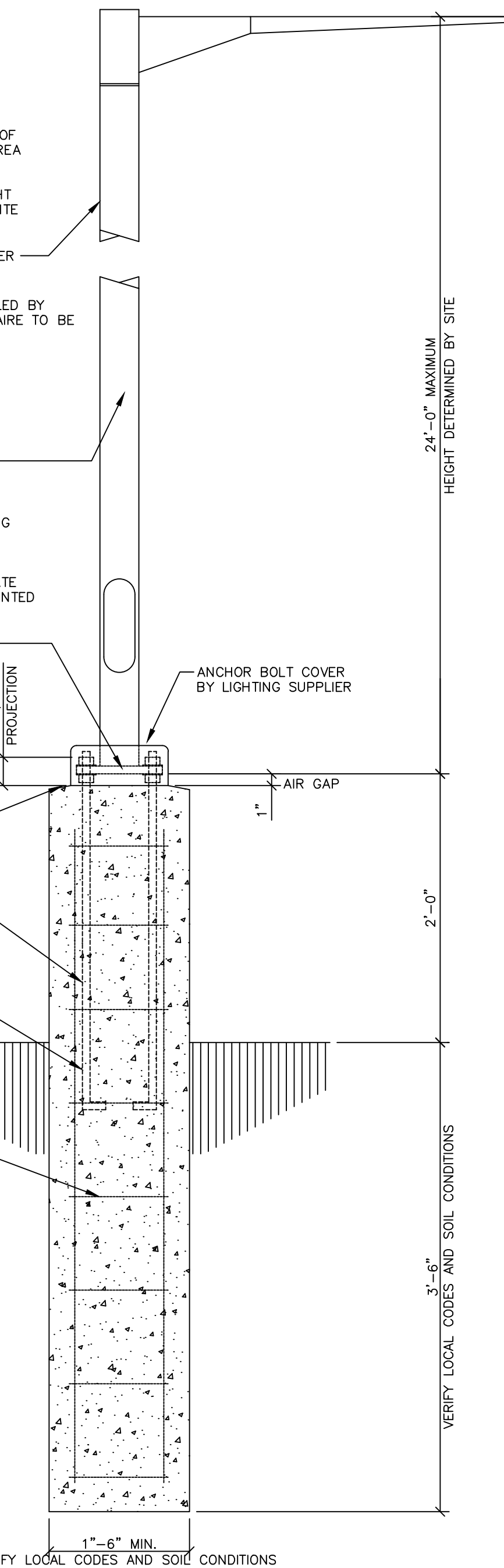
**Wendy's**  
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 711 E MISSOURI 291 HWY  
 LEE'S SUMMIT, MO 64063

REV.	DATE	DESCRIPTION



SHEET NAME  
 PHOTOMETRIC PLAN  
 SHEET NUMBER

**C10**

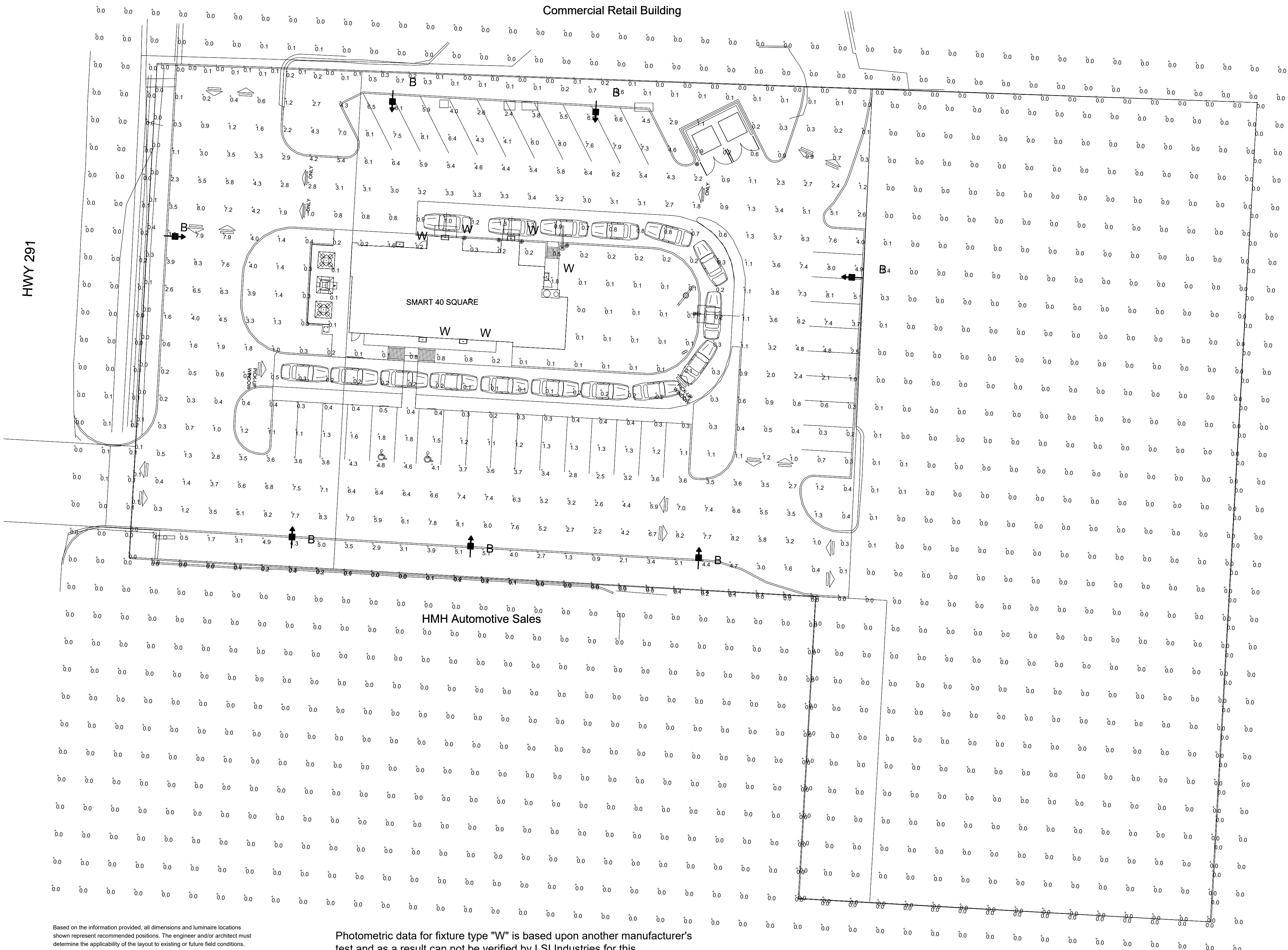


- EXTERIOR PARKING LOT LIGHTING NOTES
- REFER TO SITE LIGHTING SUPPLIERS
  - PARKING LOT TO HAVE AN AVERAGE OF 4 - 6 FOOTCANDLES IN THE PAVED AREA UNLESS LOCAL CODES REQUIRE LESS
  - CONSULT WITH THE PARKING LOT LIGHT SUPPLIERS TO HAVE A PHOTOMETRIC SITE PLAN PREPARED
  - LIGHT POLE: 24'-0" HIGH, 4" DIAMETER
- LIGHT POLE TO BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. POLE AND LUMINAIRE TO BE FURNISHED BY THE SAME MANUFACTURER
- POLE HEIGHT - 24'-0"  
 POLE DIAMETER - 4"  
 POLE TYPE - STEEL SQUARE  
 POLE FINISH - BRONZE  
 BOLT SIZE - 1" BOLT CIRCLE  
 ANCHOR BOLTS - 1"x36" W/  
 DOUBLE NUT AND WASHERS

