

Heartland Market

Lee's Summit, Jackson County, Missouri
Section 29, Township 48N, Range 31W

Final Development Plans

RELEASED FOR CONSTRUCTION

As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

09/25/2023

LEGEND

— Existing Section Line	— Proposed Right-of-Way
- - - Existing Right-of-Way Line	— Proposed Property Line
— Existing Lot Line	— Proposed Lot Line
- - - Existing Easement Line	- - - Proposed Easement
— Existing Curb & Gutter	— Proposed Curb & Gutter
— Existing Sidewalk	— Proposed Sidewalk
— Existing Storm Sewer	— Proposed Storm Sewer
□ Existing Storm Structure	□ Proposed Storm Structure
- - - Existing Waterline	▲ Proposed Fire Hydrant
- - - Existing Gas Main	- - - Proposed Waterline
- - - Existing Sanitary Sewer	- - - Proposed Sanitary Sewer
⊙ Existing Sanitary Manhole	● Proposed Sanitary Manhole
- - - Existing Contour Major	— Proposed Contour Major
- - - Existing Contour Minor	— Proposed Contour Minor
----- Future Curb and Gutter	
U/E Utility Easement	A/E Access Easement
SS/E Sanitary Sewer Easement	T/E Temporary Easement
D/E Drainage Easement	

Site Benchmarks:

BM A:
Elev. =

BM B:
Elev. =

Lot 2 Legal Description:

A TRACT OF LAND BEING LOCATED IN SECTION 29, TOWNSHIP 48, RANGE 31, LEE'S SUMMIT, JACKSON COUNTY MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 4 OF RICE ACRES, LOTS 4 & 5, A SUBDIVISION IN SAID LEE'S SUMMIT, MISSOURI; THENCE NORTH 88° 38' 41" WEST, A DISTANCE OF 84.60 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88° 38' 41" WEST, A DISTANCE OF 256.00 FEET; THENCE NORTH 1° 23' 04" EAST, A DISTANCE OF 276.31 FEET; THENCE SOUTH 88° 38' 51" EAST, A DISTANCE OF 255.59 FEET; THENCE ALONG A CURVE TO THE RIGHT TANGENT TO THE PRECEDING COURSE AND HAVING A RADIUS OF 15.00 FEET, AN ARC DISTANCE OF 23.57 FEET; THENCE SOUTH 1° 23' 04" WEST, A DISTANCE OF 172.36; THENCE SOUTH 13° 21' 00" WEST, A DISTANCE OF 37.98 FEET; THENCE ALONG A CURVE TO THE LEFT TANGENT TO THE PRECEDING COURSE AND HAVING A RADIUS OF 328.00 FEET, AN ARC DISTANCE OF 552.28 FEET TO THE POINT OF BEGINNING.

TRACT CONTAINS 73,958.97 SF (1.70 ACRES) MORE OR LESS.

Earthwork:

Cut: 1024.34 CY (Cut)
Fill: 3383.97 CY (Fill)
Net: 2359.63 CY Net (Fill)

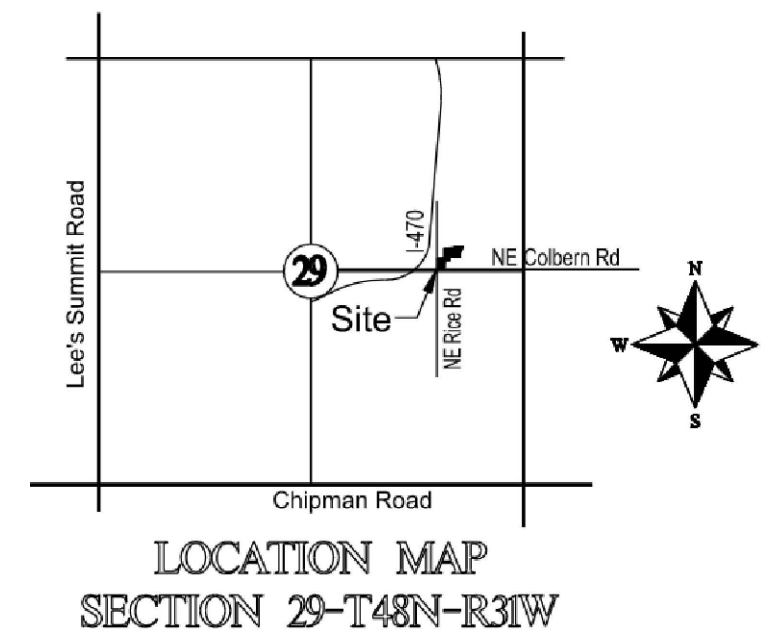
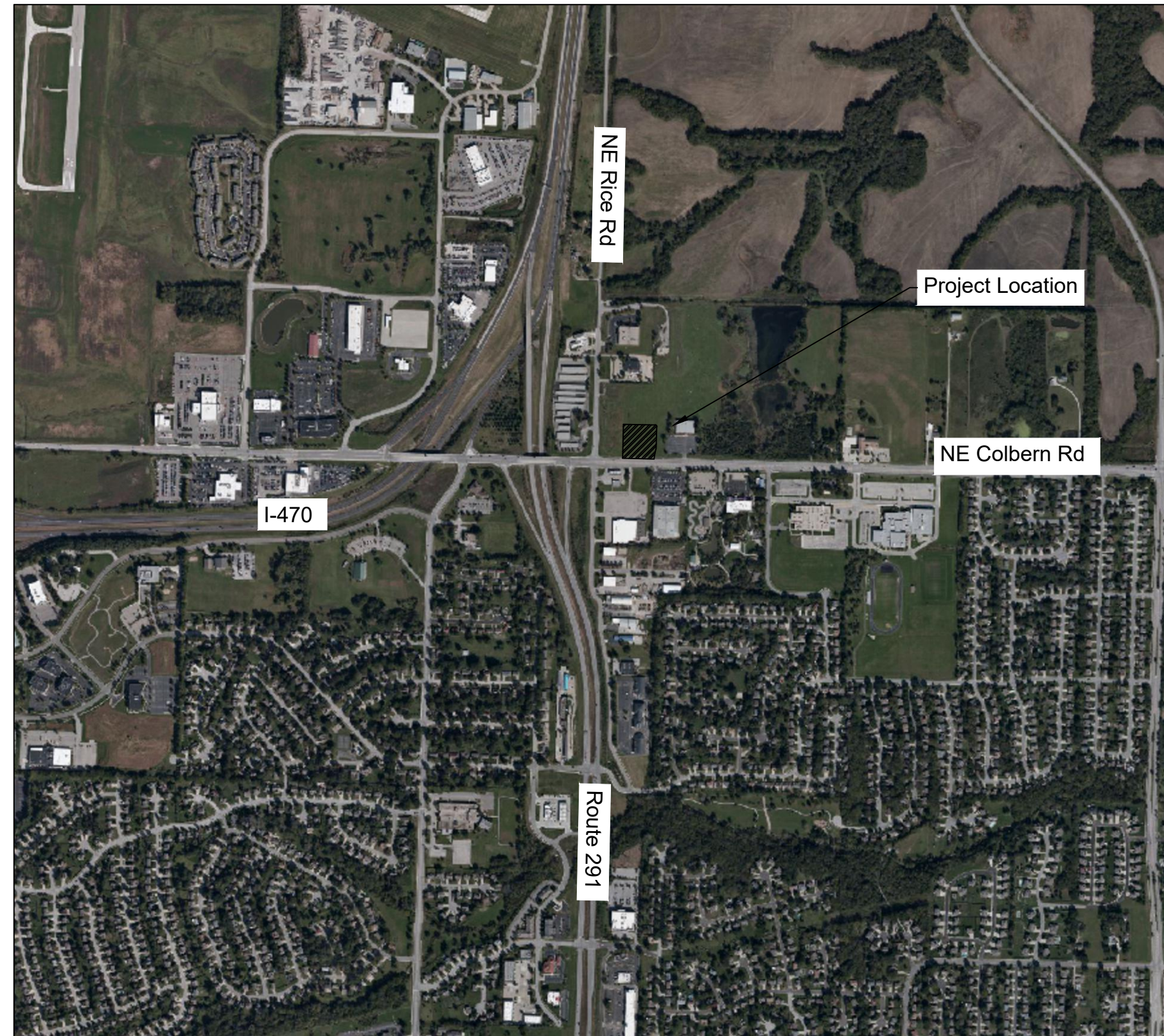
FLOOD PLAIN NOTE

According to the FEMA Flood Insurance Rate Map Number 29095C0430G, revised January 20, 2017 portions of this tract lie in: Zone X, AREA OF MINIMAL FLOOD HAZARD.

Oil / Gas Well Note:

There is no visible evidence, this date, of abandoned oil or gas wells located within the property boundary, as identified in "Environmental Impact Study of Abandoned Oil and Gas Wells in Lee's Summit, Missouri", by Edward Alton May.

The information concerning locations of underground utilities shown hereon which are not visible from the surface, has been taken from the records and field locations of the various utility companies and has not been field verified by this company. These locations are not to be construed as accurate or exact.



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C20	Typical Details - Storm
C21	Typical Details - Sanitary
C22	Typical Details - Water
L01	Landscape Plan
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E01	Photometric Plan

Consultant/Applicant:
Renaissance Infrastructure Consulting
400 E 17th St, Kansas City, MO 64108
(816) 800-0950

Prepared For:
The Great American Dream
Contact: Shawn Pouppirt
P.O. Box 30
Pleasant Hill, MO 64080

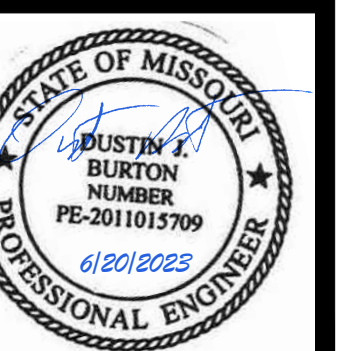
Final Development Plans
22-0133
Heartland Market
Lee's Summit, Jackson County, Missouri

Title Sheet

NO.	DATE	REVISION
1	6/16/23	Per City Comments

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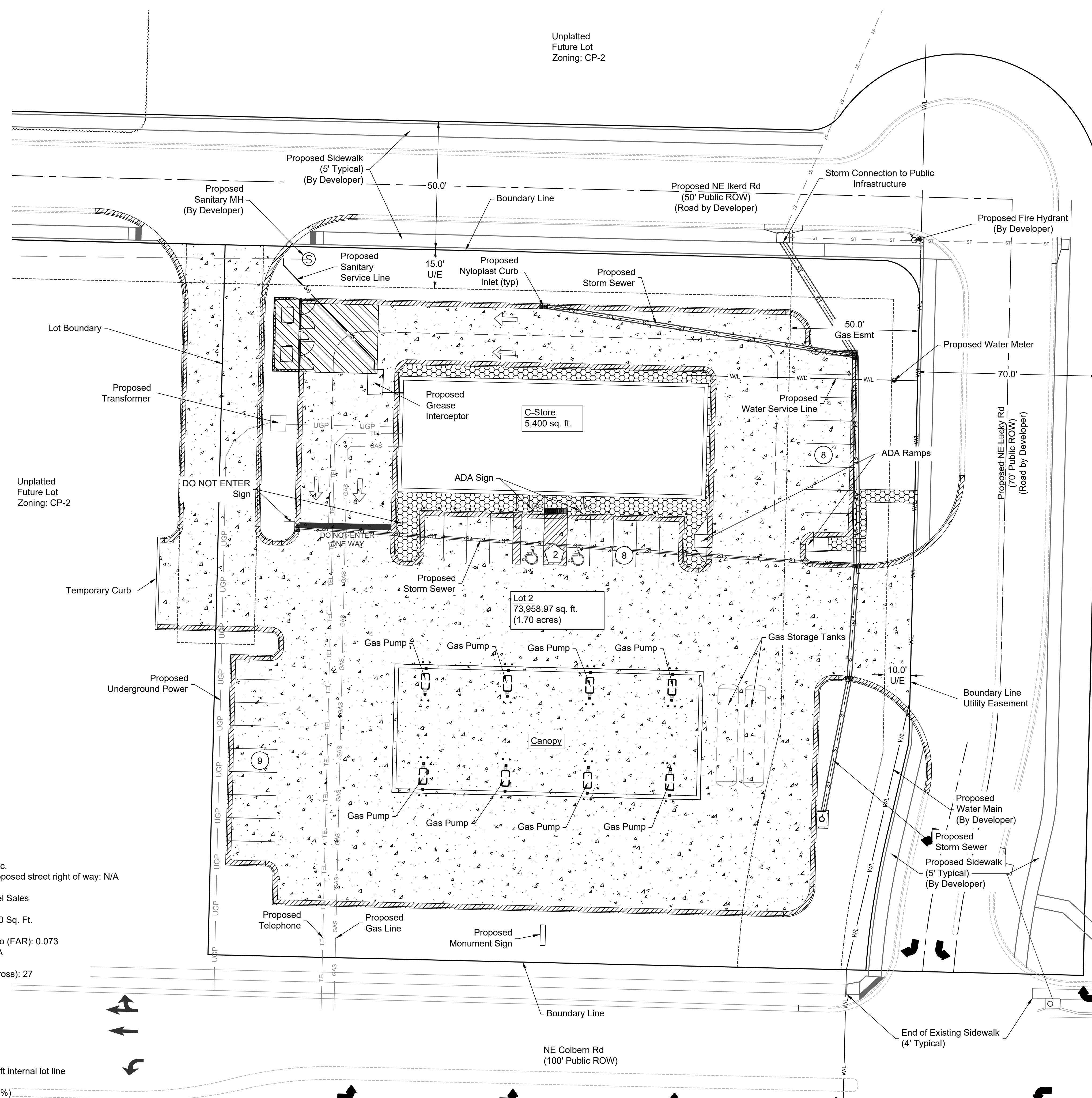


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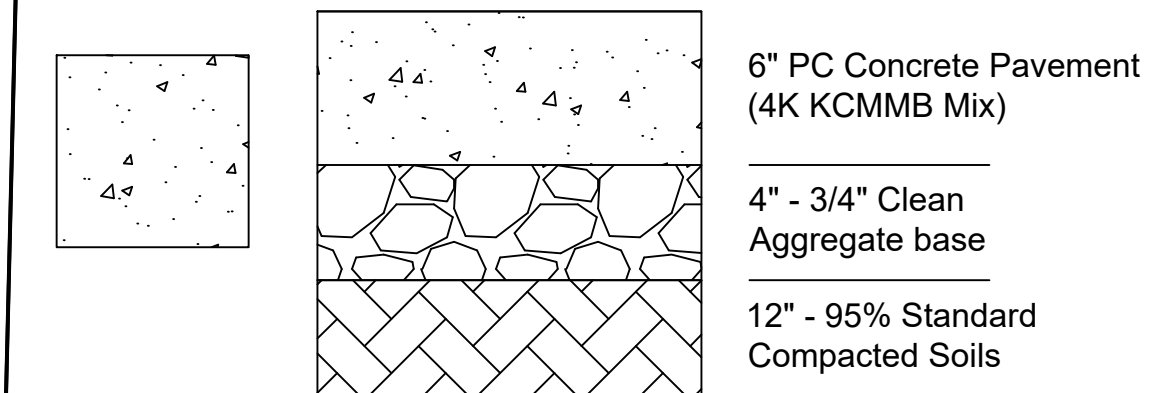
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General Layout

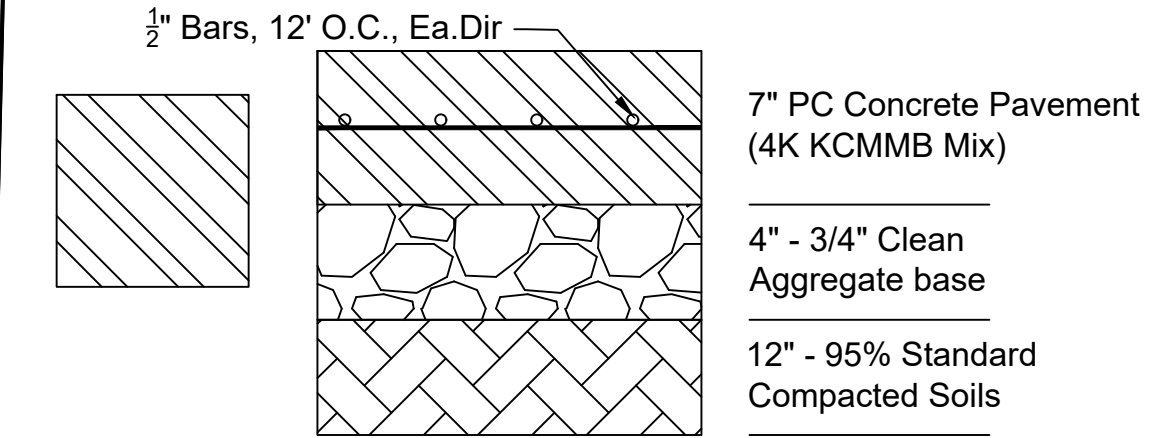


PAVEMENT SECTION DETAILS

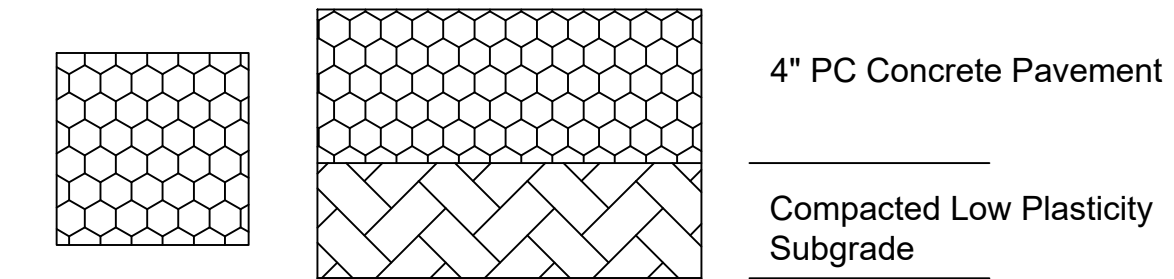
PC Concrete Pavement



Heavy Duty Concrete Pavement



Sidewalk Pavement

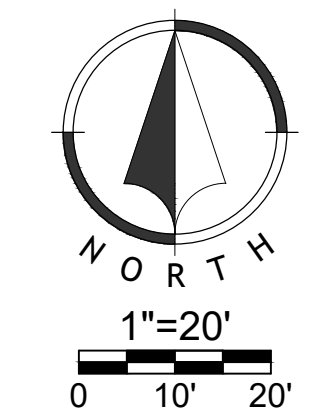
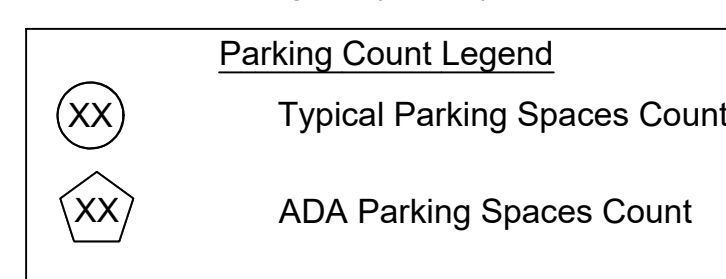