FOR PROPER INSTALLATION OF SITE LIGHTING ALWAYS USE DOUBLE NUTS AND WASHERS. THIS ASSEMBLY WILL PREVENT MOISTURE BUILD-UP IN THE POLE BY ALLOWING AIR TO CIRCULATE THROUGH THE INSIDE OF POLE BASES MOUNTED DIRECTLY TO CONCRETE CAN CAUSE A MOISTURE BUILD-UP, AND DETERIORATION OF THE POLE'S STABILITY

NOTE:  
 REINFORCING BASED ON 90 MPH WIND AND 2500 PSF SOIL BEARING PRESSURE.  
 LIGHTING SUPPLIER TO DETERMINE IF WIND LOADS, SOIL BEARING OR LOCAL ORDINANCES DIFFER AND ADJUST FOOTING ACCORDINGLY.  
 WHEN POSSIBLE, LOCATE POLES ON OUTSIDE PERIMETER OF SITE

EXTERIOR LIGHT POLE & STANDARD RAISED CONCRETE BASE DETAIL  
 NO SCALE



Photometric data for fixture type "W" is based upon another manufacturer's test and as a result can not be verified by LSI Industries for this calculation.

Calculation Summary	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CALCS @ GRADE-	illuminance	Fc	0.78	8.3	0.0	N.A.	N.A.
PROPERTY LINE	illuminance	Fc	0.03	0.4	0.0	N.A.	N.A.
CURB INTERIOR	illuminance	Fc	2.91	8.3	0.0	N.A.	N.A.

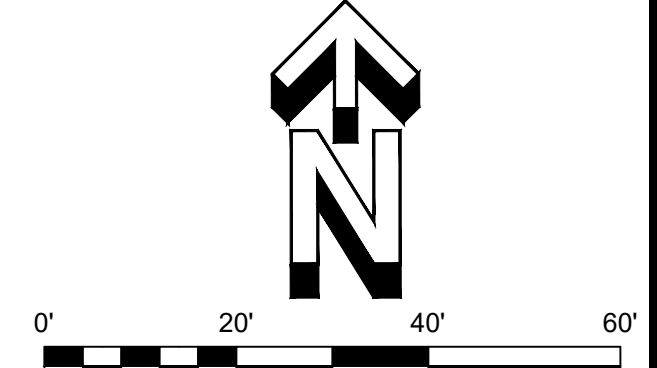
Total Project Watts  
 Total Watts = 1441.6

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

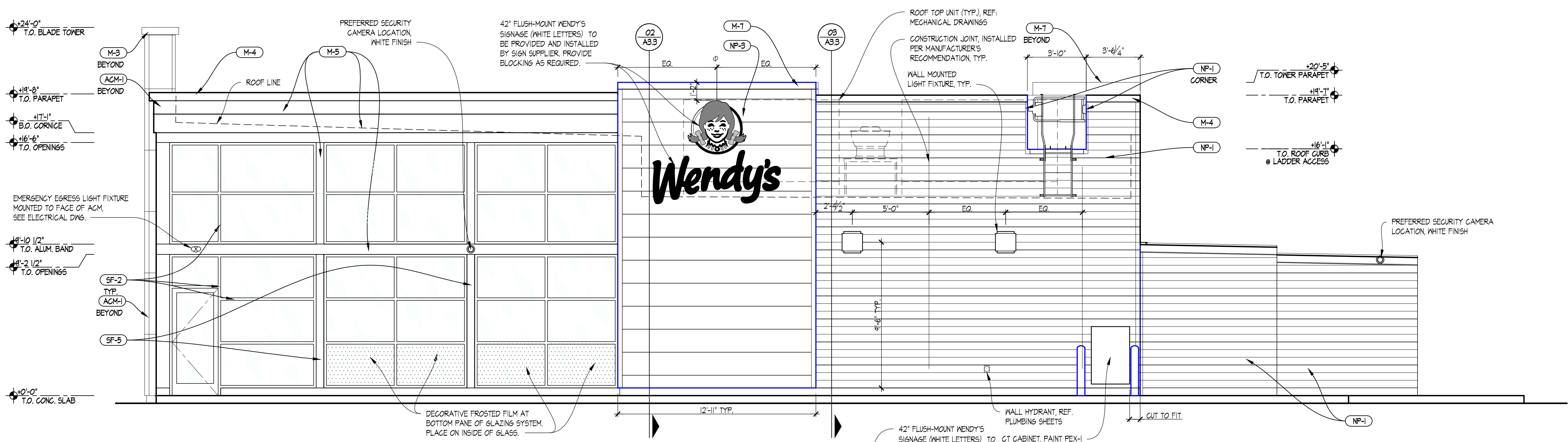
This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Luminaire Schedule	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts
	7	B	SINGLE	SLM-LED-24L-SIL-FT-50-70CRI-L-SINGLE-18' MH	1.000	1.000	1.000	15885	188.8
	6	W	SINGLE	WENMS-L16_8-120-277V (FIXTURE BY OTHERS) 10.5' MH	1.000	1.000	1.000	432	20

NOT FOR CONSTRUCTION - CITY REVIEW SET



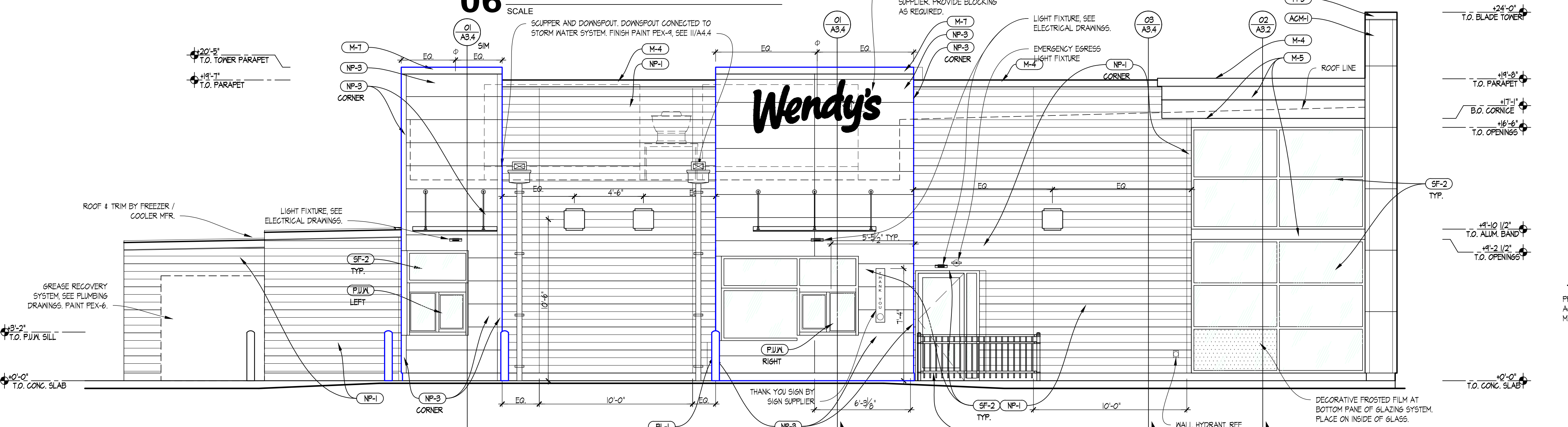
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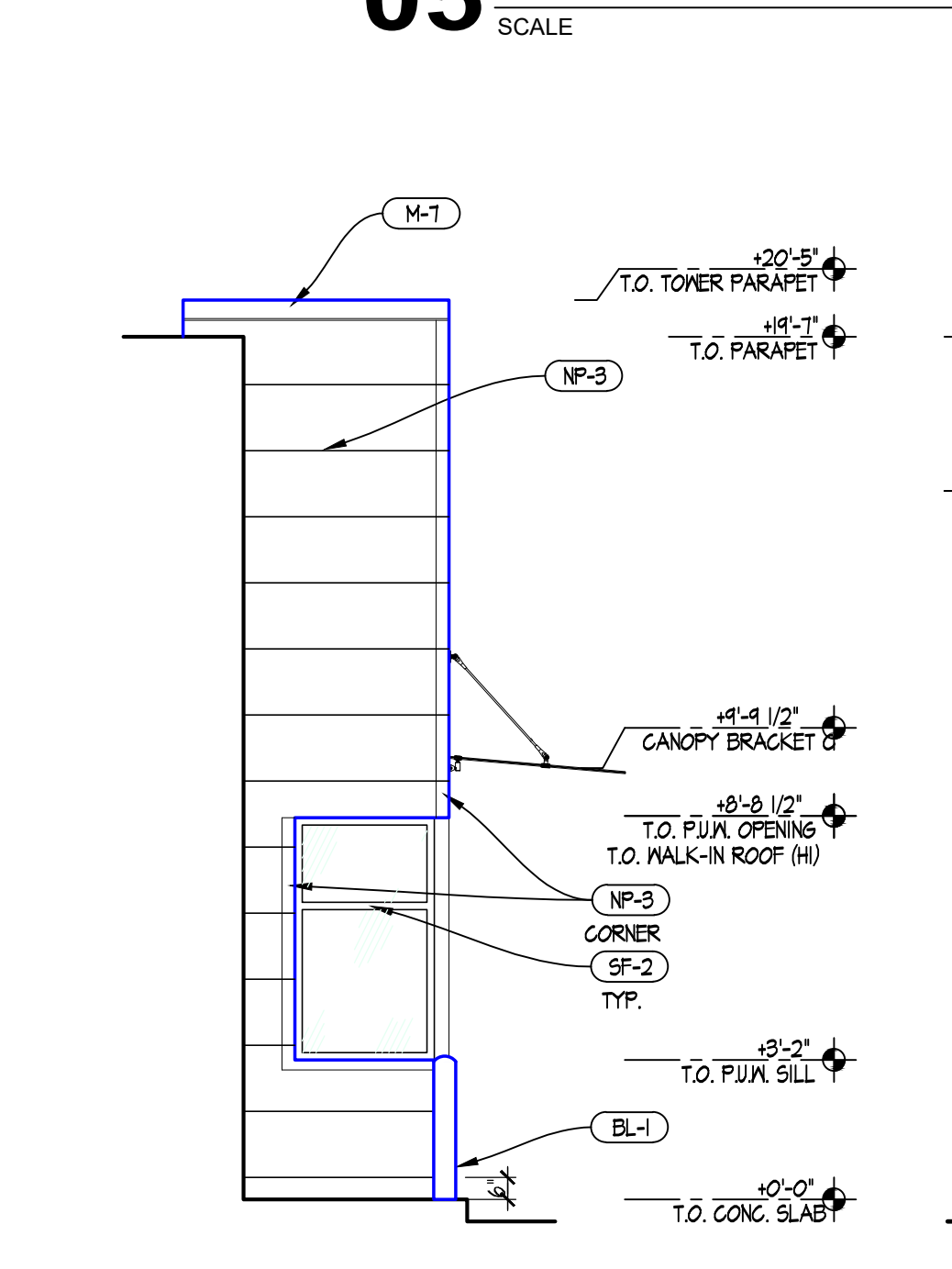
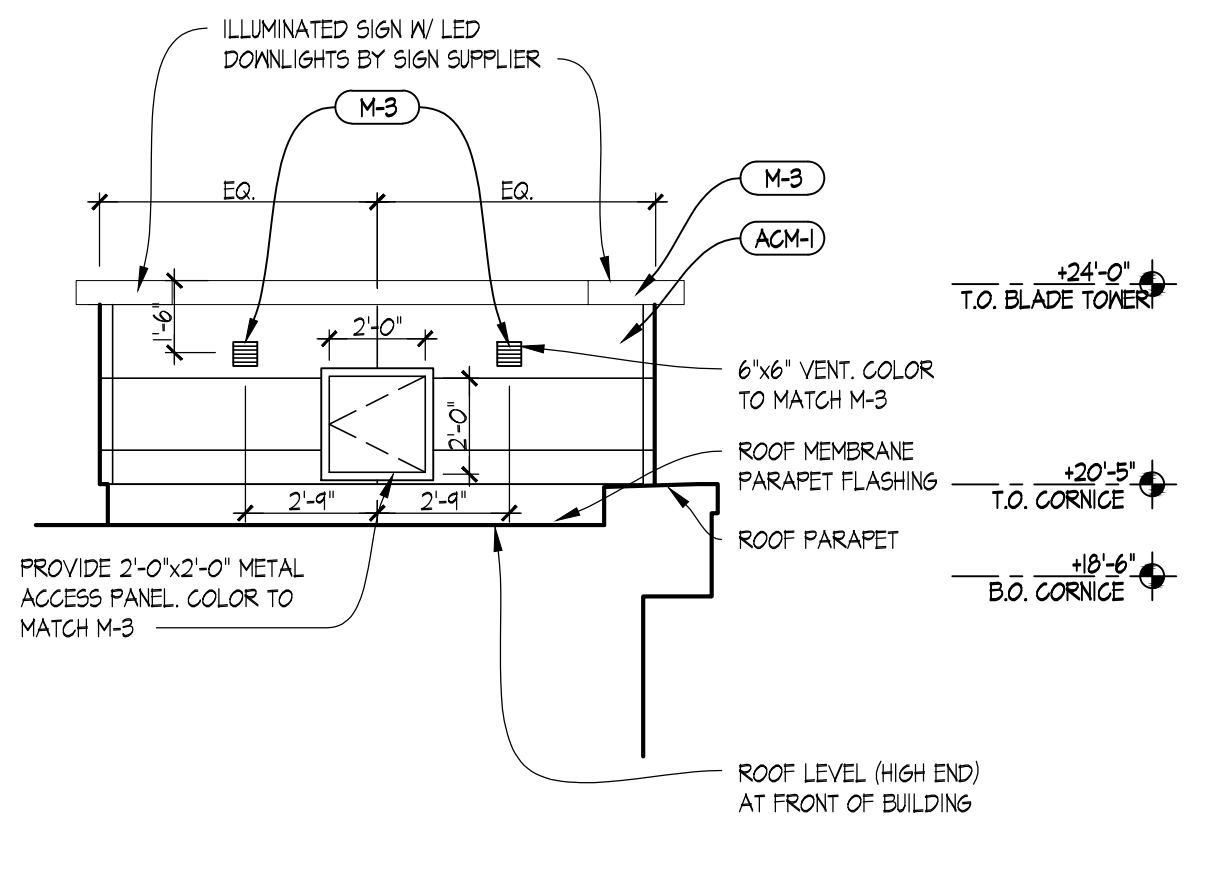
**06 SOUTH - VESTIBULE ELEVATION**  
SCALE