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Professional Engineer
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6/20/2023
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Lot 2 Information:
Required Parking: 27 (5 / 1000 sq ft of gfa)
Provided Parking: 27 (2 ADA)



SITE DATA TABLE (Proposed):

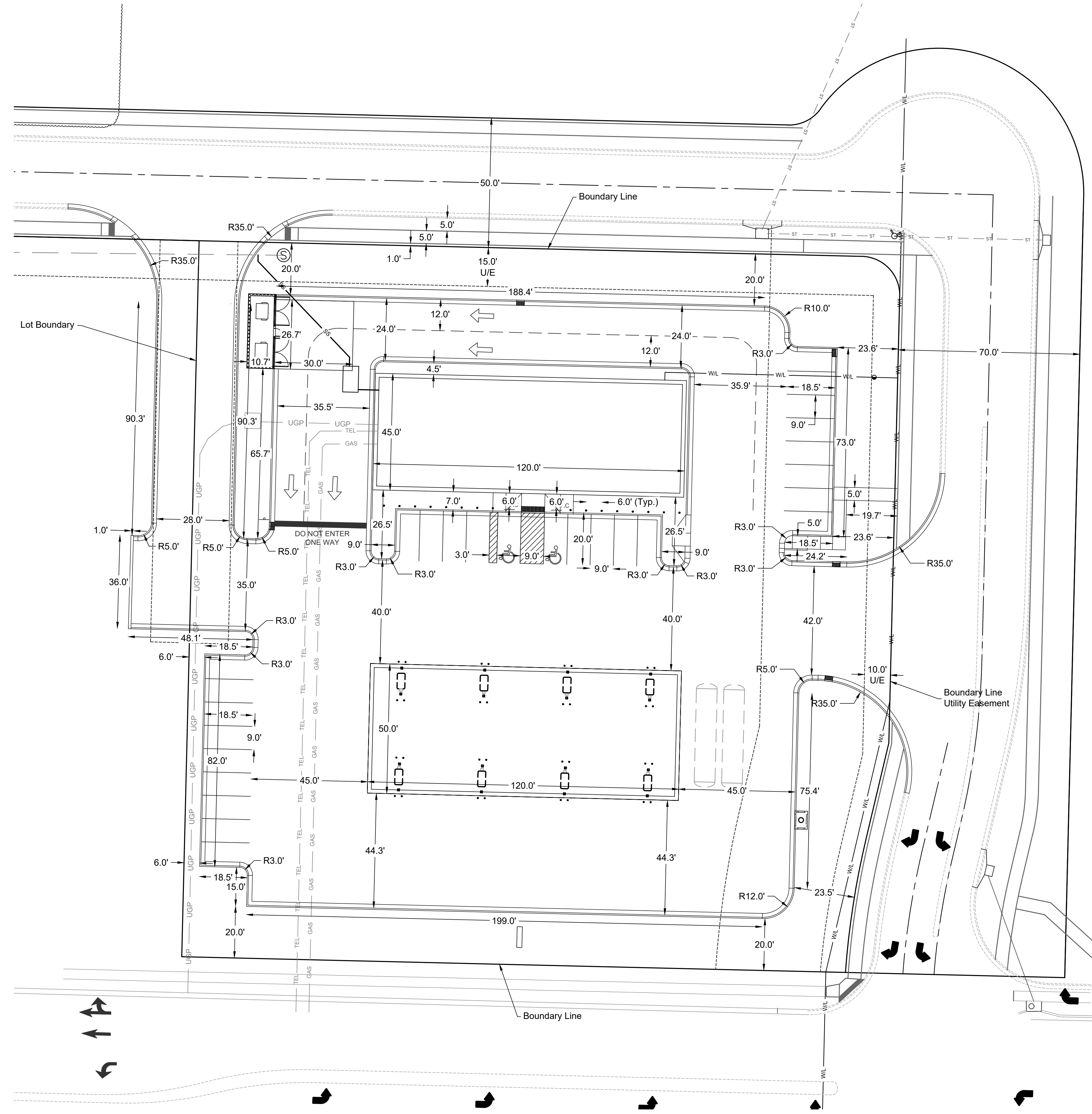
Proposed Building Area: 5,400 SF

LOT 2:

- A. Zoning: CP-2
- B. Total Lot Area: 73,959 Sq. Ft. = 1.70 Ac.
- C. Land Area or acres for existing and proposed street right of way: N/A
- D. Net Land Area: 1.70 Acres
- E. Proposed Use: Convenience Store/Fuel Sales
- F. Height above Grade at Building: 25.67'
- G. Gross Floor Area - Main Building: 5,400 Sq. Ft.
- H. Total Floor Area: 5,400 Sq. Ft.
- I. Building Coverage and Floor Area Ratio (FAR): 0.073
- J. Residential Gross and Net Density: N/A
- K. Commercial Parking
Required - 5 stalls per 1,000 Sq. Ft. (gross): 27
Provided: 27 Stalls (2 ADA)
- L. Parking Set Back:
20 ft from Colbern Rd
15 ft from other roads
0 ft internal
- M. Building Set Back
Front yard: 15 ft (from Colbern Rd)
Side yard: 15 ft (from NE Lucky Rd), 0 ft internal lot line
Rear yard: 15 ft (from NE Ikerd Rd)
- N. Impervious Area: 56,557 Sq. Ft. (76.47%)
Pervious Area: 17,402 Sq. Ft. (23.53%)

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Final Development Plans
 22-0133
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Dimension Plan

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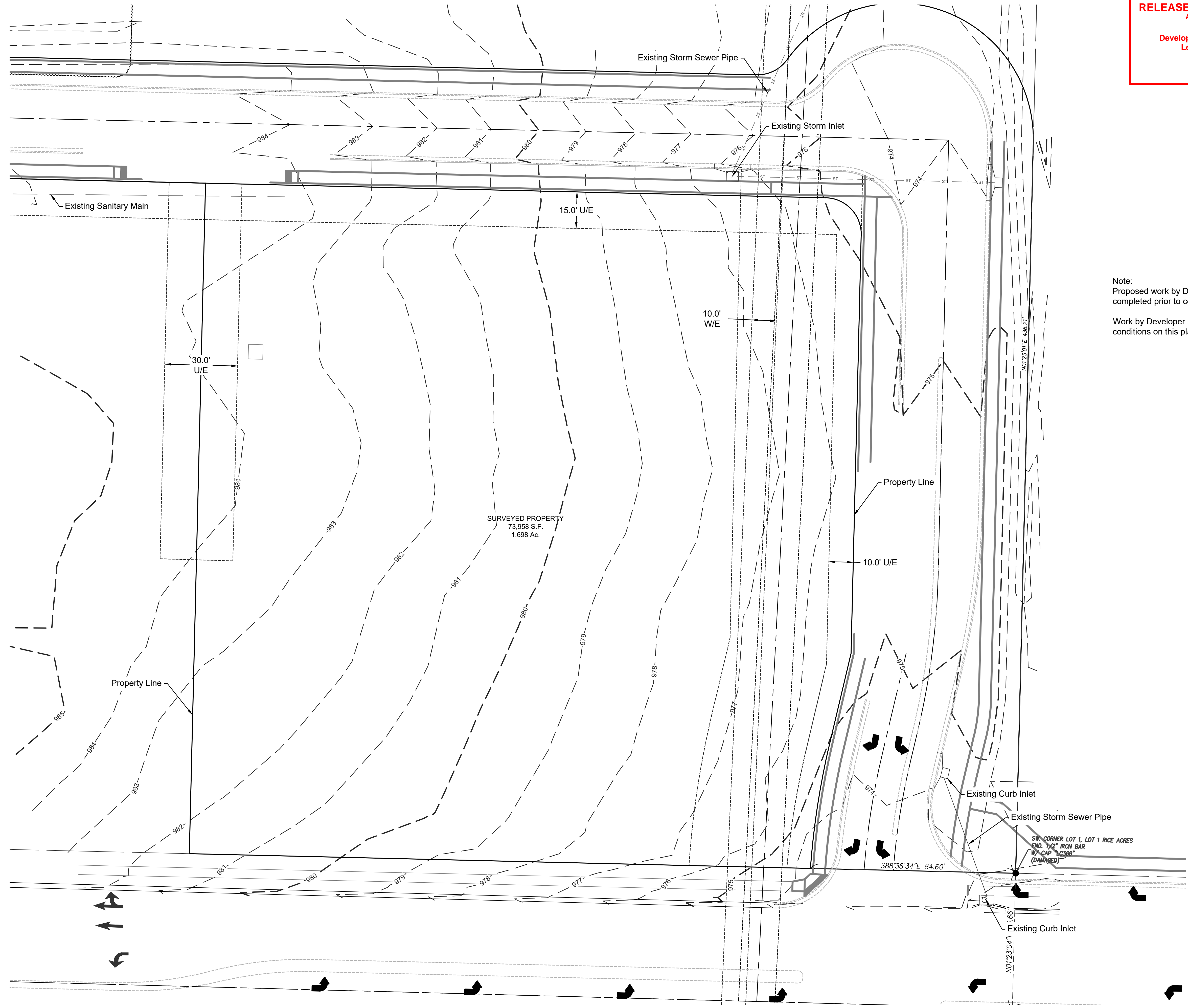
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Note:
 Proposed work by Developer should be completed prior to construction.
 Work by Developer has been shown as existing conditions on this plan.

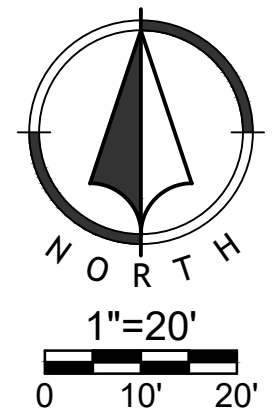
Final Development Plans
 22-0133
 Heartland Market
 Lee's Summit, Jackson County, Missouri

Existing Conditions

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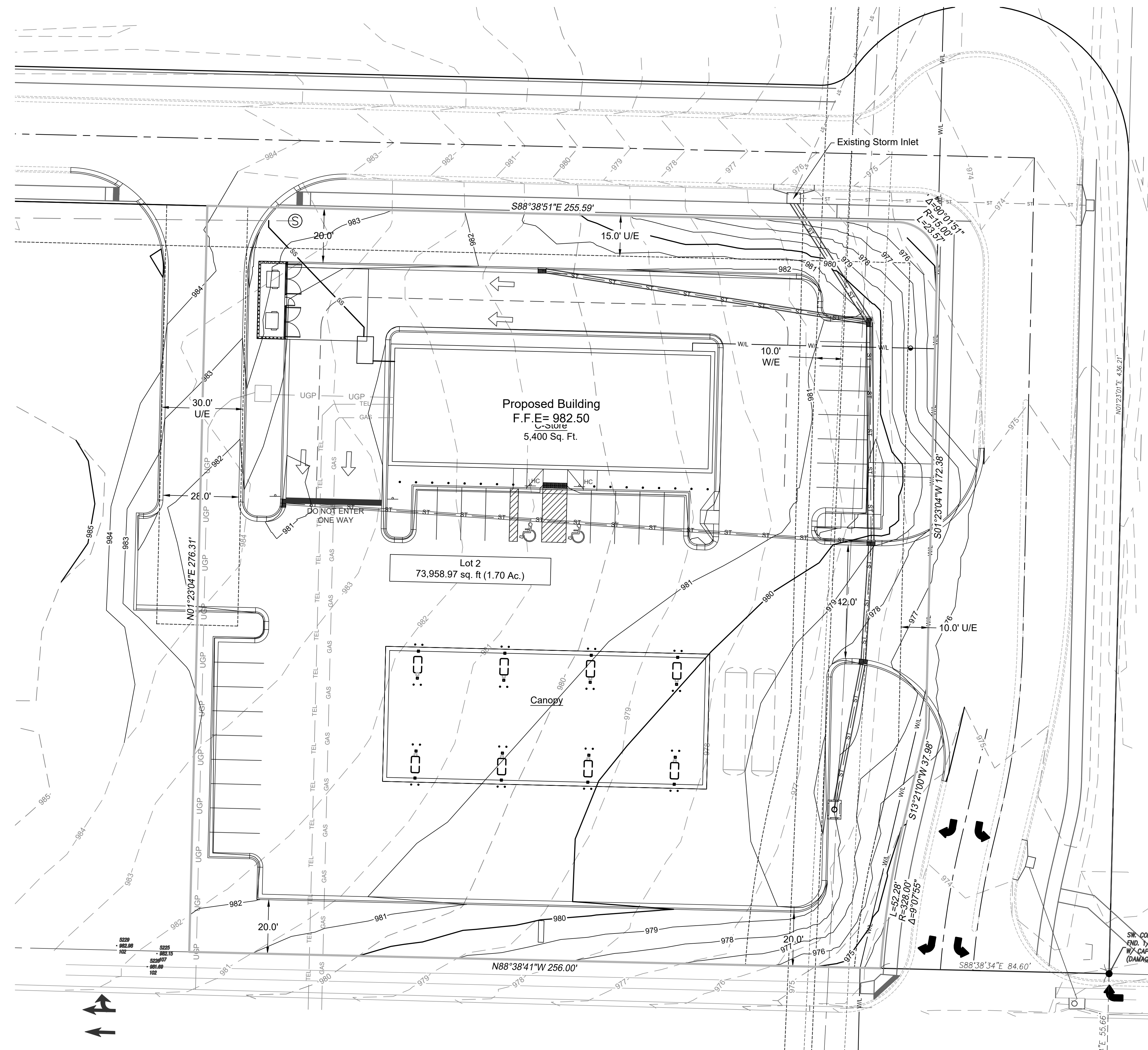
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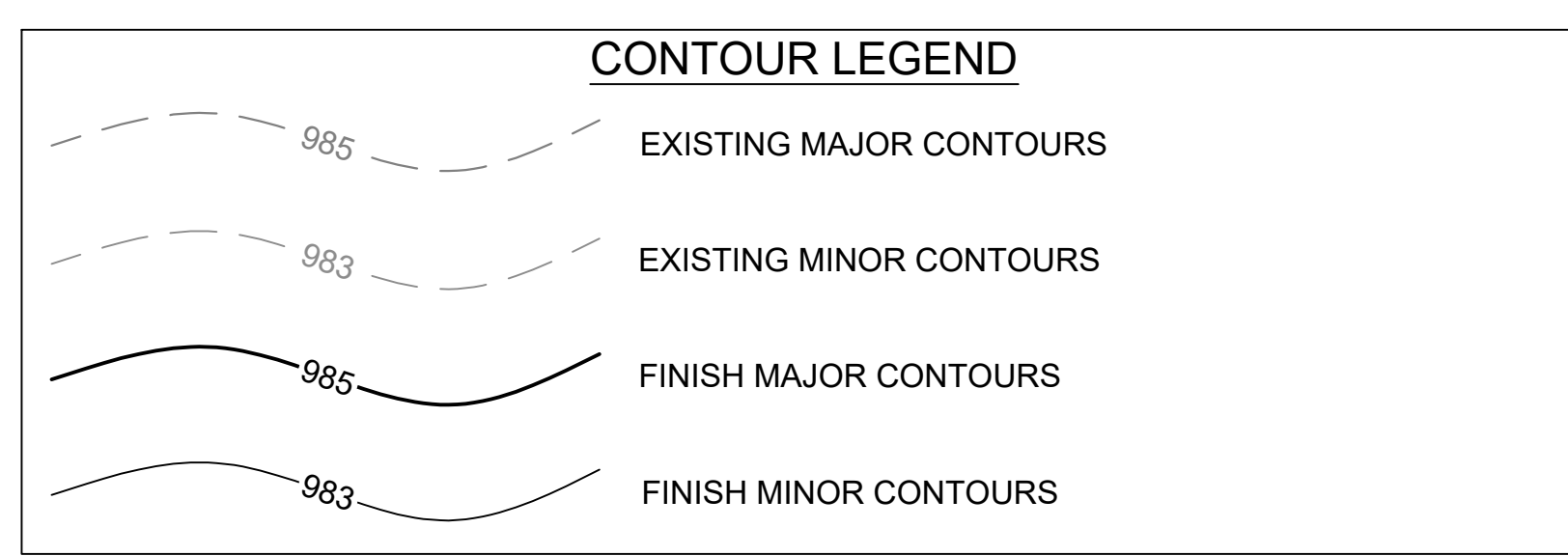
GRADING NOTES

- All construction shall conform to the City's minimum design standards.
- Spot Grades shown herein shall govern over finished grades.
- The contractor shall provide evidence that his insurance meets the requirements of the Project.
- All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD).
- The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Missouri, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
- The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition.
- The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
- All work shall be confined within easements and/or construction limits as shown on the plans.
- Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
- All National Pollution Discharge Elimination System (NPDES) standards shall be met.
- Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The Contractor is responsible for the cost of utility relocations unless otherwise indicated on the plans.
- Retaining wall elevation shown for reference only. Contractor is responsible for final design of wall, including engineering calculations by a professional structural engineer registered in the State of Missouri.

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EARTHWORK NOTES:

- CONTOURS AND ELEVATIONS:** Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted. Proposed contours and elevations shown represent approximate finish grade.
- CLEARING AND GRUBBING:** Prior to the start of grading and earthwork, the areas to be graded shall be stripped of all vegetation, organic matter, and topsoil, to a minimum depth of four inches (4") or as otherwise directed by the Geotechnical Engineer. Stripping materials shall not be incorporated into structural fills. Topsoil materials shall not be used in building and pavement areas.
 - TOPSOIL:** Prior to the start of grading, the contractor shall strip all topsoil from areas to be graded and stockpile at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping.
 - SUBGRADE PREPARATION:** Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.
 - PROOFROLLING:** Prior to the placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer. Unsuitable areas identified by the proofrolling areas shall be undercut and replaced with controlled structural fill or treated with flyash per the Geotechnical report.
 - EARTHWORK:**
 - GEOTECHNICAL:** All earthwork shall conform to the recommendations of the Geotechnical report.
 - SURFACE WATER:** Surface water shall be intercepted and diverted during the placement of fill.
 - FILLS:** All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil, and debris. All fill required for project shall be provided by the Contractor. Material shall be pre-approved by the Geotechnical Engineer prior to placement.
 - EXISTING SLOPES:** Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose fit measurement), unless otherwise approved by the Geotechnical Engineer.
 - COMPACTION REQUIREMENTS:** Earth fill material shall be placed and compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall be within a range of -2% to 3% off the optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers. The Geotechnical recommendations shall supersede any information in the above note.