EXTERIOR FINISHES LEGEND	
SF-2	STOREFRONT - "CLEAR ANNOZIDED"
PJW	PICK-UP WINDOW TO MATCH STOREFRONT
M-3	EXCEPTIONAL METALS - "BRIGHT RED"
M-4	EXCEPTIONAL METALS - "SILVER METALLIC"
M-5	BRASS METAL - "CLEAR ANNOZIDED"
M-7	EXCEPTIONAL METALS - "CUSTOM DARK GREY"
NP-1	NICHIIA - WOOD
NP-2	NICHIIA - RED
NP-3	NICHIIA - GREY
NW-1	KNOTWOOD-PREFINISHED-ALUMINUM-SIDING-MATERIAL-"LIGHT-OAK"
NW-2	KNOTWOOD-PREFINISHED-ALUMINUM-SIDING-MATERIAL-"KNIGHTS-ARMOUR"
NW-3	KNOTWOOD-PREFINISHED-ALUMINUM-SIDING-MATERIAL-"BRITE-RED-MATT"
ACM-1	BLADE WALL
ACM-4	MOBULAR-SOFFIT-FASEA
E-2	EIFS - "WENDY'S-RED"
E-7	EIFS - "DARK-GREY"
E-8	EIFS - "TAN"
BL-1	BOLLARD SLEEVE - "YELLOW"
PEX-1	PAINT - DARK BRONZE (SEE PAINT SCHEDULE)
PEX-2	PAINT - WENDY'S RED (SEE PAINT SCHEDULE)
PEX-3	PRE-FINISHED DARK BRONZE SIGN CABINETS (SEE PAINT SCHEDULE)
PEX-6	PRE-FINISHED - DARK BRONZE (SEE PAINT SCHEDULE)
PEX-9	PAINT - SILVER (SEE PAINT SCHEDULE)
PEX-10	PAINT / POWDER COAT - BLACK (SEE PAINT SCHEDULE)

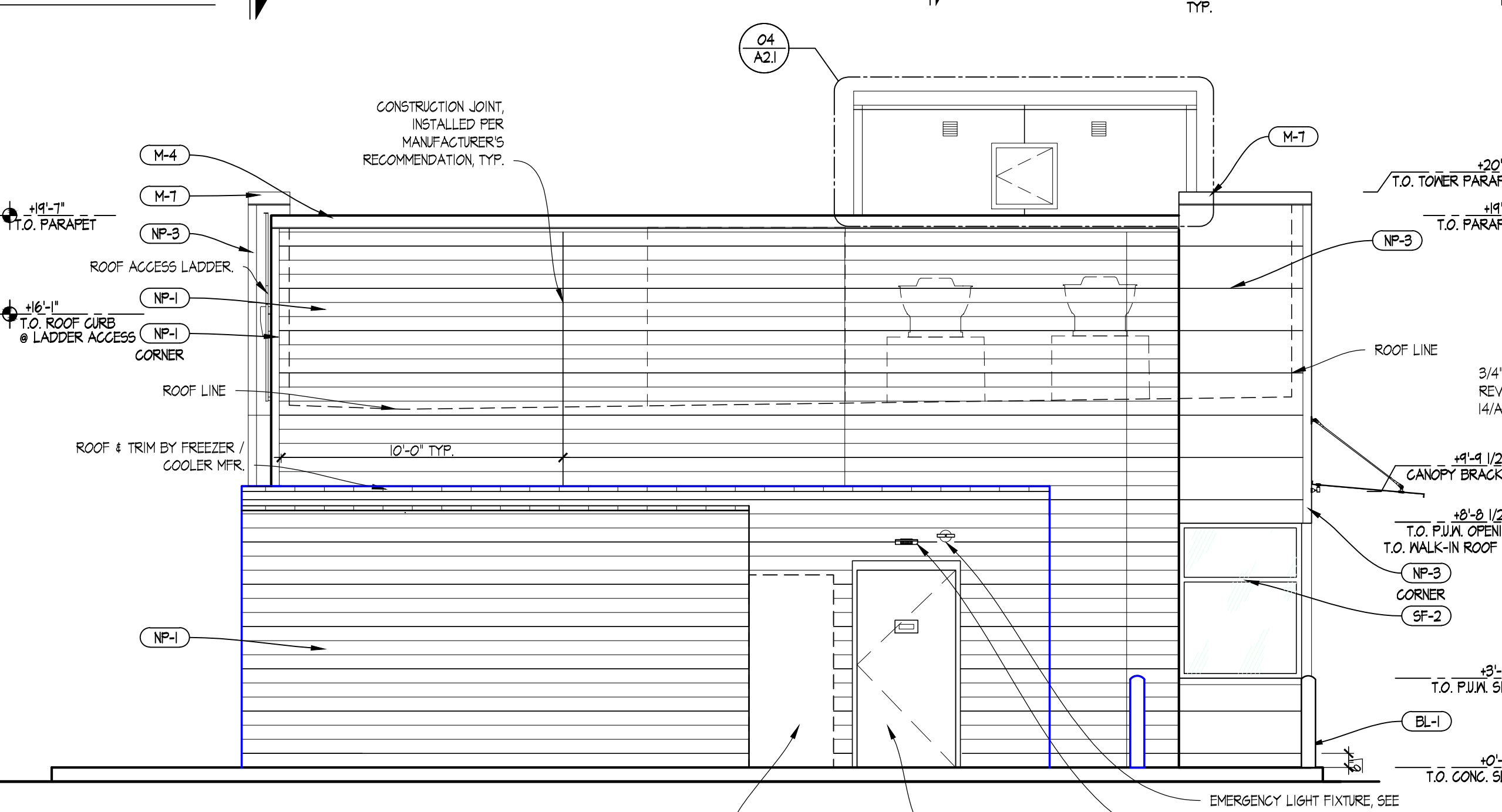
UTILITY LINES AND EQUIPMENT ON EXTERIOR OF BUILDING TO BE PAINTED TO MATCH ADJACENT WALL.



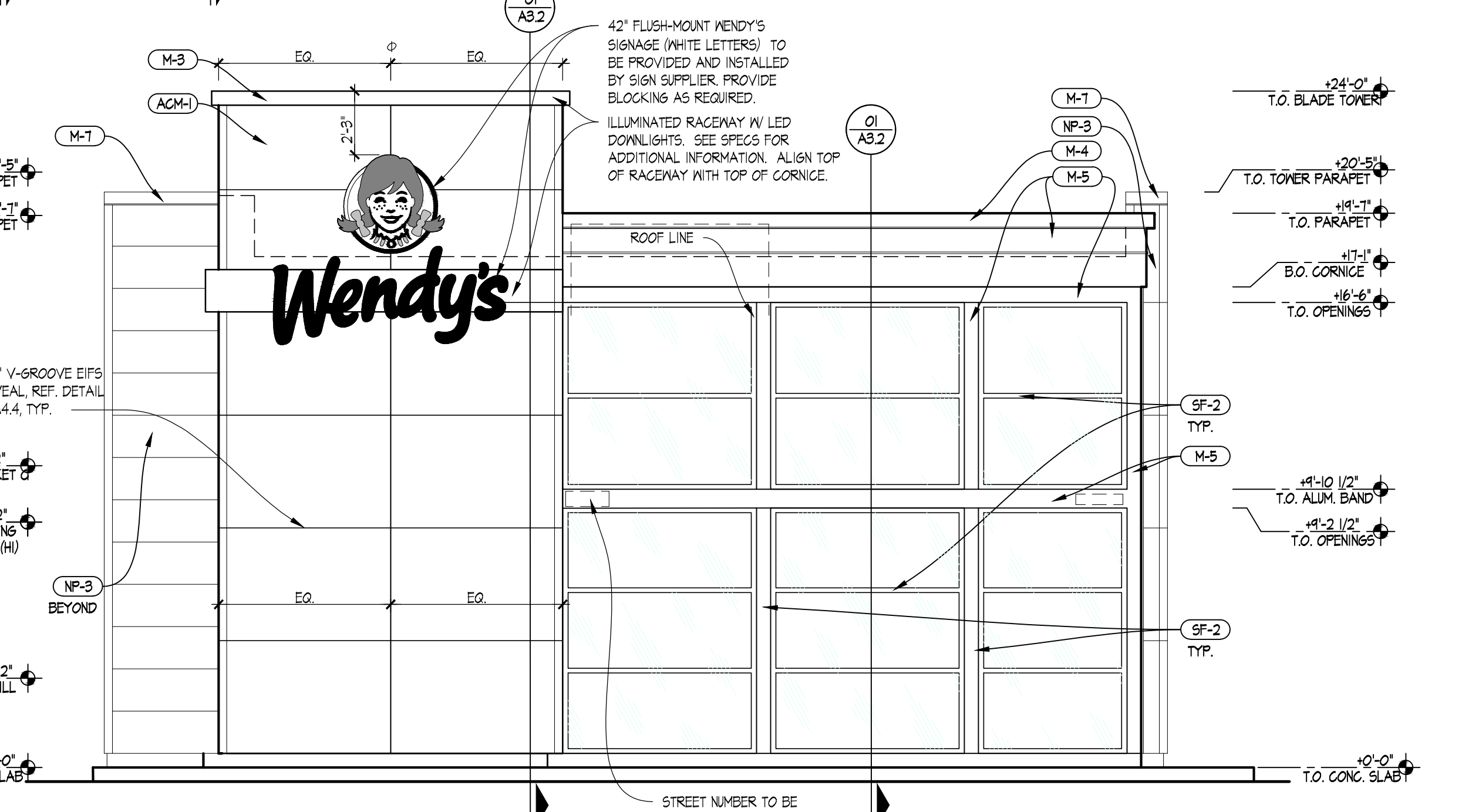
**05 NORTH - DRIVE THRU ELEVATION**  
SCALE



**03 REAR DRIVE THRU ELEVATION**  
SCALE



**02 EAST - REAR ELEVATION**  
SCALE



**01 WEST - FRONT ELEVATION**  
SCALE

SITE NUMBER: 12533  
BASE MDL: SMART 40 - SQUARE 2018  
ASSET TYPE: FRAN  
CLASSIFICATION: NEW  
OWNER: NPCQB  
BASE VERSION: 2017  
UPGRADE CLASSIFICATION: NEW BUILD  
PROJECT YEAR: 2020  
FURNITURE PACKAGE: 2016 V3  
DRAWING RELEASE: FEB 2019

**linear!**  
Marc Brundige,  
Architect  
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DALLAS, TX 75019  
PHONE: 972.929.9226  
FAX: 972.929.9061