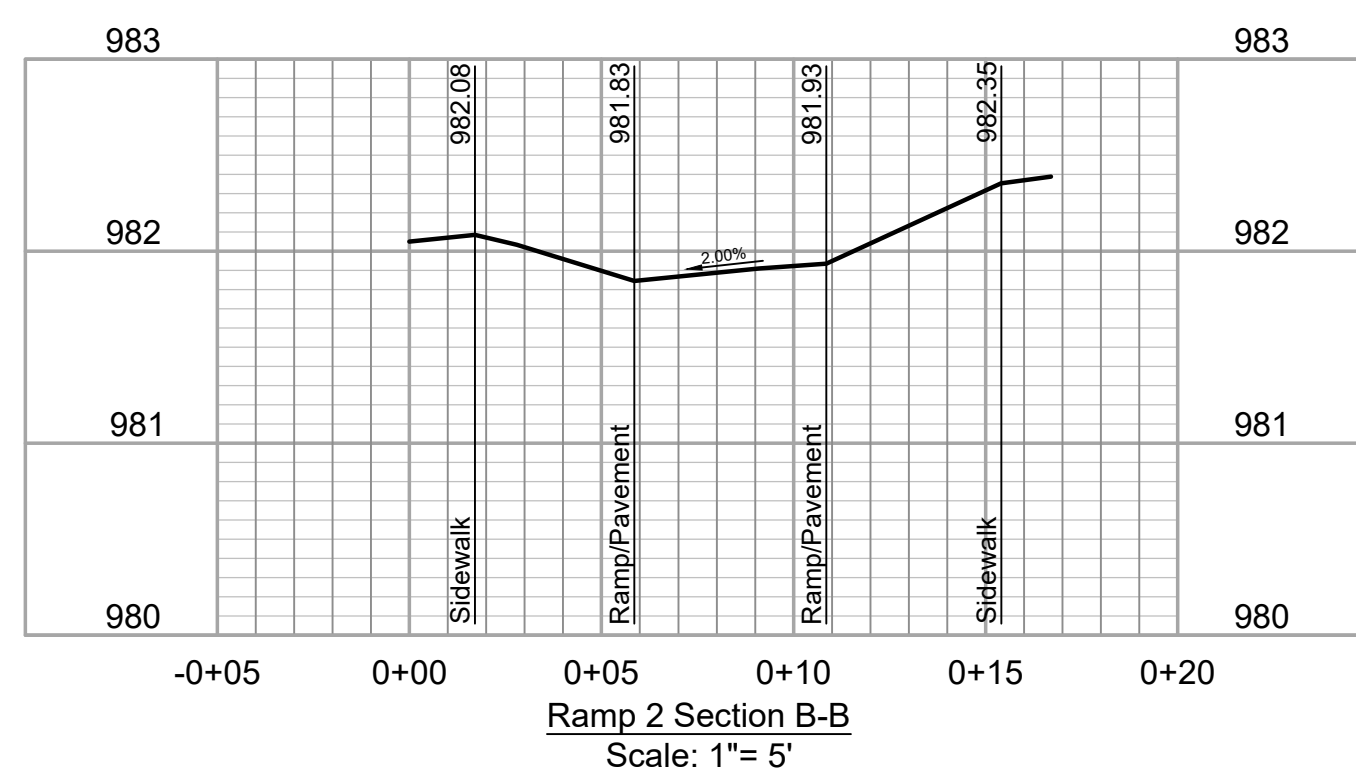
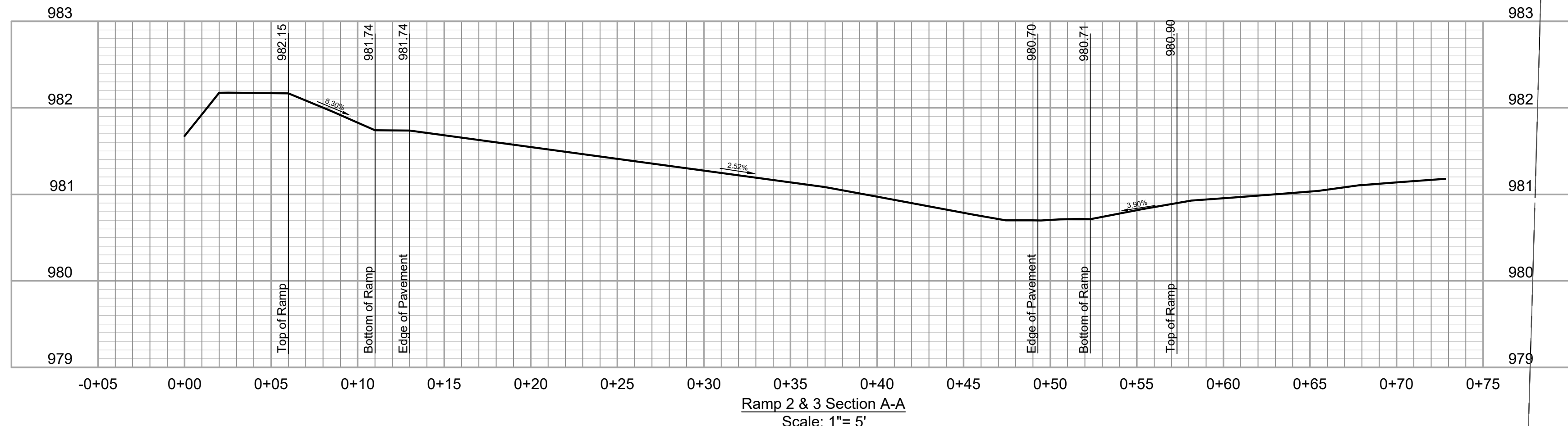
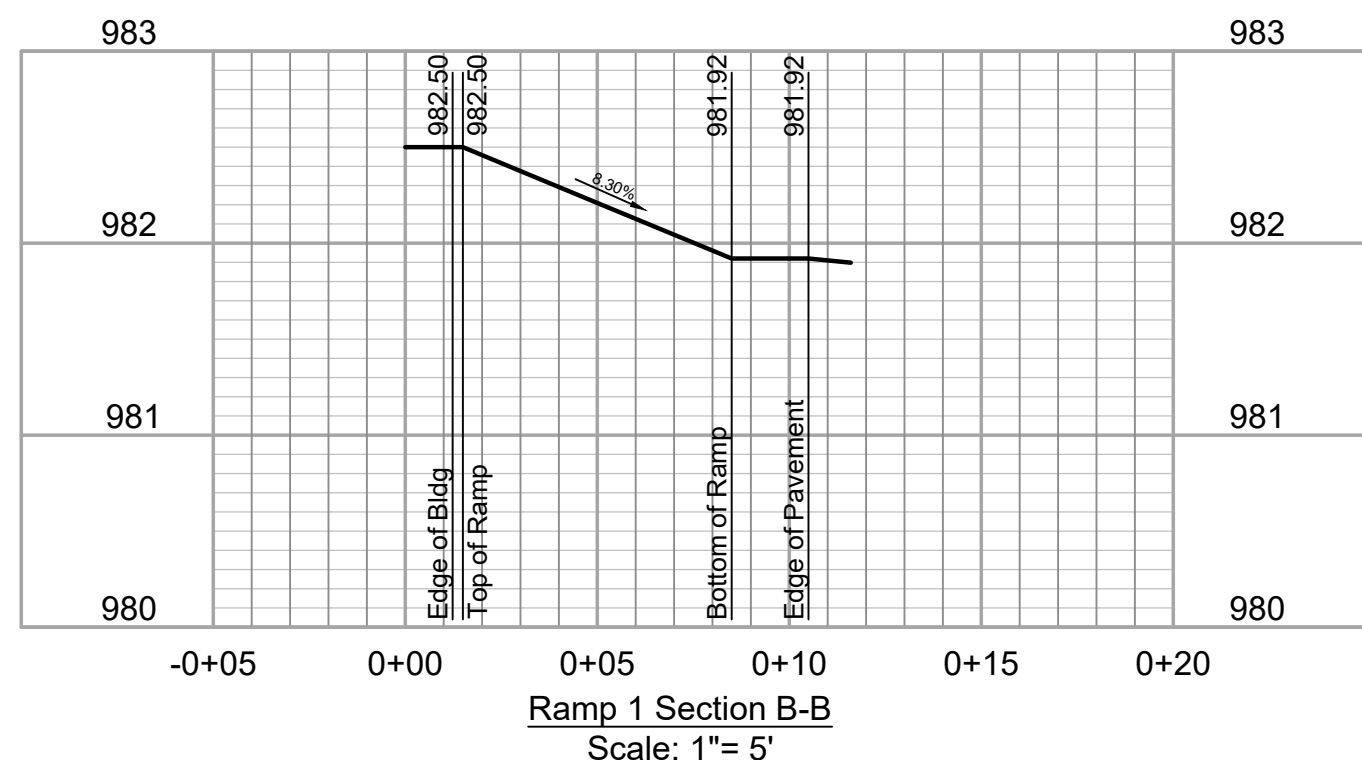
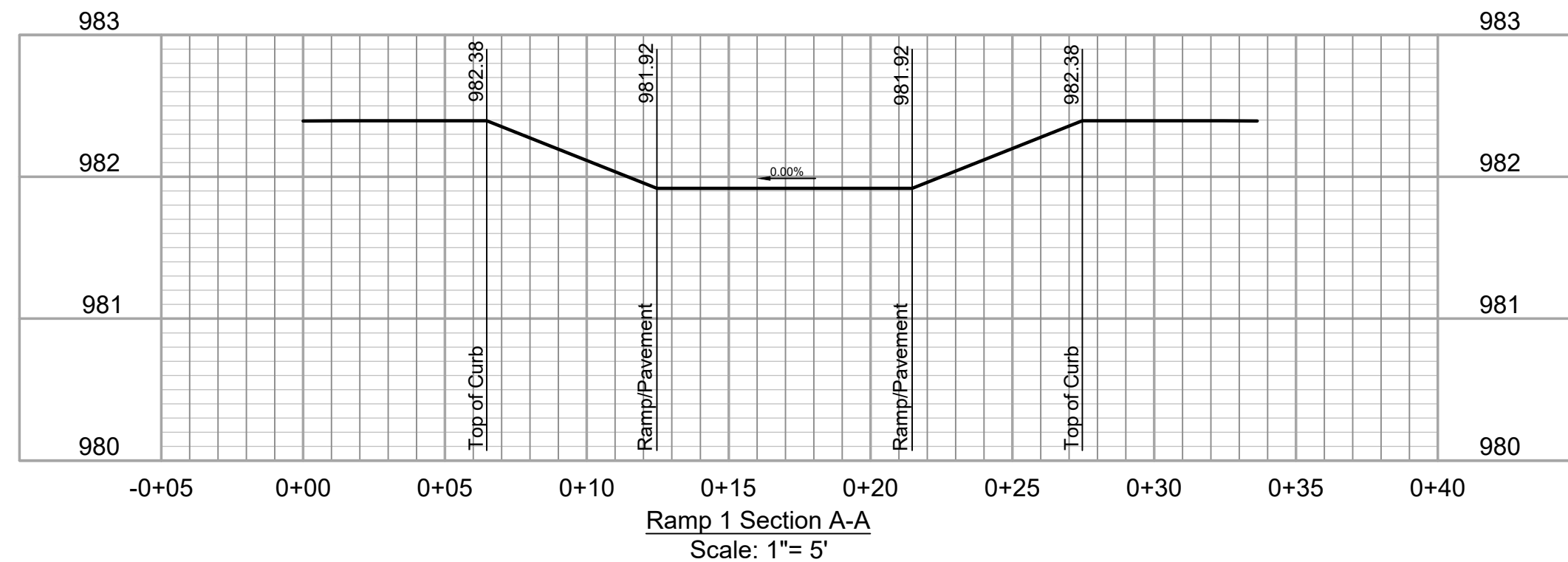
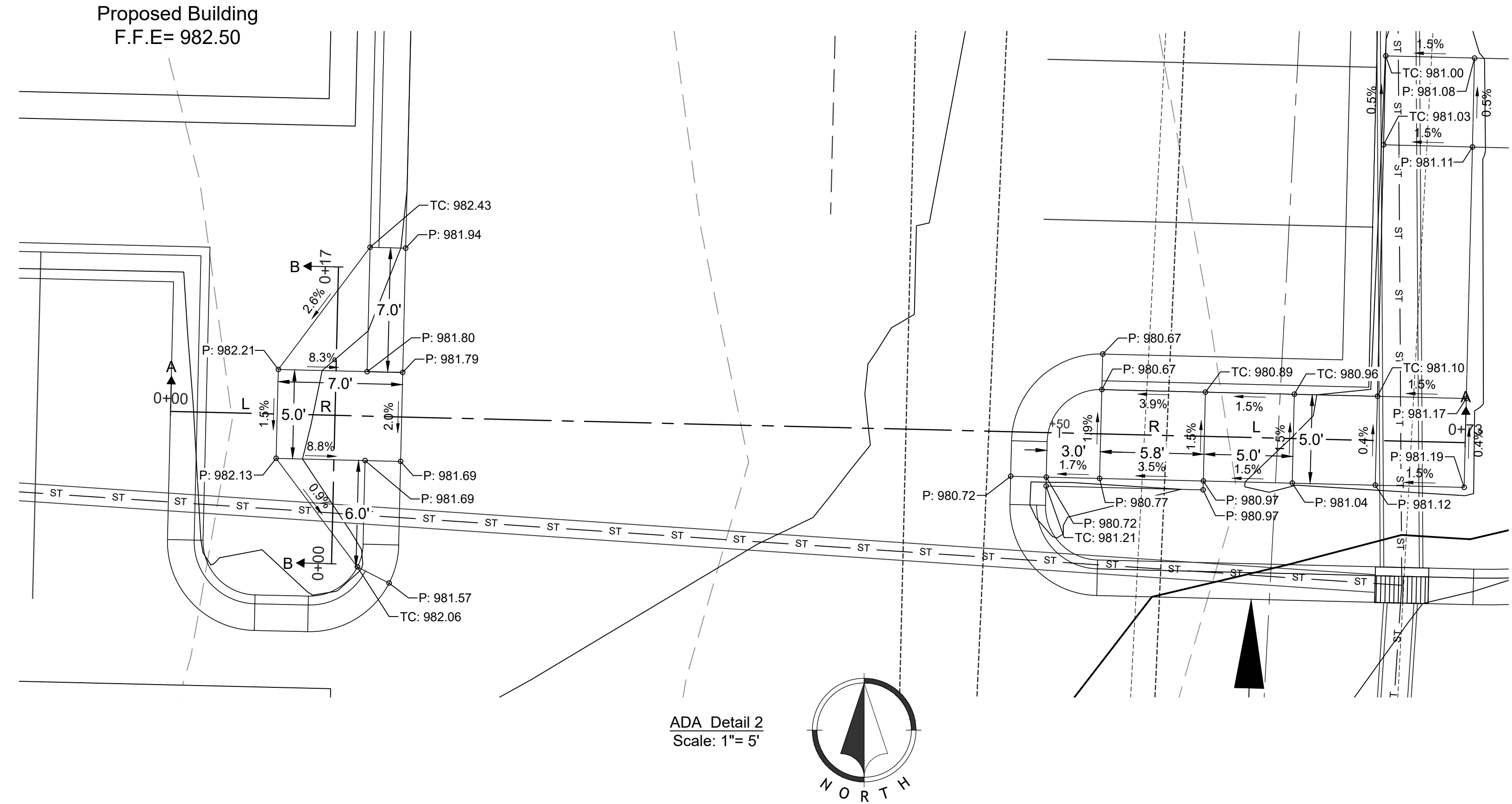
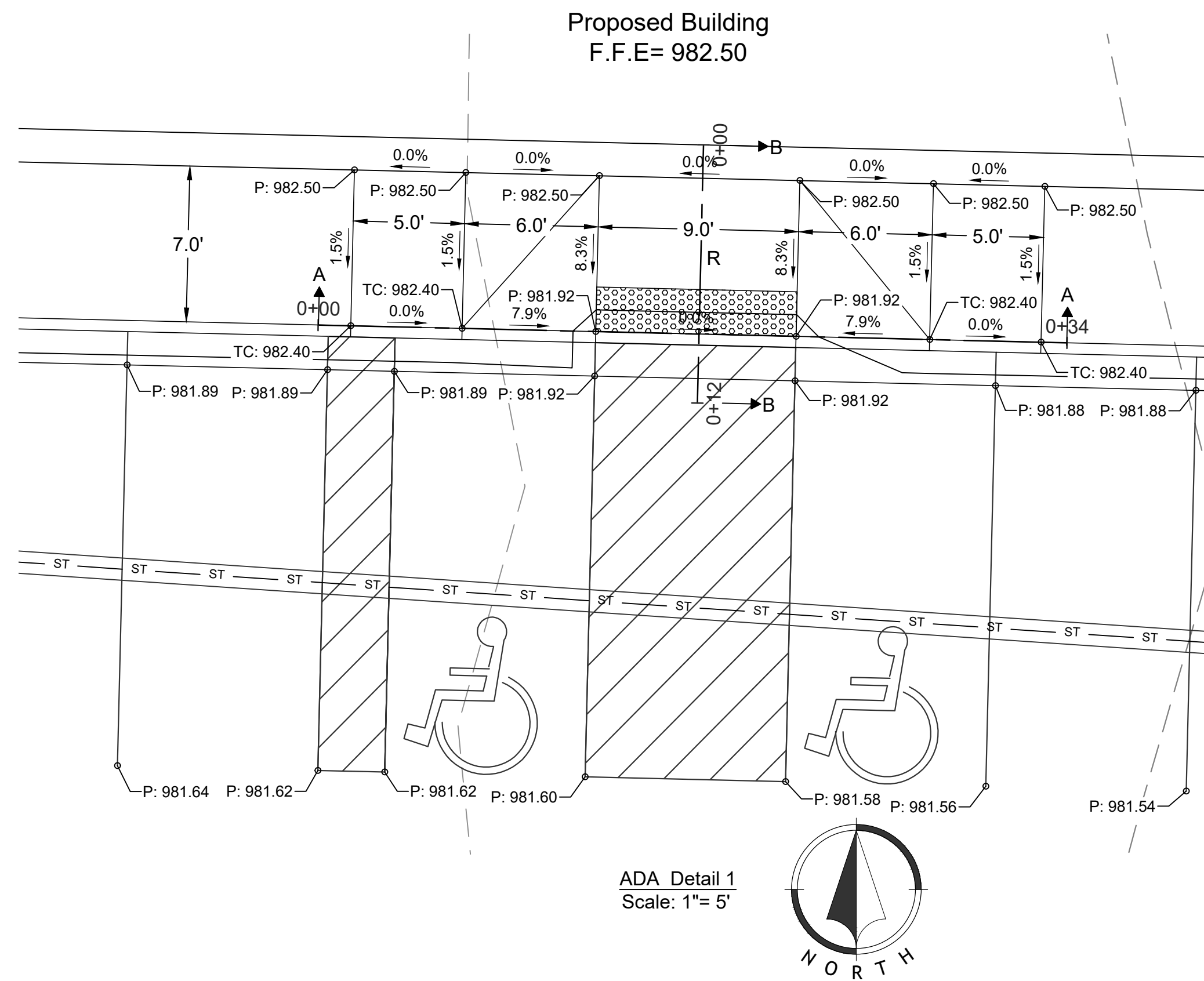
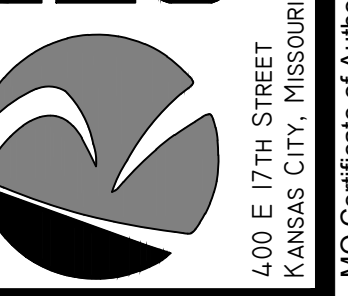