4200 W. 115TH ST., STE. 200  
LEAWOOD, KANSAS 66211  
PHONE: (913) 327-5555  
FAX: (913) 327-5850

PROJECT TYPE: NEW  
SMART 40 - SQUARE

ISSUED FOR PERMIT  
07/26/2019

**Wendy's.**  
#12533 (NPCQB #6042)  
711 SE M-291 HWY  
LEE'S SUMMIT, MO 64063

REV.	DATE	DESCRIPTION

ISSUE DATE: 06/28/2019  
PROJECT NUMBER: 19.057  
DRAWN BY: TB  
CHECKED BY: MG

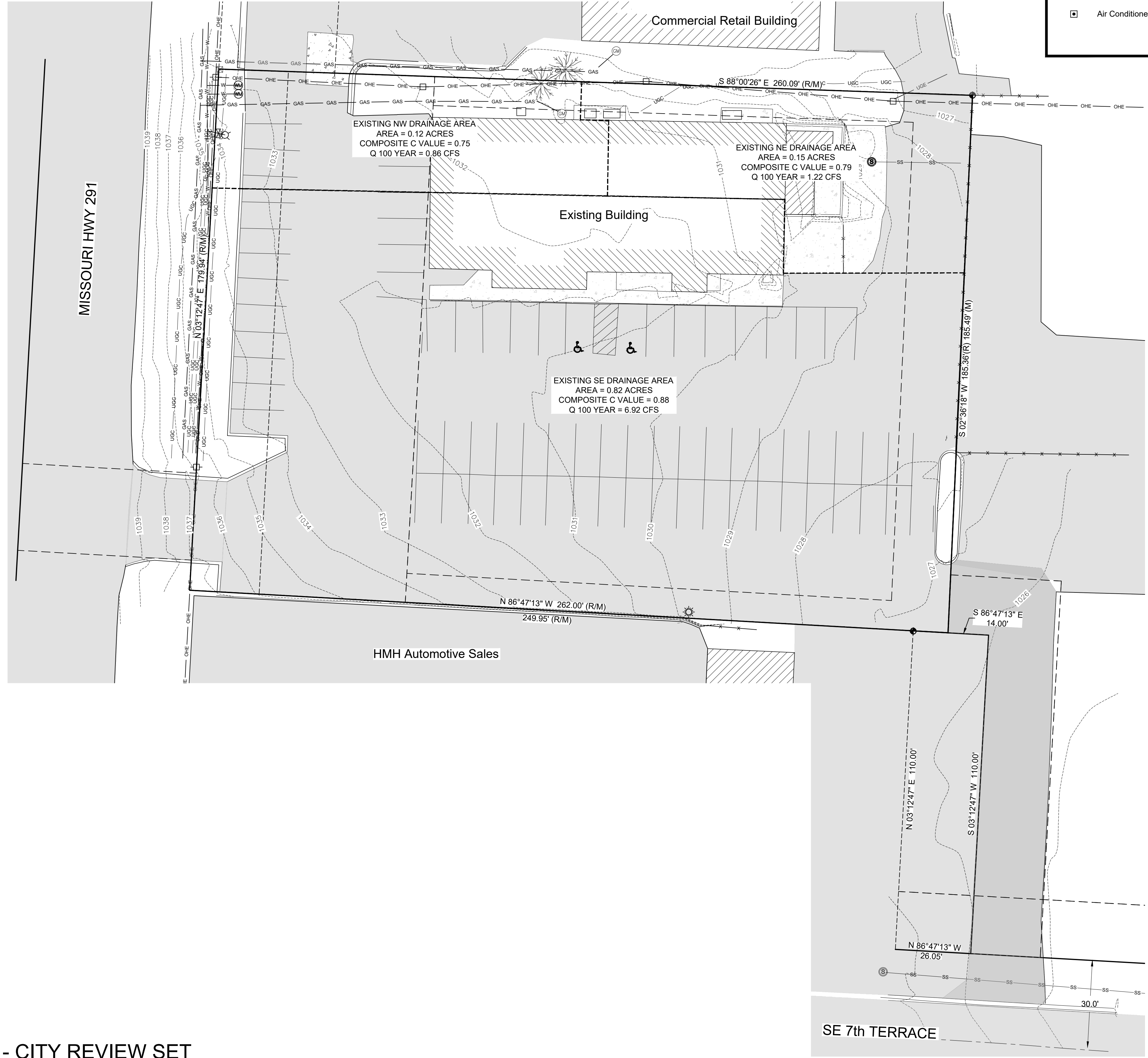
SHEET NAME  
NICHIIA FINISH OPTION  
SMART 40 SQUARE

SHEET NUMBER

**A2.1**

23022019 12:27:26 PM WENDY'S 00 IN PERMITTING 19 057 NPC QB 6042, 12533 Lee's Summit, MO (NB) Construction Documents 30 SMART 40-SQUARE\_A2\_1\_Exterior Elevations-NICHIIA OPTION.dwg, ngriffin

LEGEND			
	Benchmark		Sanitary Sewer Manhole
	Iron Pin Found		Sign
	Iron Pin Set		Water Meter
	Bollard		Water Valve
	Soil Boring Location		Utility Pole
	Sanitary Sewer Cleanout		To Be Removed
	Gas Meter		Top of Curb
	Storm Sewer Curb Inlet		Pavement
	Storm Sewer MH/Open Lid		Match Existing
	Light Pole or Traffic Light		Grade point
	Storm Sewer Manhole		Number of Parking Spaces
	Air Conditioner		To Be Removed
			Existing Asphalt
			New Asphalt
			New Concrete
			Existing Concrete
			Existing Asphalt TBR
			Gravel
			Existing Concrete TBR
			Water Line
			Sanitary Sewer Main
			Fence
			Existing Contours
			Proposed Contours
			Underground Electric Storm Sewer
			Limits of Pavement Removal
			Overhead Utility Lines
			Gas Lines
			Ditch / Swale



**EXISTING NORTHWEST DRAINAGE AREA:**  
 TOTAL AREA = 0.12 ACRES  
 IMPERVIOUS AREA = 0.09 ACRES @ C=0.90  
 PERVIOUS AREA = 0.03 ACRES @ C=0.30  
 COMPOSITE C = 0.75  
 TIME OF CONCENTRATION = 7.75 MIN.  
 I 100 YEAR = 9.29 IN/HOUR  
 Q = CIA = (0.75)(9.29 IN/HOUR)(0.12 ACRES) = 0.84 CFS

**EXISTING NORTHEAST DRAINAGE AREA:**  
 TOTAL AREA = 0.15 ACRES  
 IMPERVIOUS AREA = 0.12 ACRES @ C = 0.90  
 PERVIOUS AREA = 0.03 ACRES @ C = 0.30  
 COMPOSITE C = 0.78  
 TIME OF CONCENTRATION = 2.09 MIN. THEREFORE USE 5 MIN. MIN.  
 I 100 YEAR = 10.3 IN/HOUR  
 Q = CIA = (0.78)(10.3 IN/HOUR)(0.15 ACRES) = 1.21 CFS

**EXISTING SOUTHEAST DRAINAGE AREA:**  
 TOTAL AREA = 0.82 ACRES  
 IMPERVIOUS AREA = 0.79 ACRES @ C = 0.90  
 PERVIOUS AREA = 0.03 ACRES @ C = 0.30  
 COMPOSITE C = 0.88  
 TIME OF CONCENTRATION = 6.99 MIN.  
 I 100 YEAR = 9.6 IN/HOUR  
 Q = CIA = (0.88)(9.6 IN/HOUR)(0.82 ACRES) = 6.93 CFS