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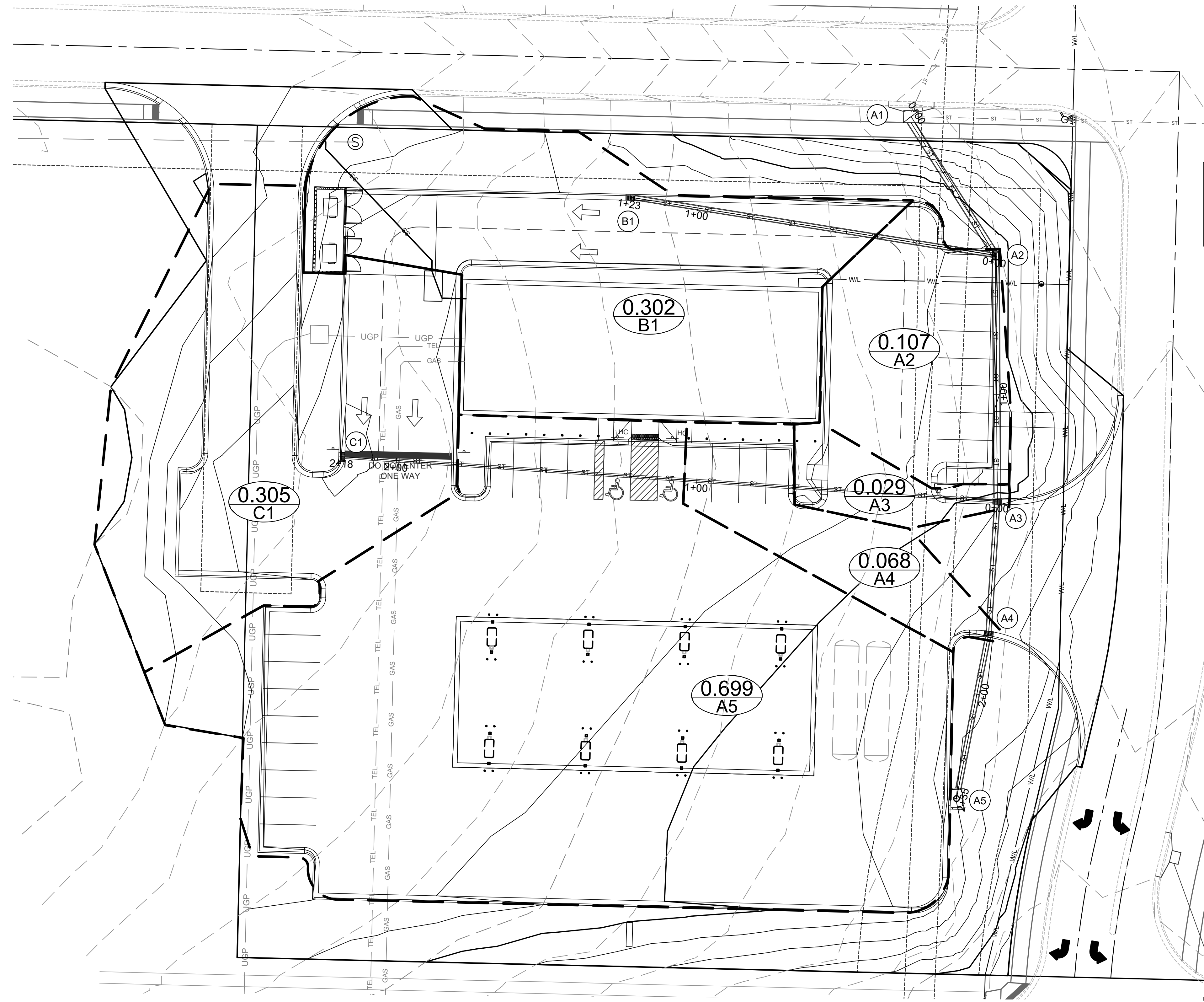


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- LEGEND**
- TC: Top of Curb
 - P: Pavement
 - T/S: Top of Structure
 - F/L: Flowline of Pipe
 - G: Ground
 - (HP) High Point
 - (LP) Low Point
 - TW: Top of Wall
 - BW: Bottom of Wall
- Existing Major Contour
 - Existing Minor Contour
 - Proposed Major Contour
 - Proposed Minor Contour

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LEGEND

XX Inlet ID

XXX Inlet ID

XXX Drainage Area (ac)

Grading Legend

--- Existing Major Contour

- - - Existing Minor Contour

— Proposed Major Contour

— Proposed Minor Contour

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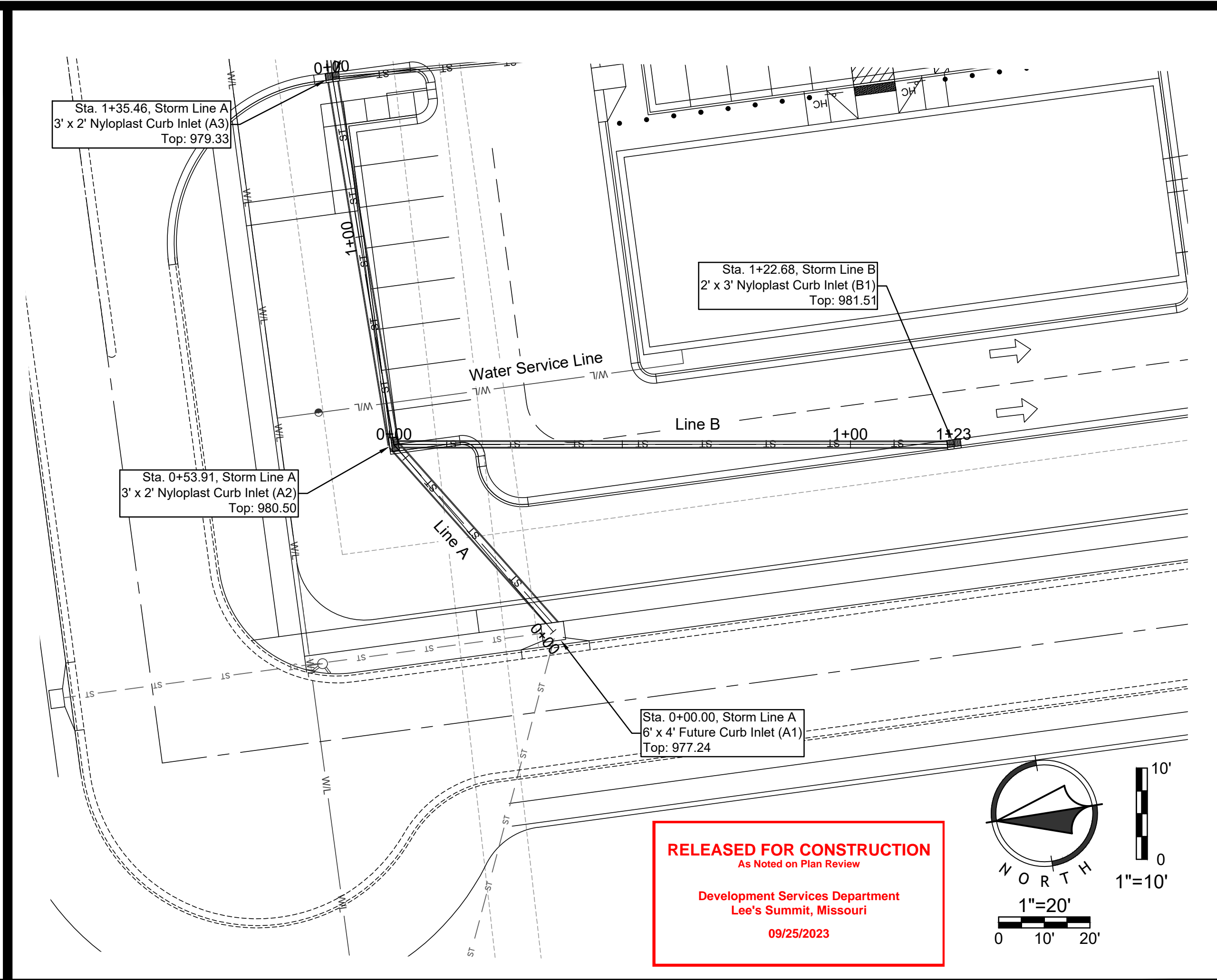
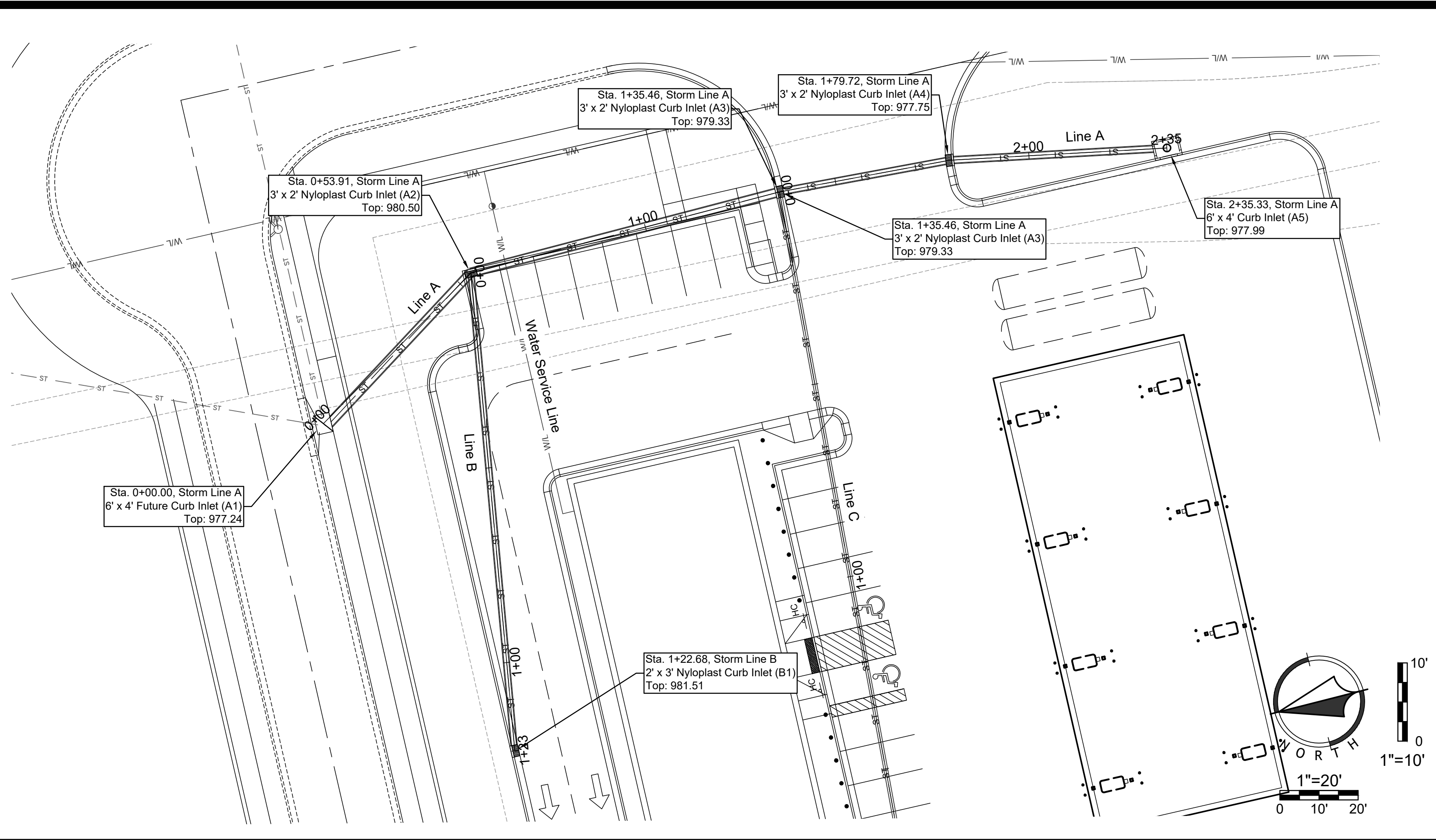
1-year Return Period																															
LineNo.	InletID	DrainageArea (ac)	InletTime (min)	Inlet (in/hr)	RunoffCoeff (C)	IncrQ (cfs)	QCaptured (cfs)	QBypass (cfs)	JunctType	ThroatHt (in)	StructLength (ft)	InletDepth (ft)	GutterDepth (ft)	GutterSpread (ft)	DnStrmLine No.	LineSize (in)	LineLength (ft)	FlowRate (cfs)	InvertDn (ft)	InvertUp (ft)	LineSlope (%)	n-valuePipe	CapacityFull (cfs)	HGLDn (ft)	HGLUp (ft)	HGLInct (ft)	DepthDn (ft)	DepthUp (ft)	VelAve (ft/s)	Hw (ft)	J-LossCoeff
1	A2	0.11	5	3.03	0.9	0.3	0.3	0	Curb	6	3	0.11	0.11	2.68	Outfall	24	53.908	3.22	970.25	971.9	3.06	0.012	42.87	971.31	972.53	972.53	1.06	0.63**	2.86	0.63	1.91 z
2	B1	0.3	5	3.03	0.9	0.82	0.82	0	Curb	6	3	0.19	0.19	5.23	1	15	122.684	0.82	972.15	975.5	2.73	0.012	11.56	972.53	975.85	975.85	0.38	0.35**	2.74	0.35	1.00 z
3	A3	0.03	5	3.03	0.9	0.08	0.05	0.03	Curb	6	3	0.05	0.05	1.02	1	24	82	2.51	972.1	972.75	0.79	0.012	21.82	972.56	973.3	973.3	0.46	0.55**	4.09	0.55	1.50 z
4	A4	0.07	5	3.03	0.9	0.19	0.09	0.1	Curb	6	3	0.07	0.07	1.44	3	18	44.262	2	973	973.75	1.69	0.012	14.81	973.37	974.28	974.28	0.37	0.53**	4.7	0.53	1.50 z
5	A5	0.7	5	3.03	0.9	1.91	1.91	0	Curb	6	7	0.21	0.21	4.85	4	18	55.603	1.91	974	974.25	0.45	0.012	7.63	974.51	974.77	974.77	0.51	0.52**	3.55	0.52	1.00 z
6	C1	0.3	5	3.03	0.9	0.82	0.82	0	Curb	6	3	0.18	0.18	4.49	3	12	218.155	0.82	973.25	975.43	1	0.012	3.86	973.56	975.81	975.81	0.31	0.38**	3.45	0.38	1.00 z
10-year Return Period																															
LineNo.	InletID	DrainageArea (ac)	InletTime (min)	Inlet (in/hr)	RunoffCoeff (C)	IncrQ (cfs)	QCaptured (cfs)	QBypass (cfs)	JunctType	ThroatHt (in)	StructLength (ft)	InletDepth (ft)	GutterDepth (ft)	GutterSpread (ft)	DnStrmLine No.	LineSize (in)	LineLength (ft)	FlowRate (cfs)	InvertDn (ft)	InvertUp (ft)	LineSlope (%)	n-valuePipe	CapacityFull (cfs)	HGLDn (ft)	HGLUp (ft)	HGLInct (ft)	DepthDn (ft)	DepthUp (ft)	VelAve (ft/s)	Hw (ft)	J-LossCoeff
1	A2	0.11	5	7.35	0.9	0.73	0.73	0	Curb	6	3	0.18	0.18	4.84	Outfall	24	53.908	9.2	970.25	971.9	3.06	0.012	42.87	971.31	972.98	972.98	1.06	1.08**	5.37	1.08	1.91 z
2	B1	0.3	5	7.35	0.9	1.98	1.98	0	Curb	6	3	0.31	0.31	9.46	1	15	122.684	1.98	972.15	975.5	2.73	0.012	11.56	972.98	976.06	976.06	0.83	0.56**	3	0.56	1.00 z
3	A3	0.03	5	7.35	0.9	0.2	0.09	0.11	Curb	6	3	0.07	0.07	1.42	1	24	82	6.86	972.1	972.75	0.79	0.012	21.82	972.98	973.68	973.68	0.88	0.93**	4.97	0.93	1.50 z
4	A4	0.07	5	7.35	0.9	0.46	0.14	0.32	Curb	6	3	0.1	0.1	3.78	3	18	44.262	5.02	973	973.75	1.69	0.012	14.81	973.68	974.61	974.61	0.68	0.86**	5.62	0.86	1.50 z
5	A5	0.7	5	7.35	0.9	4.63	4.63	0	Curb	6	7	0.37	0.37	8.76	4	18	55.603	4.63	974	974.25	0.45	0.012	7.63	974.84	975.09	975.41	0.84	0.84	4.52	1.16	1
6	C1	0.3	5	7.35	0.9	1.98	1.98	0	Curb	6	3	0.31	0.31	8.11	3	12	218.155	1.98	973.25	975.43	1	0.012	3.86	973.76	976.03	976.03	0.51	0.60**	4.49	0.6	1.00 z
100-year Return Period																															
LineNo.	InletID	DrainageArea (ac)	InletTime (min)	Inlet (in/hr)	RunoffCoeff (C)	IncrQ (cfs)	QCaptured (cfs)	QBypass (cfs)	JunctType	ThroatHt (in)	StructLength (ft)	InletDepth (ft)	GutterDepth (ft)	GutterSpread (ft)	DnStrmLine No.	LineSize (in)	LineLength (ft)	FlowRate (cfs)	InvertDn (ft)	InvertUp (ft)	LineSlope (%)	n-valuePipe	CapacityFull (cfs)	HGLDn (ft)	HGLUp (ft)	HGLInct (ft)	DepthDn (ft)	DepthUp (ft)	VelAve (ft/s)	Hw (ft)	J-LossCoeff
1	A2	0.11	5	12.89	0.9	1.28	1.28	0	Curb	6	3	0.24	0.24	7.05	Outfall	24	53.908	16.73	970.25	971.9	3.06	0.012	42.87	971.31	973.37	973.37	1.06	1.47**	8.32	1.47	1.91 z
2	B1	0.3	5	12.89	0.9	3.48	3.48	0	Curb	6	3	0.44	0.44	13.76	1	15	122.684	3.48	972.15	975.5	2.73	0.012	11.56	973.37	976.25	976.25	1.22	0.75**	3.68	0.75	1.00 z
3	A3	0.03	5	12.89	0.9	0.35	0.12	0.23	Curb	6	3	0.09	0.09	2.72	1	24	82	12.35	972.1	972.75	0.79	0.012	21.82	973.37	974.01	974.01	1.27	1.26**	5.88	1.26	1.50 z
4	A4	0.07	5	12.89	0.9	0.81	0.19	0.62	Curb	6	3	0.11	0.11	5.48	3	18	44.262	8.86	973	973.75	1.69	0.012	14.81	974.01	974.9	974.9	1.01	1.15**	6.54	1.15	1.50 z
5	A5	0.7	5	12.89	0.9	8.12	8.12	0	Curb	6	7	0.52	0.52	12.74	4	18	55.603	8.12	974	974.25	0.45	0.012	7.63	975.35	975.6	975.96	1.35	1.35	4.86	1.71	1
6	C1	0.3	5	12.89	0.9	3.48	3.48	0	Curb	6	3	0.44	0.44	11.8	3	12	218.155	3.48	973.25	975.43	1	0.012	3.86	974.01	976.23	976.23	0.76	0.80**	5.3	0.8	1.00 z