SITE NUMBER:	12802
BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	
	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

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 FAX: 972.929.9061

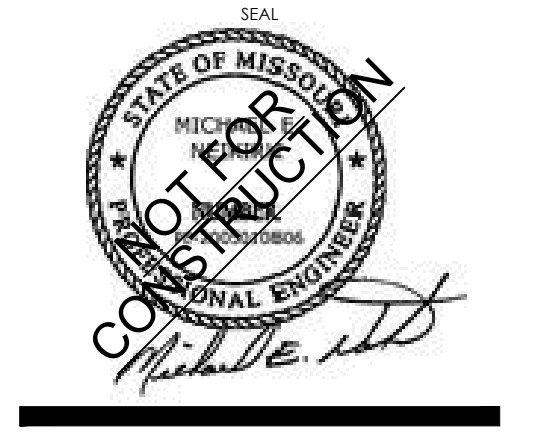
**npc**  
 quality burgers  
 4200 W. 115TH ST. STE. 200  
 LEAWOOD, KANSAS  
 66211  
 OFFICE: (913) 327-3120  
 CELL: (913) 544-3421

PROJECT TYPE: NEW  
 SMART 55 - NARROW  
 MICHAEL E. NEIKIRK PE  
 Civil Engineer  
 306 North Market Street Ste. 101  
 Mt. Carmel, IL 62863  
 Phone: (618) 263-4100

**Wendy's**  
 #12533 (NPCQB#6042)  
 711 E MISSOURI 291 HWY  
 LEE'S SUMMIT, MO 64063

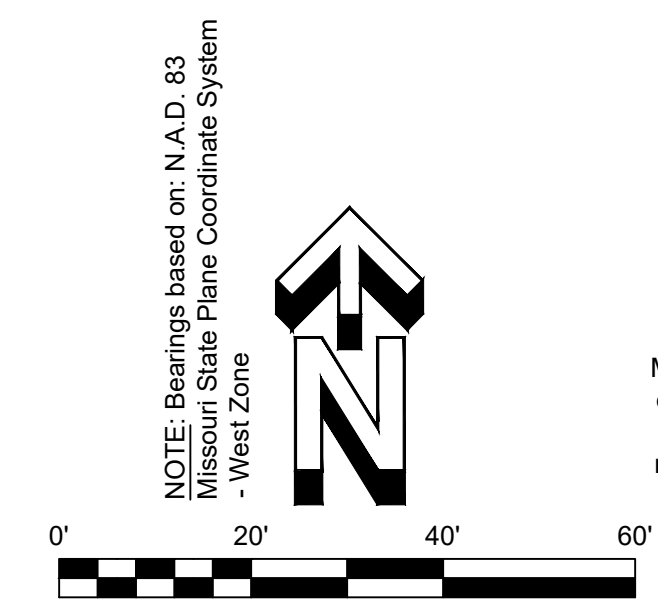
REV.	DATE	DESCRIPTION

ISSUE DATE: 09-05-19  
 PROJECT NUMBER: NPCQB#6042  
 DRAWN BY: RJA, TIL  
 CHECKED BY: MEN, TIL



SHEET NAME  
 EXISTING DRAINAGE AREAS  
 SHEET NUMBER

**EX. 1**



Missouri One Call System, Inc. is open 7 days a week, 24 hours a day to process locate requests or address questions regarding a locate request. The toll free number is 1-800-344-7483 or 811 (the National three digit call before you dig phone number).

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LEGEND	
	Benchmark
	Iron Pin Found
	Backflow Preventer
	Bollard
	Soil Boring Location
	Sanitary Sewer Cleanout
	Gas Meter
	Storm Sewer Curb Inlet
	Storm Sewer MH/Open Lid
	Light Pole or Traffic Light
	Storm Sewer Manhole
	Sanitary Sewer Manhole
	Sign
	Water Meter
	Water Valve
	Utility Pole
	To Be Removed
	Top of Curb
	Pavement
	Match Existing
	Grade point
	Number of Parking Spaces
	To Be Removed
	Water Line
	Sanitary Sewer Main
	Fence
	Existing Contours
	Proposed Contours
	Underground Electric
	Storm Sewer
	Limits of Pavement Removal
	Overhead Utility Lines
	Gas Lines
	Ditch / Swale
	Existing Asphalt
	New Asphalt
	New Concrete
	Gravel
	Existing Concrete

SITE NUMBER:	12802
BASE MDL:	SMART 55 - NARROW 2017
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

**linear!**  
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 FAX: 972.929.9061



4200 W. 115TH ST. STE. 200  
 LEAWOOD, KANSAS  
 66211  
 OFFICE: (913) 327-3120  
 CELL: (913) 544-3421

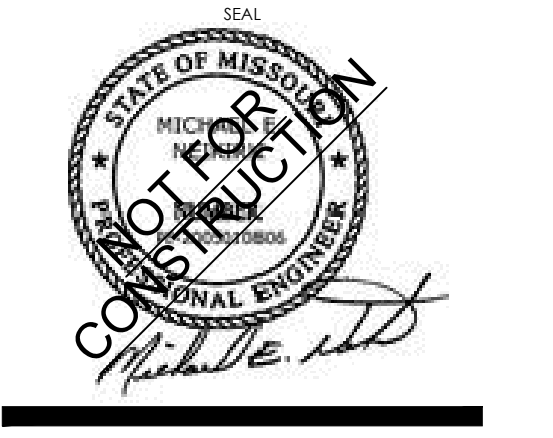
PROJECT TYPE: NEW  
 SMART 55 - NARROW

MICHAEL E. NEIKIRK PE  
 Civil Engineer  
 306 North Market Street Ste. 101  
 Mt. Carmel, IL 62853  
 Phone: (618) 263-4100