NO.	DATE	REVISION
1	6/16/23	Per City Comments

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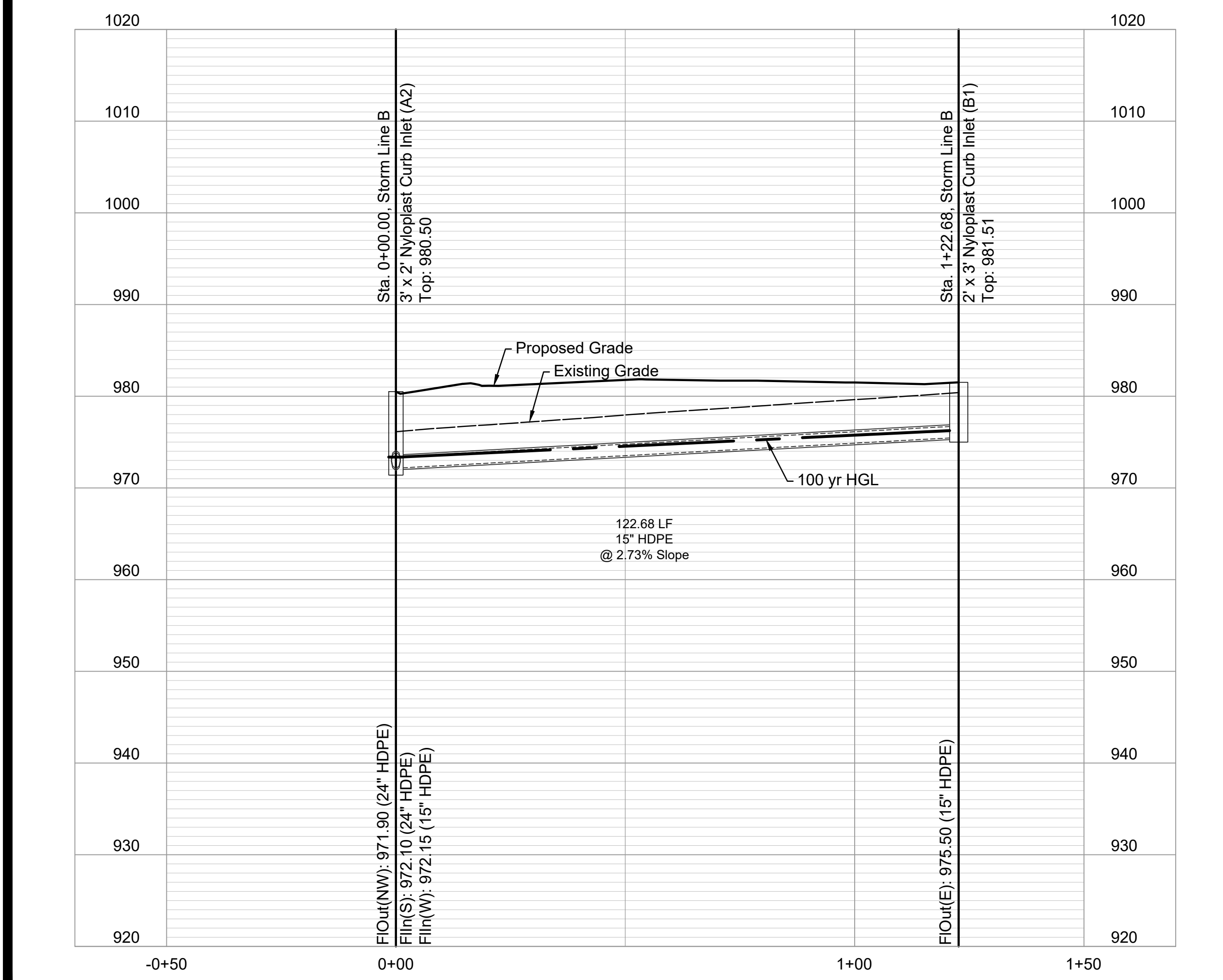
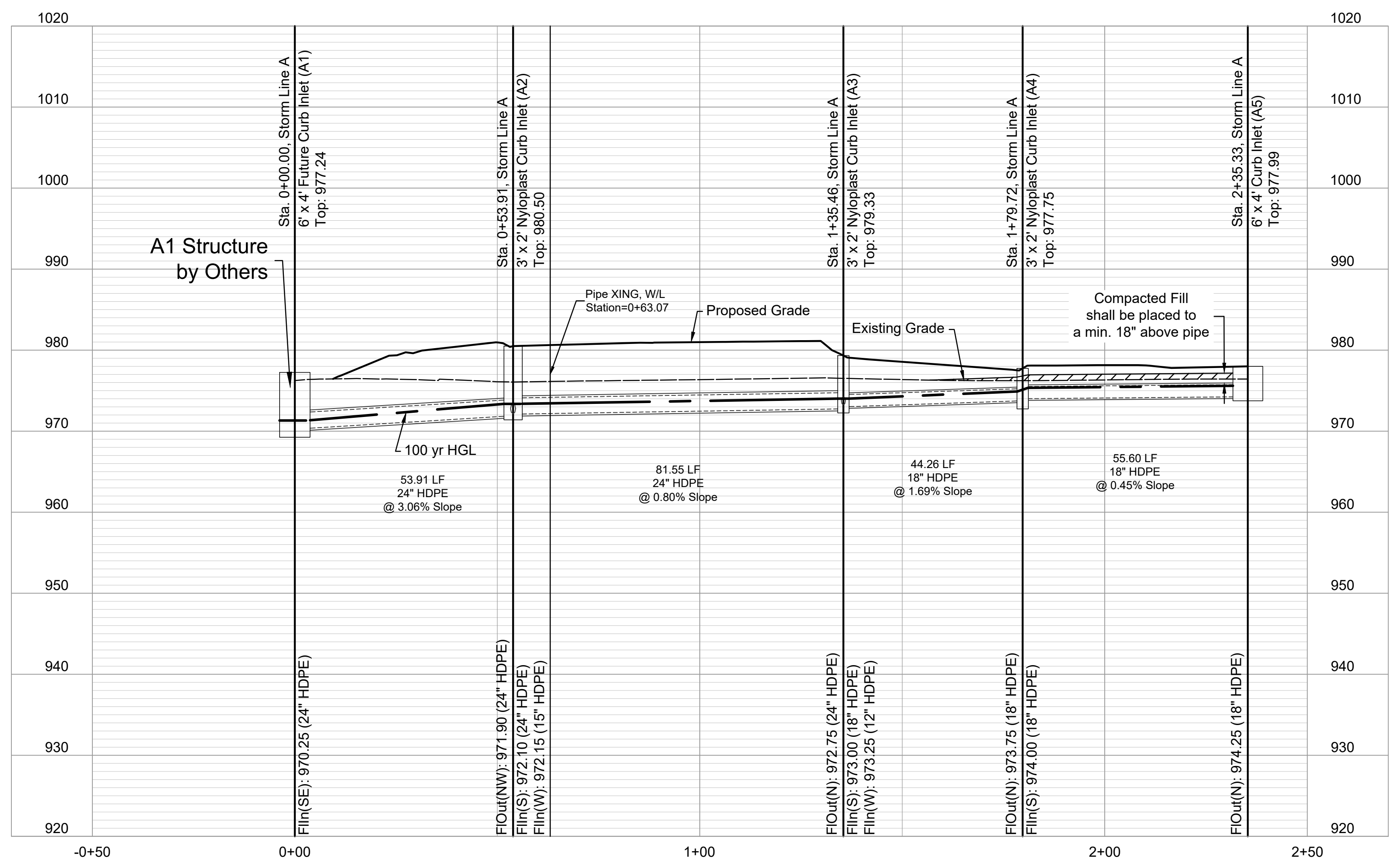
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 Kansas City, Missouri 64108
 816-800-0950
 www.ri-consult.com
 MO Certificate of Authority: E-2011003890





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Compacted Fill - Compacted Fill to be placed a minimum 18" above the top of pipe prior to installation



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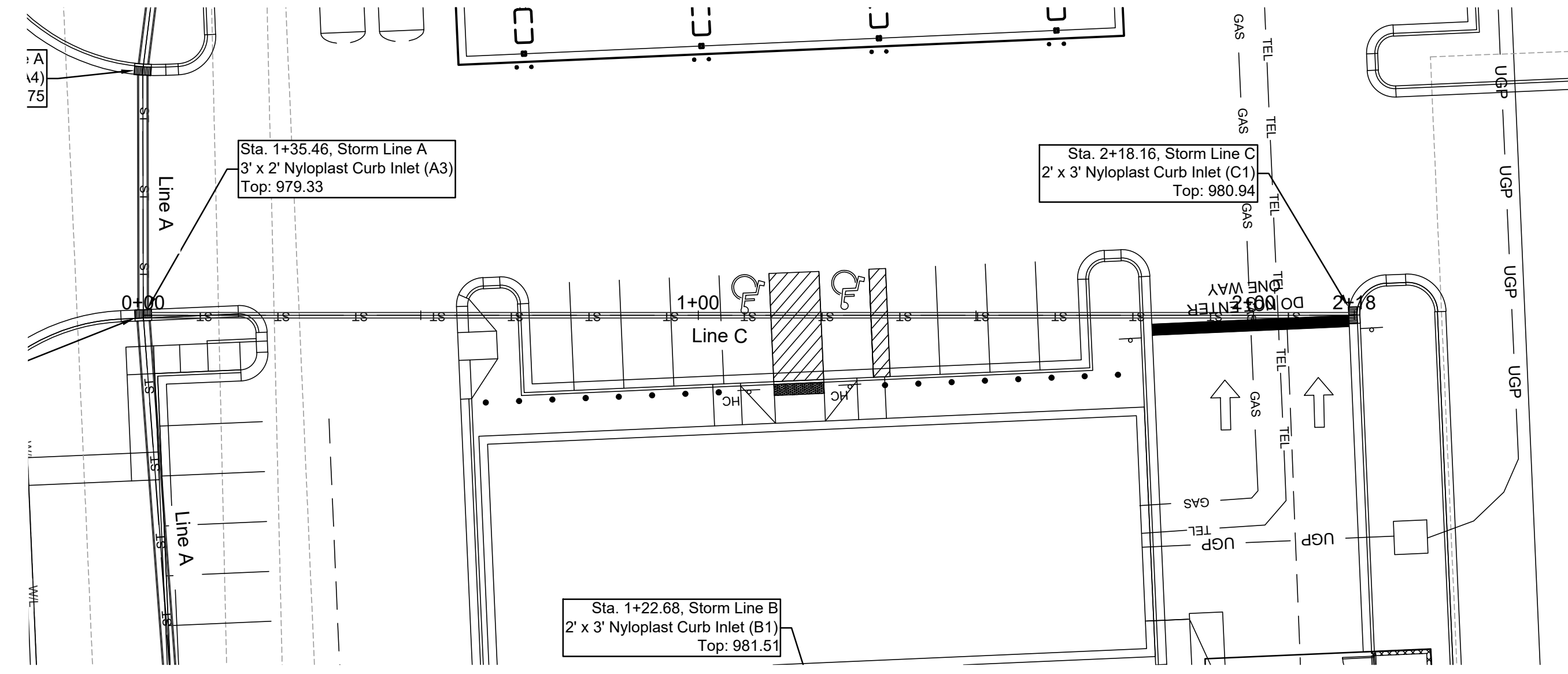
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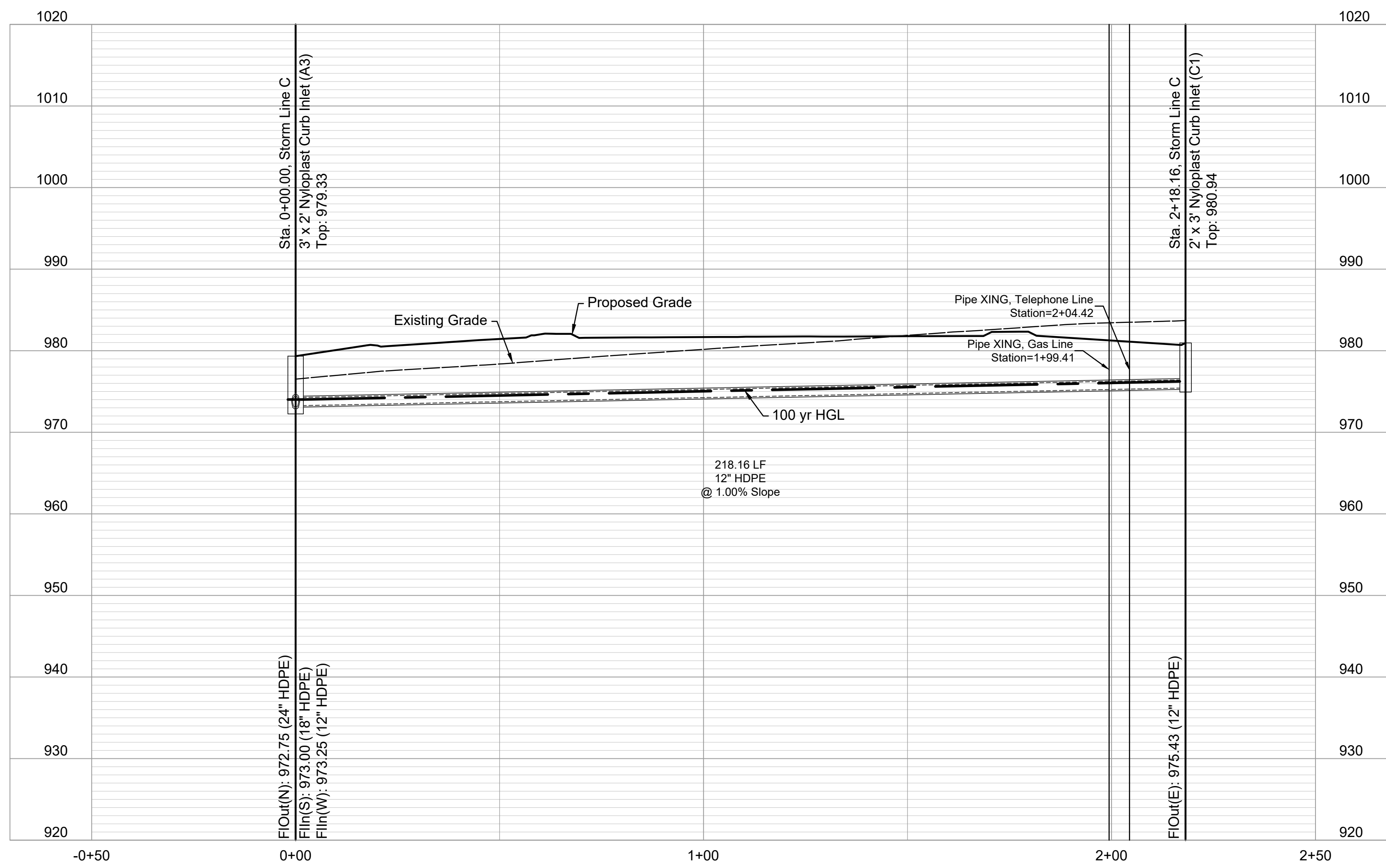
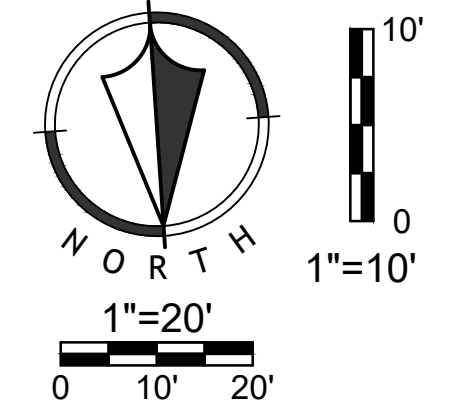


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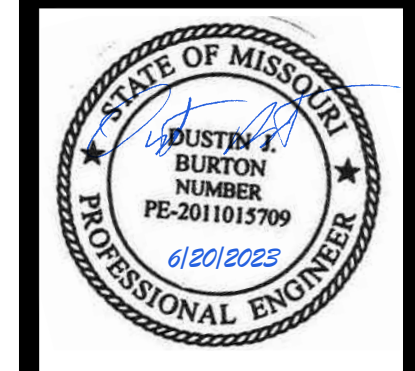
Final Development Plans
 22-0133
 Heartland Market
 Lee's Summit, Jackson County, Missouri