**Wendy's**  
 #12533 (NPCQB#6042)  
 711 E MISSOURI 291 HWY  
 LEE'S SUMMIT, MO 64063

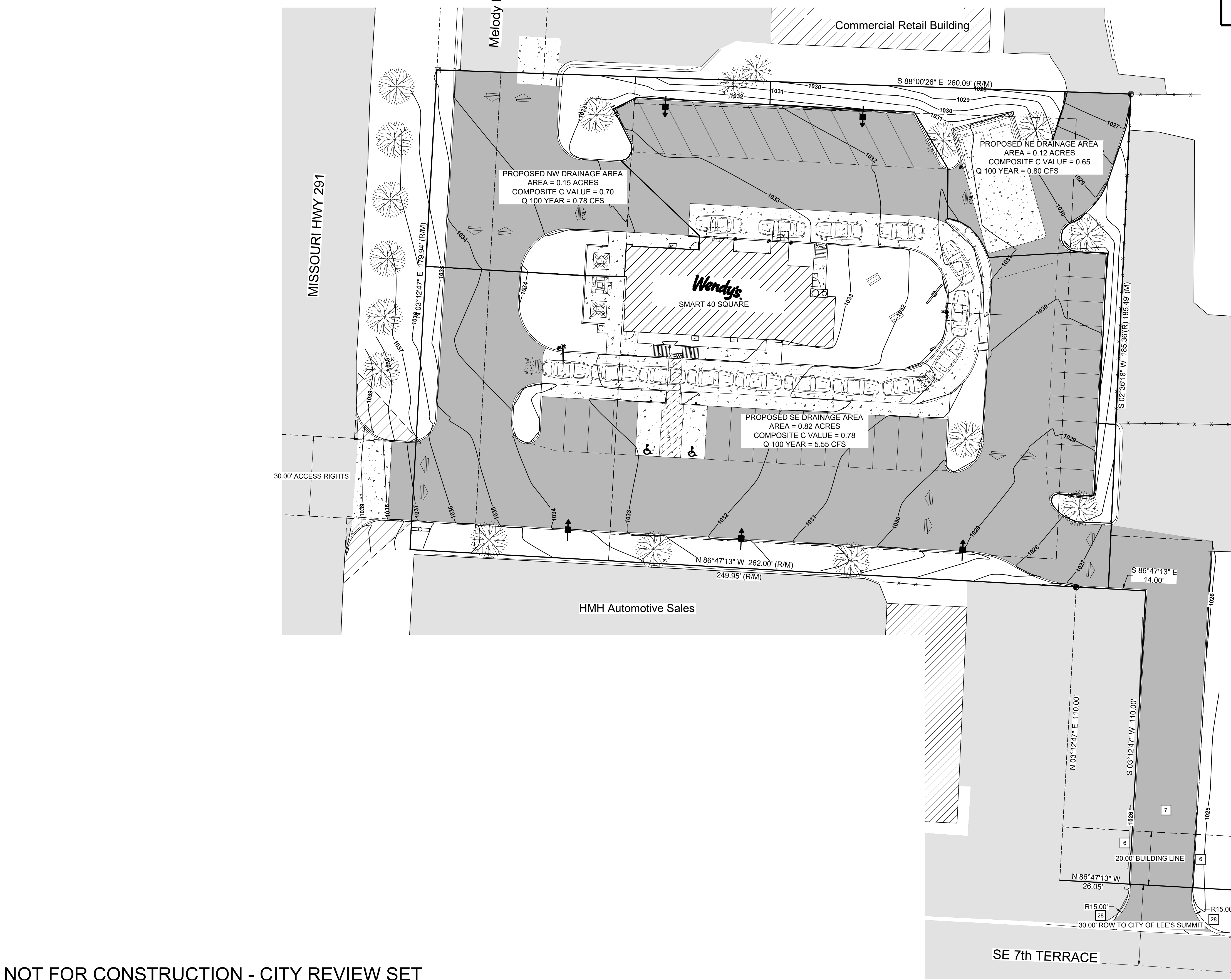
REV.	DATE	DESCRIPTION

ISSUE DATE: 09-05-19  
 PROJECT NUMBER: NPCQB#6042  
 DRAWN BY: T.L. RM  
 CHECKED BY: MEN. T.L.



SHEET NAME  
 PROPOSED DRAINAGE AREA  
 SHEET NUMBER

**EX. 2**



**PROPOSED NORTHWEST DRAINAGE AREA:**  
 TOTAL AREA = 0.15 ACRES  
 IMPERVIOUS AREA = 0.10 ACRES @ C=0.90  
 PERVIOUS AREA = 0.05 ACRES @ C=0.30  
 COMPOSITE C = 0.70  
 TIME OF CONCENTRATION = 7.80 MIN.  
 1 100 YEAR = 9.27 IN/HOUR  
 Q = CIA = (0.70)(9.27 IN/HOUR)(0.12 ACRES) = 0.78 CFS  
 EXISTING 0.84 CFS > PROPOSED 0.78 CFS

**PROPOSED NORTHEAST DRAINAGE AREA:**  
 TOTAL AREA = 0.12 ACRES  
 IMPERVIOUS AREA = 0.07 ACRES @ C = 0.90  
 PERVIOUS AREA = 0.05 ACRES @ C = 0.30  
 COMPOSITE C = 0.65  
 TIME OF CONCENTRATION = 2.37 MIN. THEREFORE USE 5 MIN. MIN.  
 1 100 YEAR = 10.3 IN/HOUR  
 Q = CIA = (0.65)(10.3 IN/HOUR)(0.12 ACRES) = 0.80 CFS  
 EXISTING 1.21 CFS > PROPOSED 0.80 CFS

**PROPOSED SOUTHEAST DRAINAGE AREA:**  
 TOTAL AREA = 0.82 ACRES  
 IMPERVIOUS AREA = 0.66 ACRES @ C = 0.90  
 PERVIOUS AREA = 0.16 ACRES @ C = 0.30  
 COMPOSITE C = 0.78  
 TIME OF CONCENTRATION = 9.72 MIN.  
 1 100 YEAR = 8.67 IN/HOUR  
 Q = CIA = (0.78)(8.67 IN/HOUR)(0.82 ACRES) = 5.55 CFS  
 EXISTING 6.93 CFS > PROPOSED 5.55 CFS

C-VALUES ARE FROM TABLE 5602-3 RUNOFF PARAMETERS. TIME OF CONCENTRATION CALCULATIONS WERE COMPLETED USING EQUATION FROM SECTION 5602.7. AND INTENSITIES WERE CALCULATED USING TABLE 5602-5 FROM APWA STORM DRAINAGE SYSTEMS AND FACILITIES MANUAL.

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SITE NUMBER:	12802
BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	
	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

*linear!*  
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**npc**  
 quality burgers  
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PROJECT TYPE: NEW  
 SMART 55 - NARROW

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**Wendy's**  
 #12533 (NPCQB#6042)  
 711 E MISSOURI 291 HWY  
 LEE'S SUMMIT, MO 64063

REV.	DATE	DESCRIPTION

ISSUE DATE: 09-05-19  
 PROJECT NUMBER: NPCQB#6042  
 DRAWN BY: TAJ, RM  
 CHECKED BY: MEN, TAJ



SHEET NAME  
 COLORED RENDERINGS  
 SHEET NUMBER

**EX. 3**



1 WEST ELEVATION  
 NOT TO SCALE



3 EAST ELEVATION  
 NOT TO SCALE



2 SOUTH ELEVATION  
 NOT TO SCALE



4 NORTH ELEVATION  
 NOT TO SCALE

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