Storm P&P 2

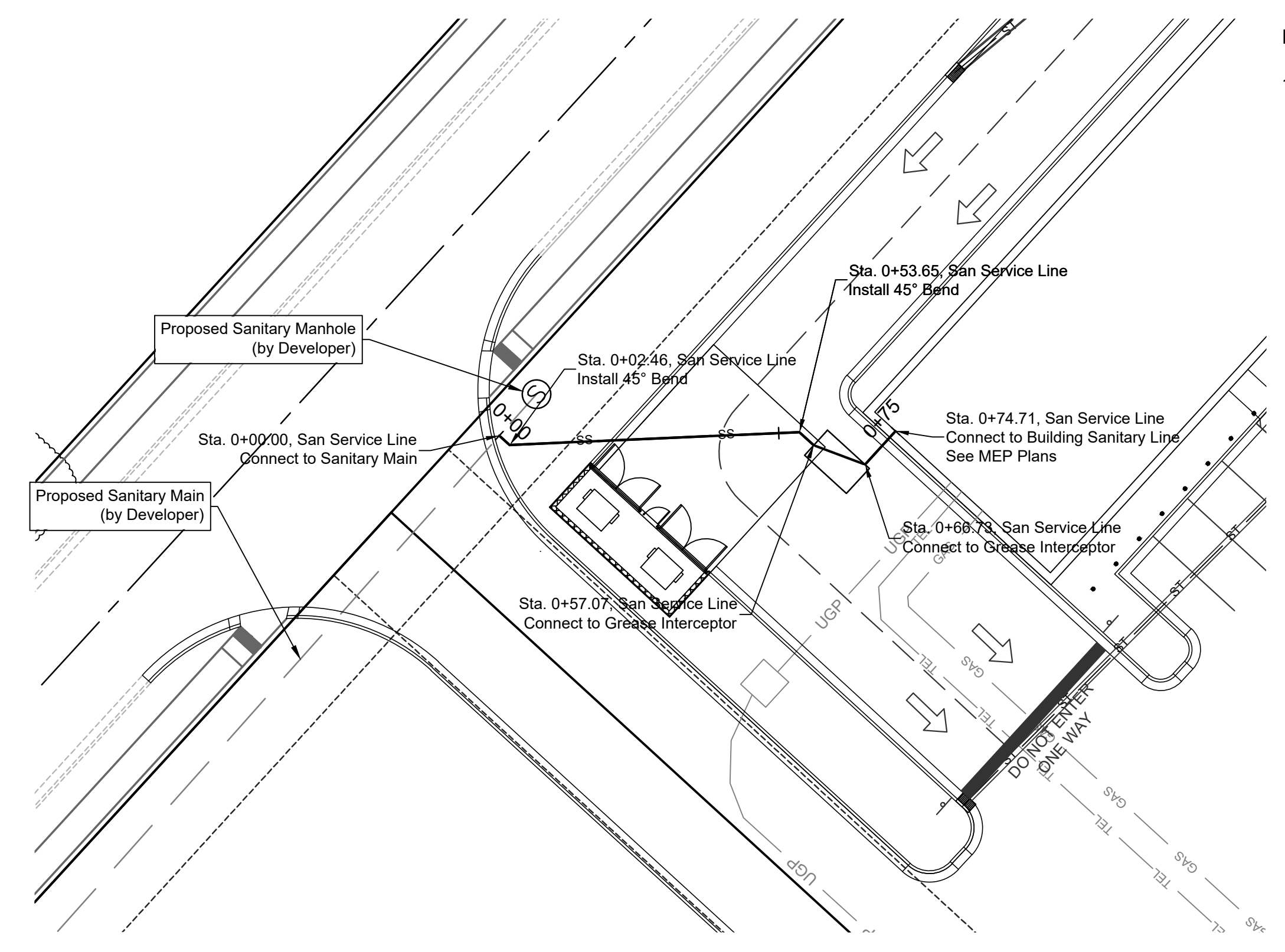
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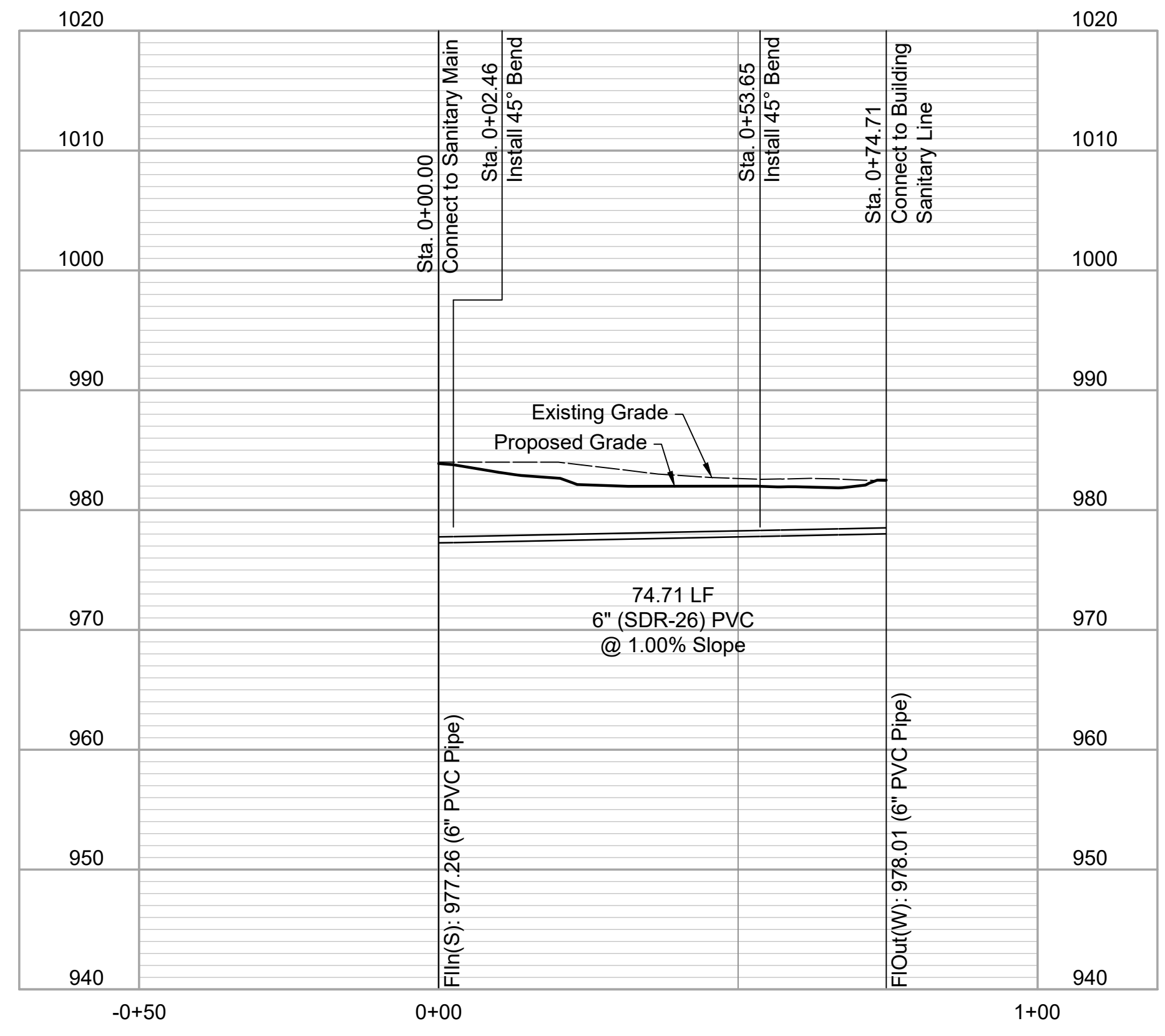
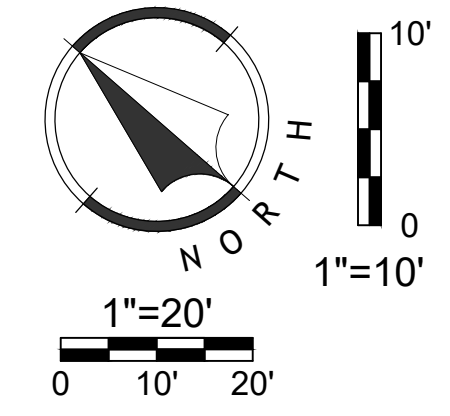
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Sheet
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Notes:
1. Contractor shall refer to the MEP plan for all connections at the building as well as actual locations for tie to private main.



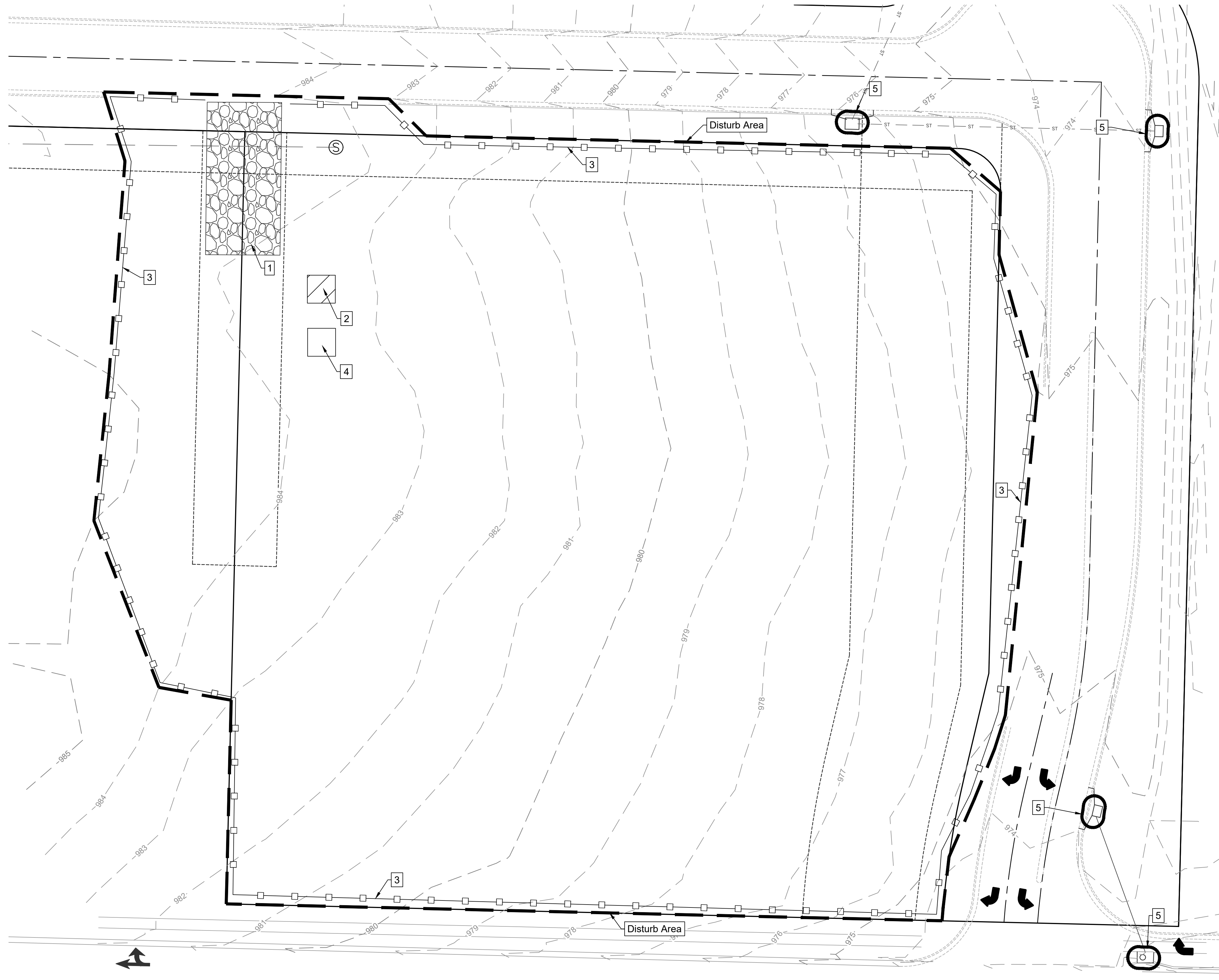
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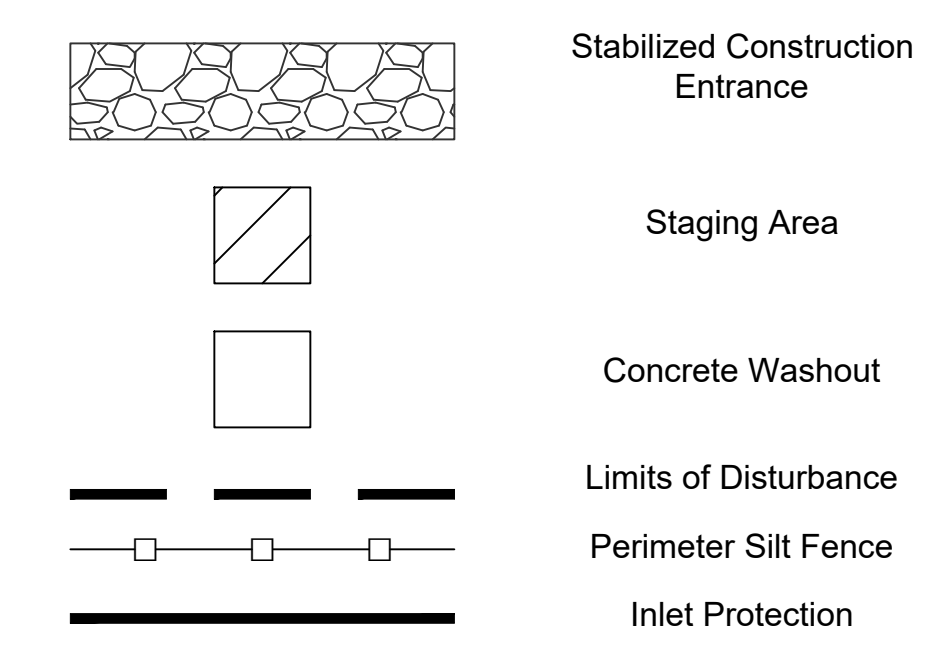
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EROSION CONTROL LEGEND



EROSION CONTROL NOTES

- All work in public easements and right-of-way and all erosion control work must comply with the latest specifications set forth by the City of Lee's Summit, MO, the Kansas City Chapter of American Public Works Association (APWA). If any of the specification and/or general notes conflict with the requirements provided by the City of Lee's Summit, the City of Lee's Summit's standards shall override.
- The contractor shall provide all materials, tools, equipment, and labor as necessary to install and maintain adequate erosion control, keep the streets clean of mud and debris, and prevent soil from leaving the project site. The contractor's erosion control measures shall conform to the City of Lee's Summit, MO, the Kansas City Chapter of American Public Works Association (APWA), Standards and Specifications.
- Erosion control plan modifications shall be required if the plan fails to substantially control erosion and offsite sedimentation.
- The contractor shall be responsible for maintaining erosion control devices and removing sediment until a minimum of 70% of permanent vegetation has become stabilized and established. Erosion control devices shall remain in place until the 70% established vegetation is met, or the duration of the project, whichever is the later date.
- The contractor shall temporarily seed and mulch all disturbed areas if there is to be no construction activity on them for a period of fourteen (14) calendar days.
- Install "J" Hooks on silt fence every 100 LF
- Contractor to install all Phase I erosion control devices prior to construction.
- Contractor shall replace disturbed area with seed or sod, as indicated on the plans, and shall be installed within 14 days after paving completion and final topsoil grading.
- Topsoil replacement shall be 6" thick.
- Silt fence to be installed in accordance with the City of Lee's Summit, MO.
- Contractor shall remove mud and debris from City Streets and Outer Roadway within 4 hours of notification by City staff that it is a nuisance.

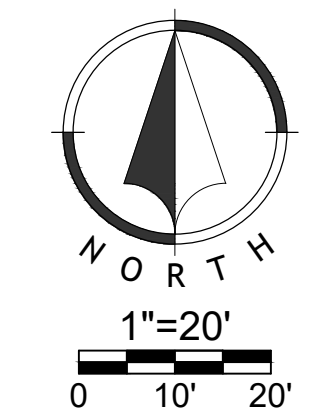
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 09/25/2023

WRITTEN SEQUENCING

- Implement Pre-Construction Plan:**
All temporary structural BMP's shown on the BMP plan must be in place before any site disturbance. Clearing necessary to place temporary structural BMP's is the minimum required for installation. Coordinate clearing necessary to place temporary structural BMP's with local weather forecast so that clearing and placement may be completed within a forecast dry period. Stabilize all erosion control measures after installation. Temporary Barrier Fence shall be in Place, around areas not to be disturbed, prior to any construction activities. This area includes Stream Corridor.
- Clear and Stabilize Work Areas:**
Grade contractor areas and place all-weather surface on contractor areas.
- Clearing and Grubbing:**
After Phase I BMP's are installed, contractor may clear, grub, and demo required areas as necessary.

	PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES
Phase I	A-Prior to Construction	1	Construction Entrance	II	Install Construction Entrance in accordance with APWA Standard Detail ESC-01
		2	Staging Area	II	Install Staging Area
		3	Perimeter Silt Fence	III	Install Silt Fence in accordance with APWA Standard Detail ESC-03
		4	Concrete Washout	II	Install Concrete Washout as Shown on Plans Prior to Pouring Any Concrete in accordance with APWA Standard Detail ESC-01
		5	Inlet Protection	III	Install Filter Bags Prior to Construction, Maintain Until All Area is Stabilized.
Phase II	B-During Land Disturbance and Storm Infrastructure Installation	6	Inlet Protection	III	Install Filter Bags Prior to Construction, Maintain Until All Area is Stabilized.
Phase III	C-Final Stabilization	7	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Area. Stabilization Complete when 100% of Disturbed Area is Established with Perennial Vegetation with a Density of 70%

Disturbed Area for Site Improvements : 1.95 Acres



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1	6/16/23	Per City Comments

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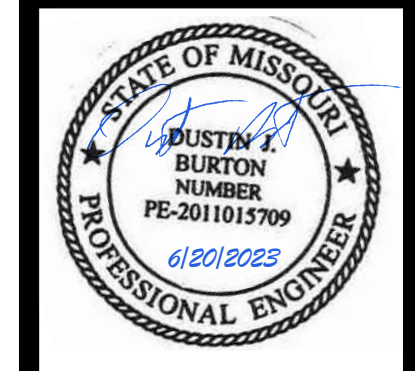
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 Kansas City, Missouri 64108
 816.800.0950
 www.RICCONSULT.COM
 E-2010033630
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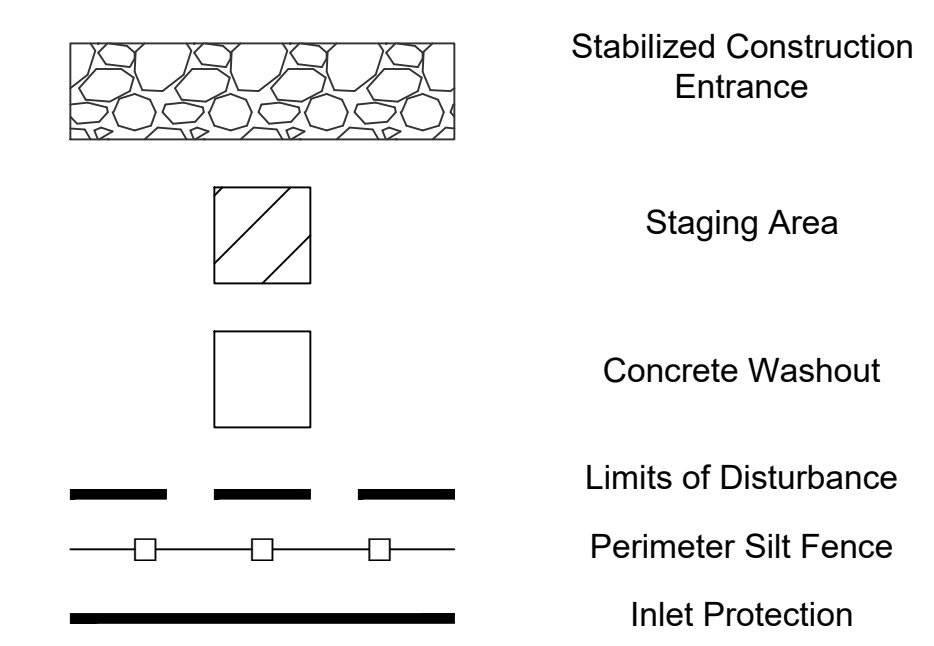
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EROSION CONTROL LEGEND



EROSION CONTROL NOTES

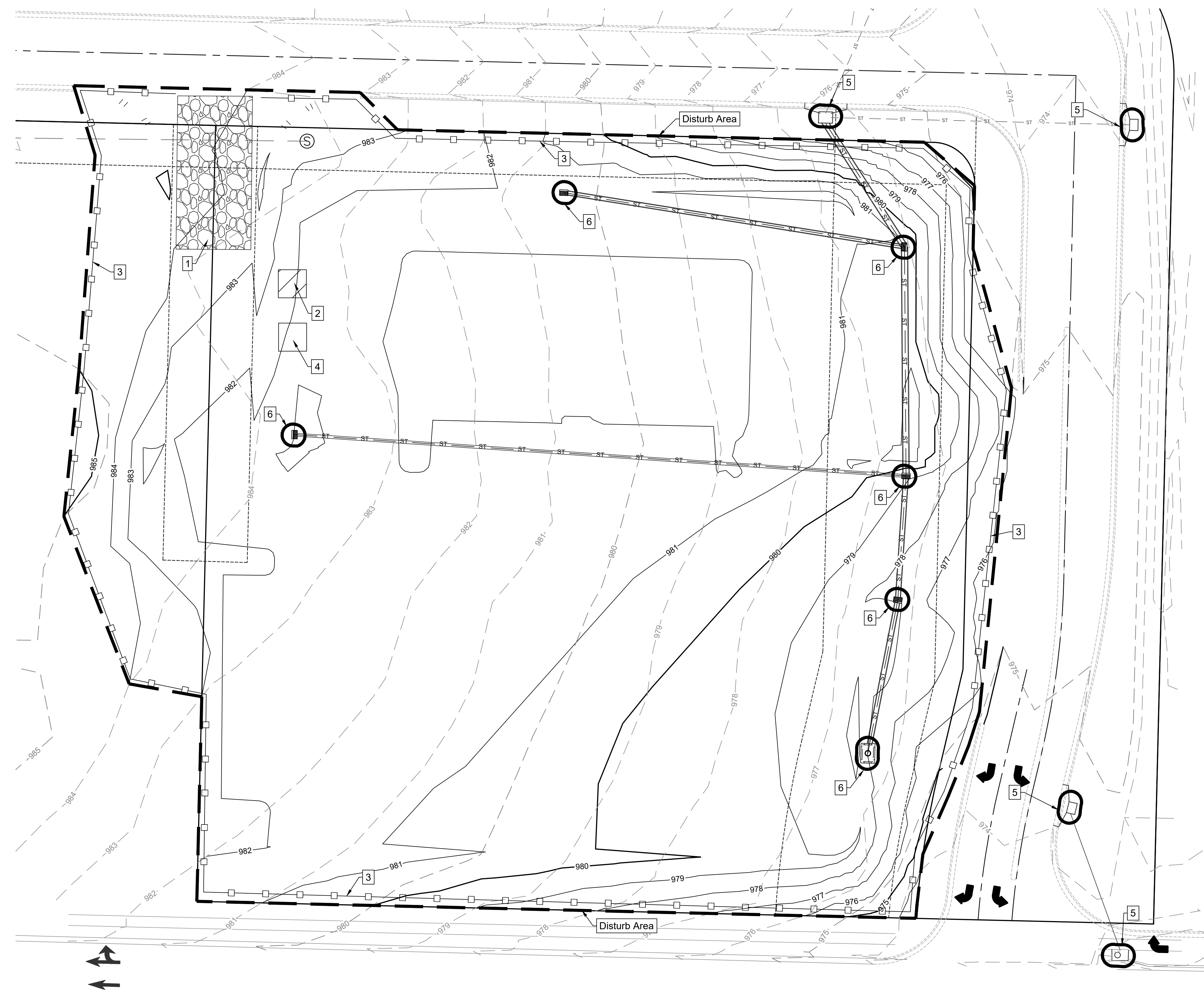
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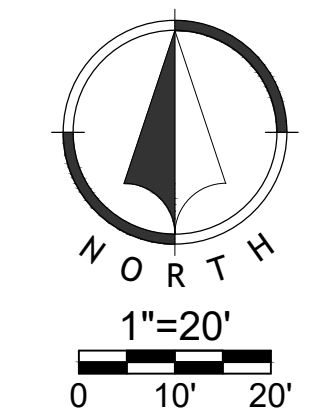
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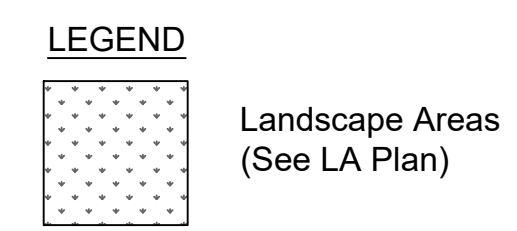
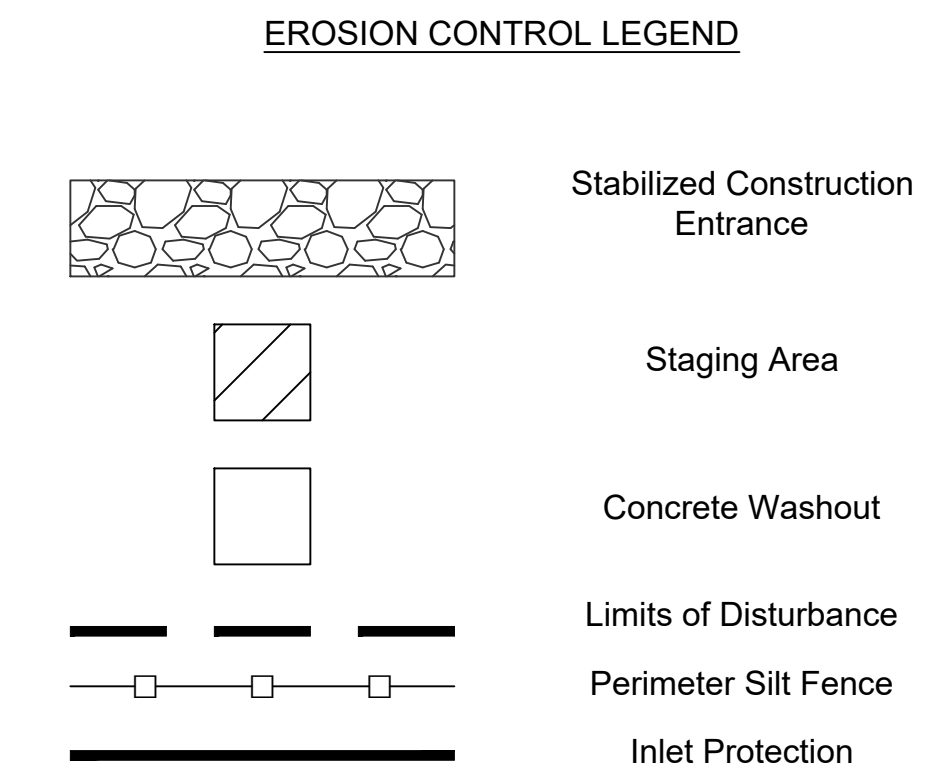
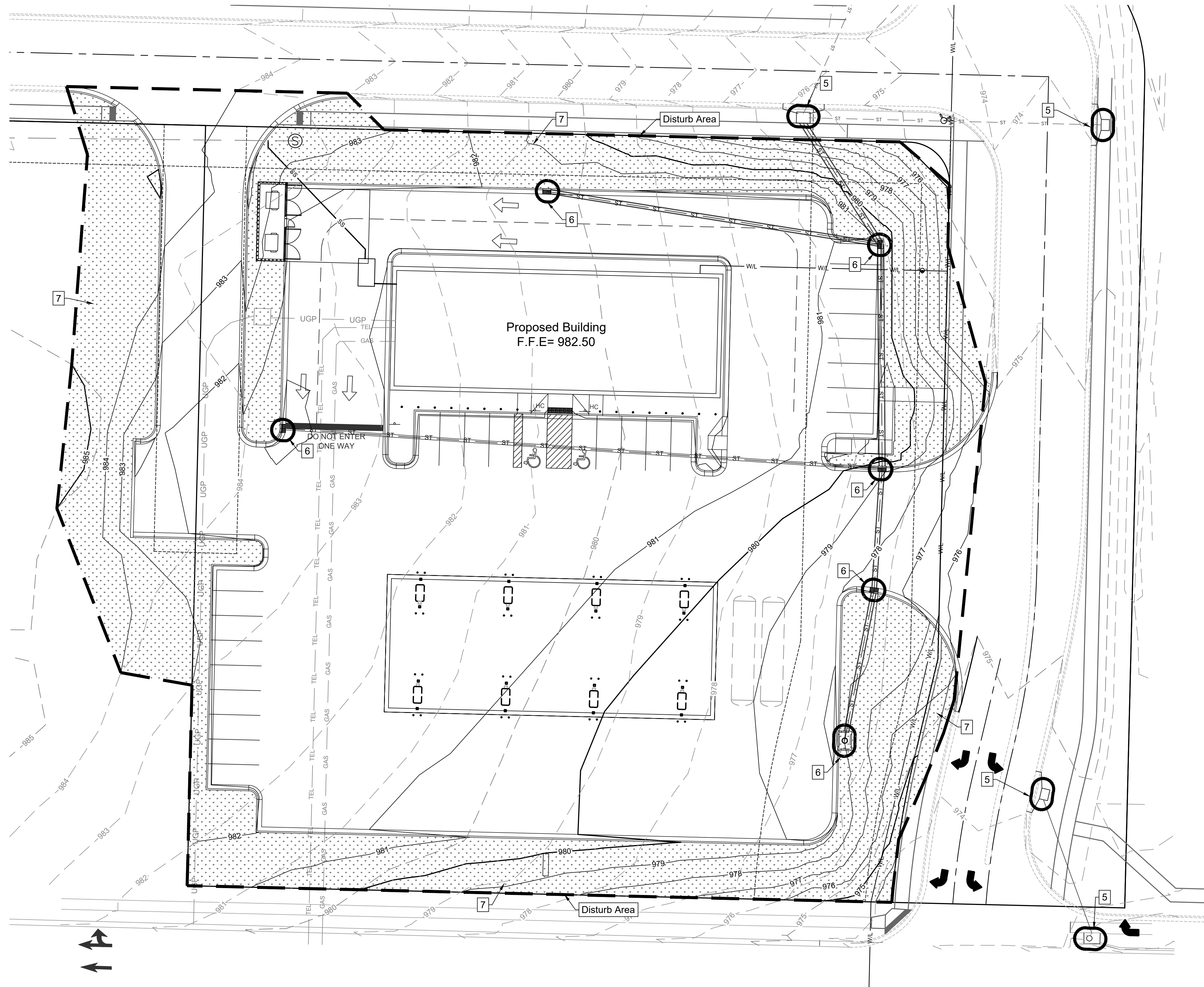
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Lee's Summit, Missouri
09/25/2023



PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES
Phase I A-Prior to Construction	1	Construction Entrance	II	Install Construction Entrance in accordance with APWA Standard Detail ESC-01
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Phase III C-Final Stabilization	7	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Area. Stabilization Complete when 100% of Disturbed Area is Established with Perennial Vegetation with a Density of 70%

Disturbed Area for Site Improvements : 1.95 Acres



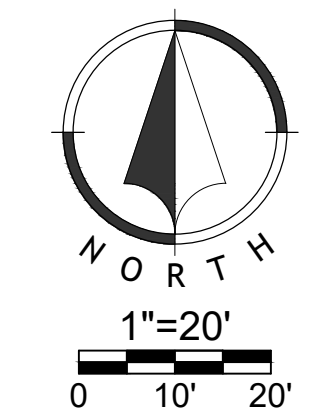


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Disturbed Area for Site Improvements : 1.95 Acres



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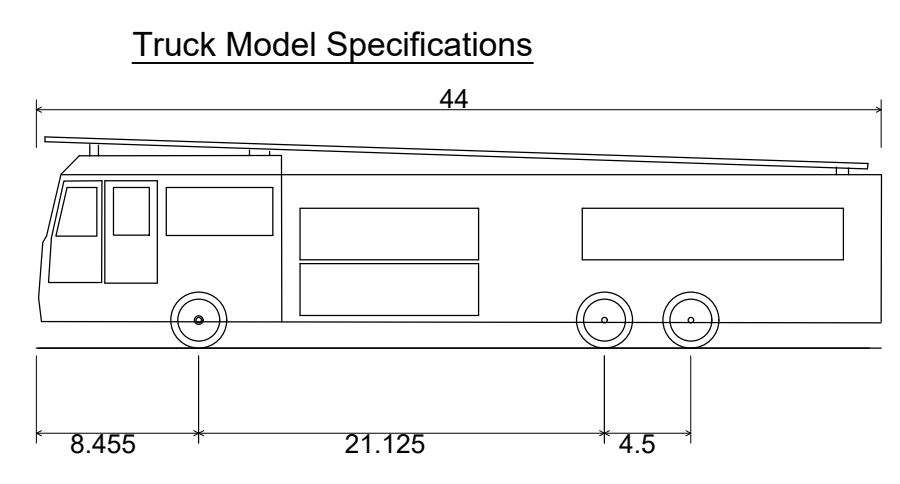
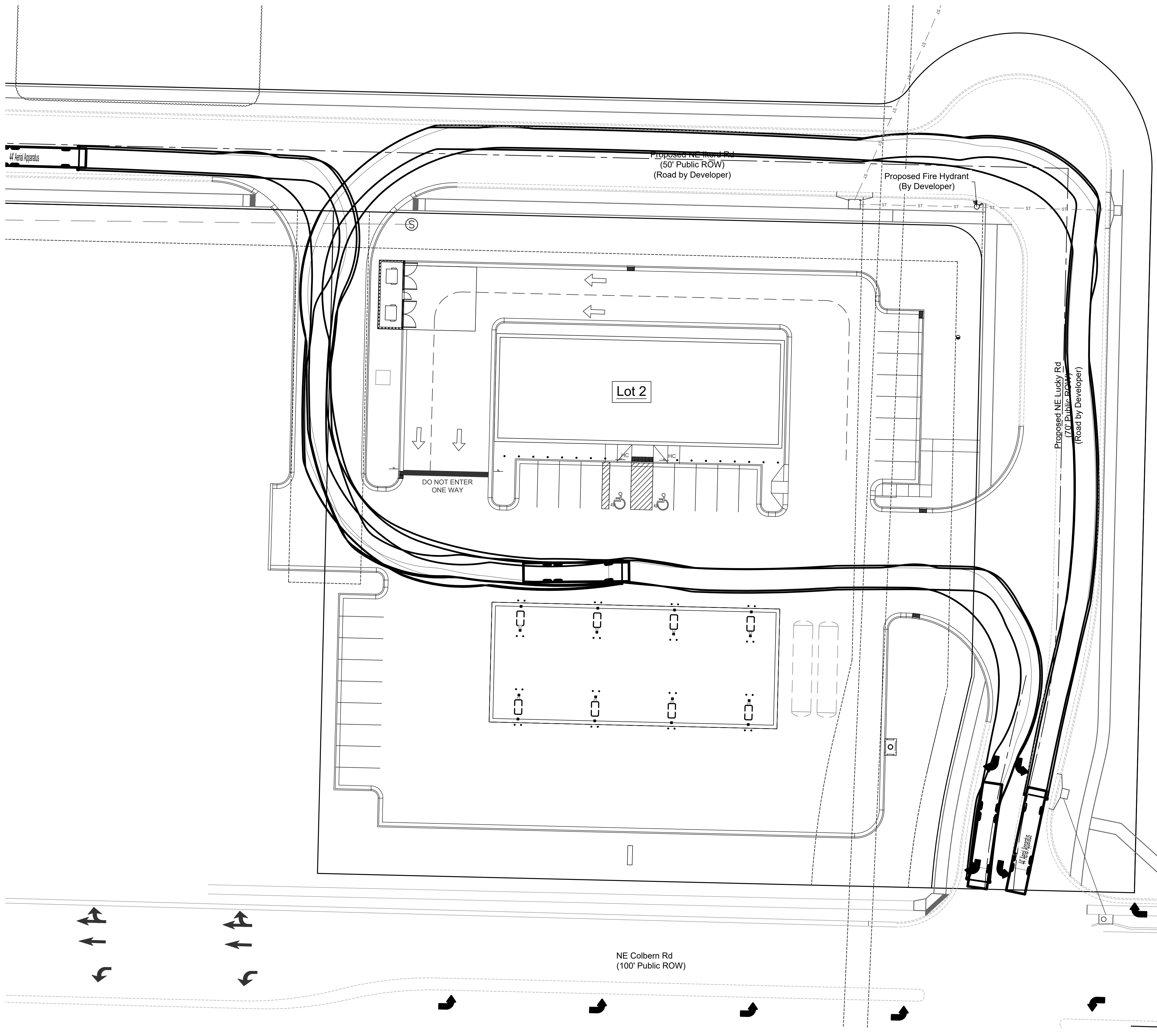
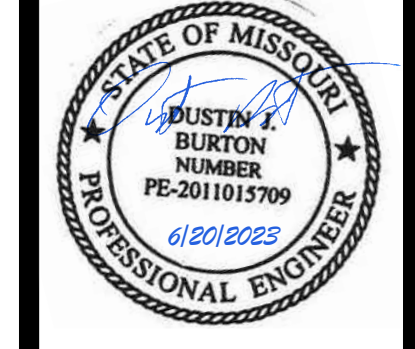


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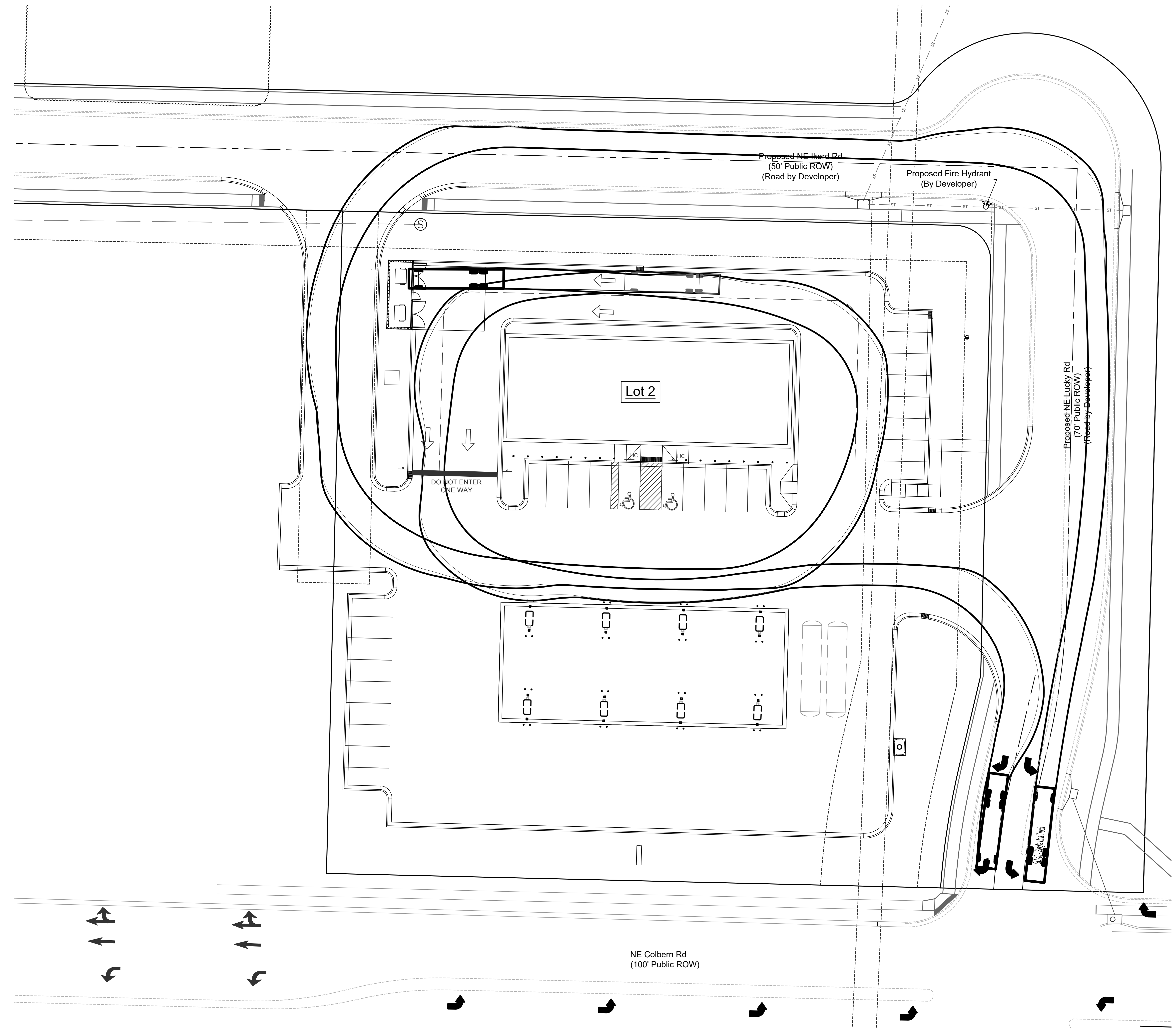
- 44' Aerial Apparatus
- Overall Length 44.000ft
- Overall Width 8.000ft
- Overall Body Height 11.000 ft
- Min Body Ground Clearance 1.400ft
- Track Width 8.000ft
- Lock-to-lock time 4.00s
- Max Wheel Angle 45.00°

FT Scale
1" = 10'

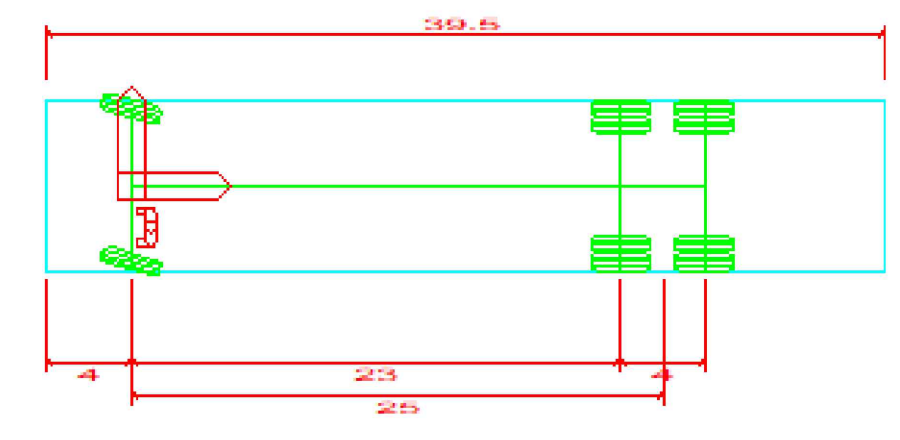


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SU-40 - Single Unit Truck
 Overall Length 39.500ft
 Overall Width 8.000ft
 Overall Body Height 13.500ft
 Min Body Ground Clearance 1.367ft
 Track Width 8.000ft
 Lock-to-lock time 5.00s
 Max Steering Angle (Virtual) 31.80°



Final Development Plans
 22-0133
 Heartland Market
 Lee's Summit, Jackson County, Missouri

Trash Truck Turning Plan

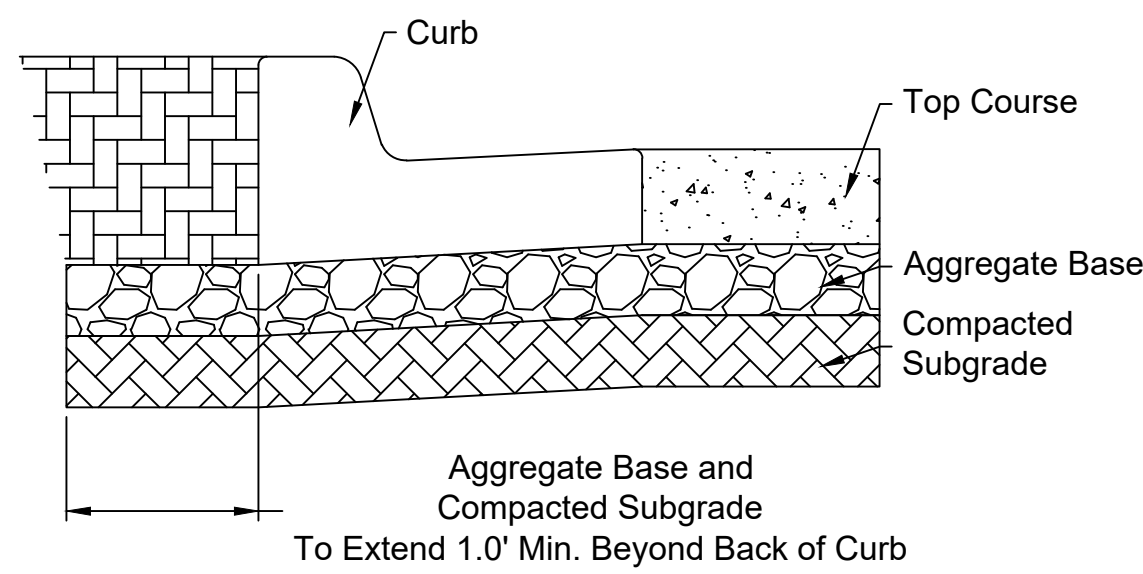
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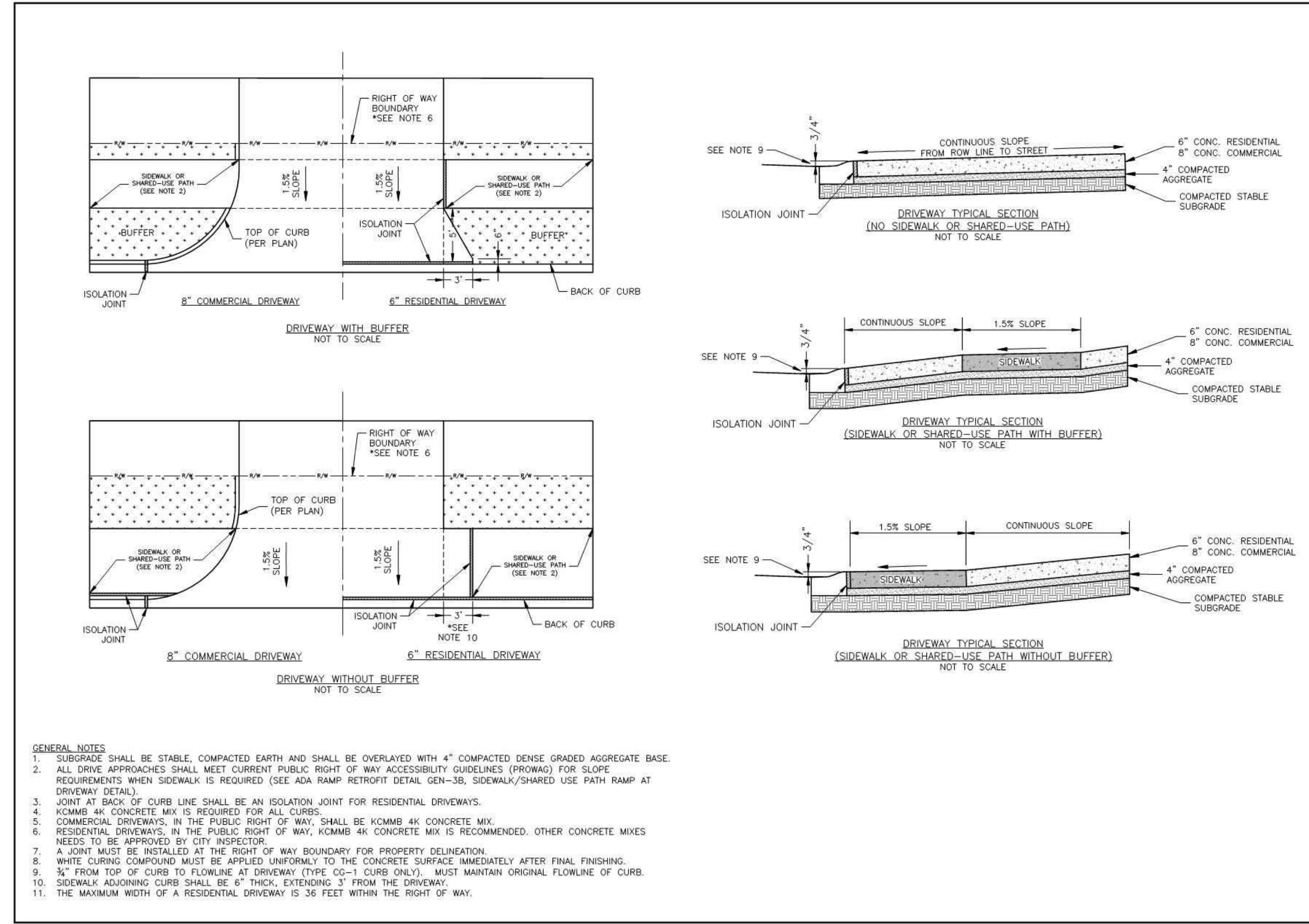
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Sheet
 C17



Aggregate Base Extension Detail
Not to Scale



- GENERAL NOTES**
- SUBGRADE SHALL BE STABLE, COMPACTED EARTH AND SHALL BE OVERLAPPED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
 - ALL DRIVE APPROACHES SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG) FOR SLOPE REQUIREMENTS WHEN SIDEWALK IS REQUIRED (SEE ADA RAMP RETROFIT DETAIL GEN-38, SIDEWALK/SHARED USE PATH RAMP AT DRIVEWAY DETAIL).
 - JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
 - KCMBB 4K CONCRETE MIX IS REQUIRED FOR ALL CURBS.
 - COMMERCIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, SHALL BE KCMBB 4K CONCRETE MIX.
 - RESIDENTIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, KCMBB 4K CONCRETE MIX IS RECOMMENDED. OTHER CONCRETE MIXES NEEDS TO BE APPROVED BY CITY INSPECTOR.
 - A JOINT MUST BE INSTALLED AT THE RIGHT OF WAY BOUNDARY FOR PROPERTY DELINEATION.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
 - 3/4" FROM TOP OF CURB TO FLOWLINE AT DRIVEWAY (TYPE CG-1 CURB ONLY), MUST MAINTAIN ORIGINAL FLOWLINE OF CURB.
 - SIDEWALK ADJOINING CURB SHALL BE 6" THICK, EXTENDING 3' FROM THE DRIVEWAY.
 - THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY IS 36 FEET WITHIN THE RIGHT OF WAY.

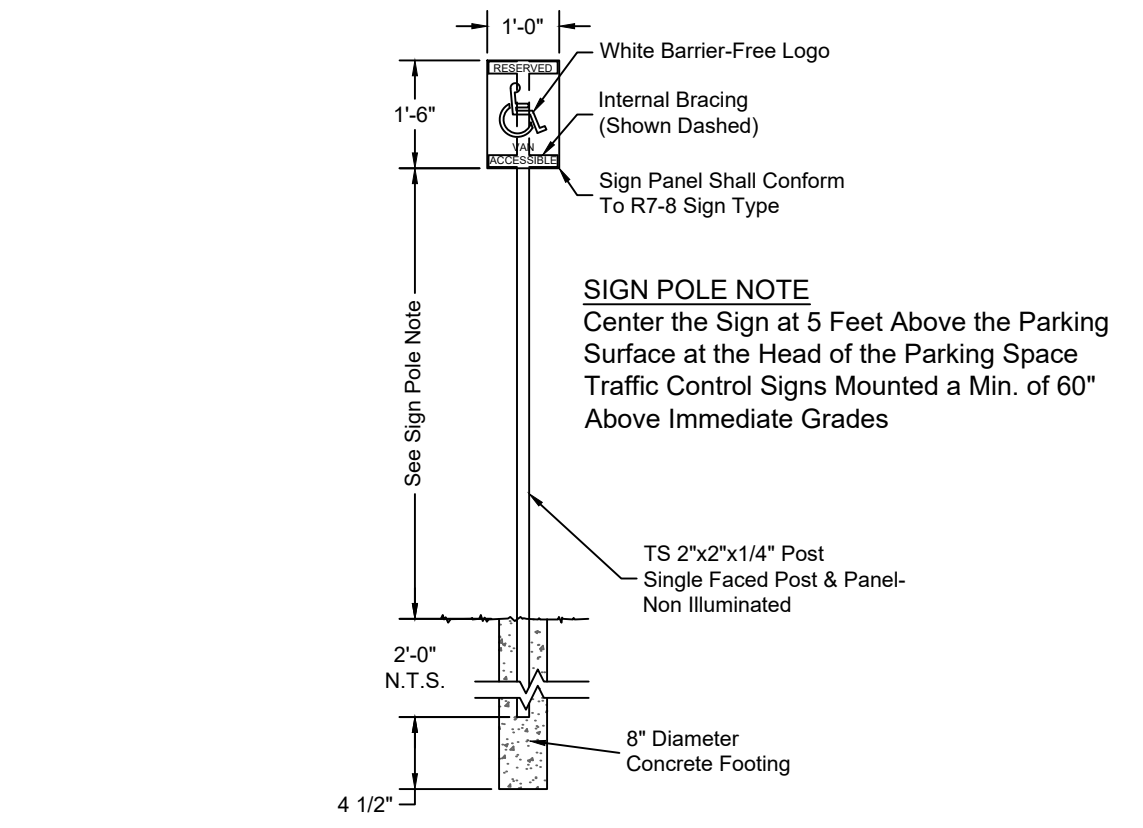
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PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

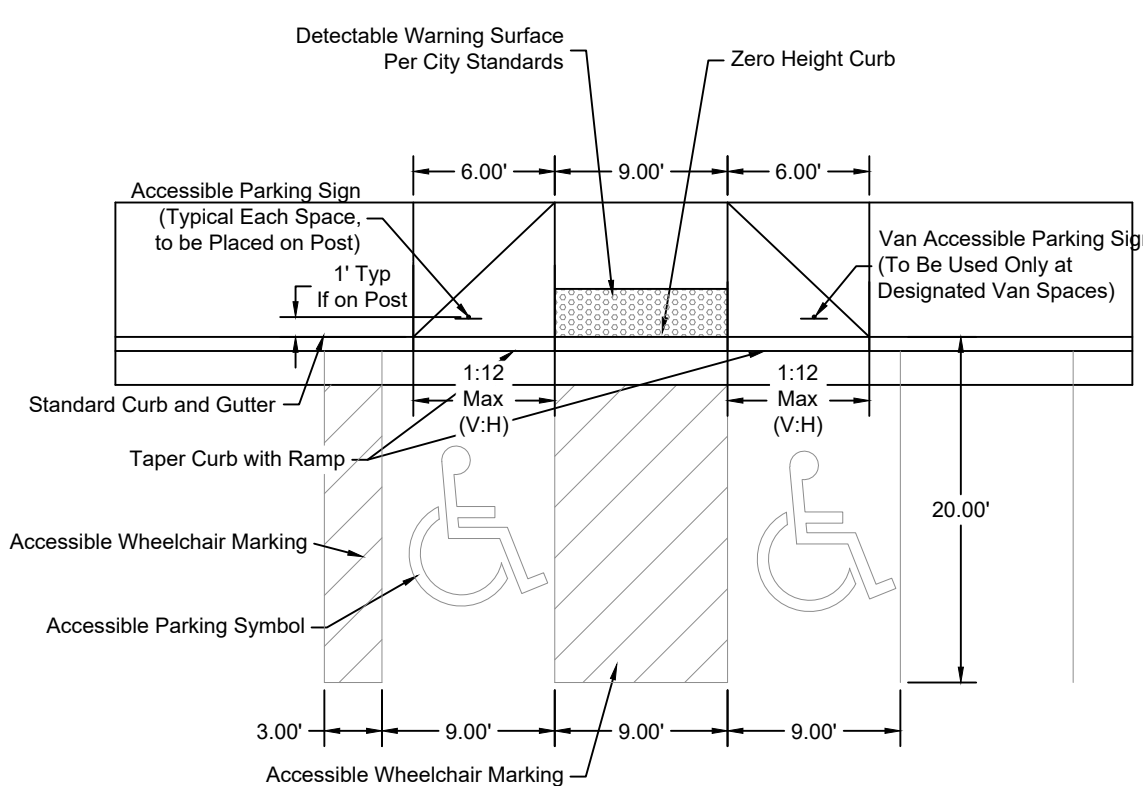
PROJECT: DRIVEWAY DETAIL

Drawn By: MJF
Checked By: DL
Date: 06/27
Scale:

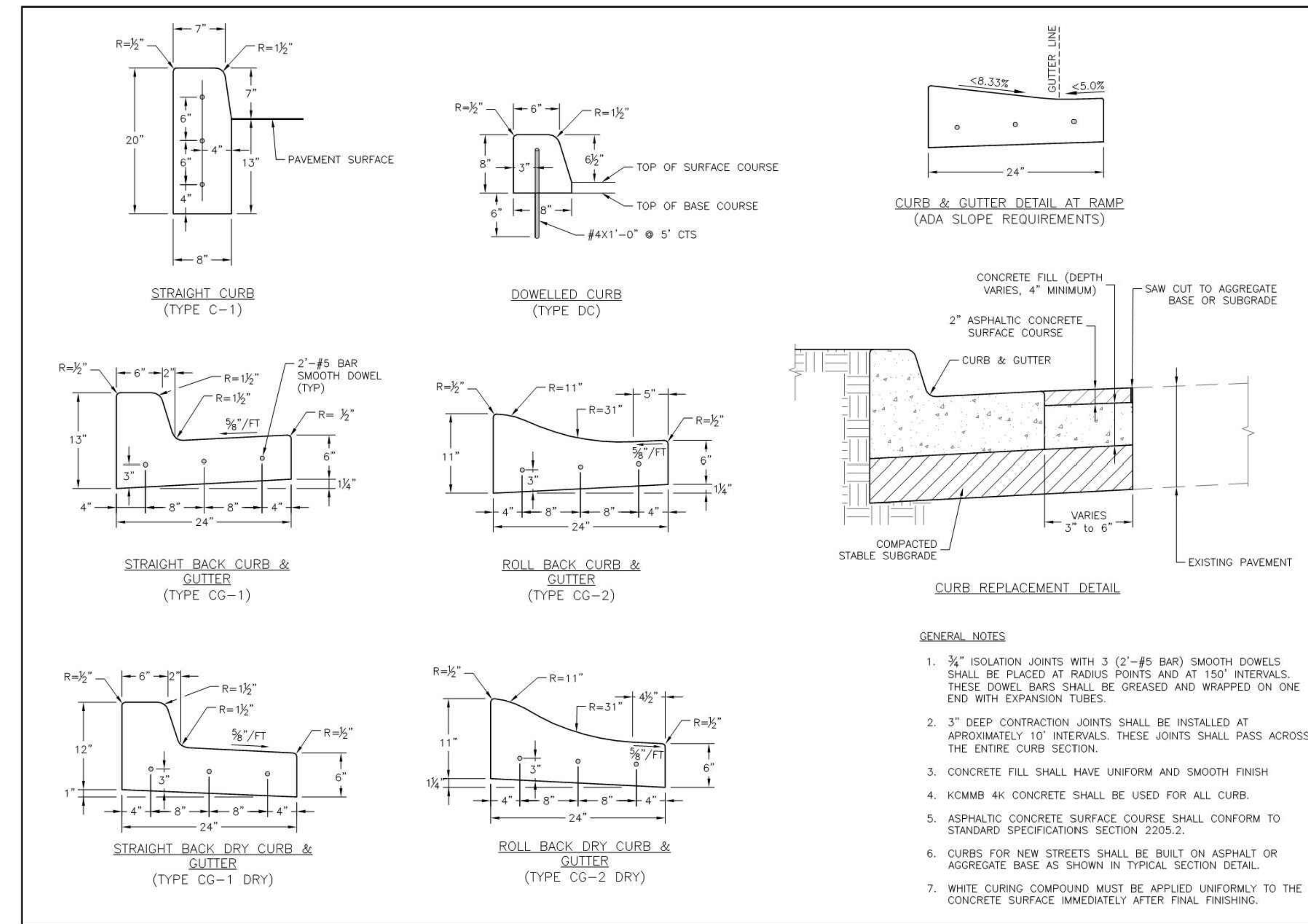
GEN-1



HANDICAP SIGNAGE
Not to Scale



ACCESSIBLE PARKING DETAIL (90°)
Not to Scale



- GENERAL NOTES**
- 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
 - 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
 - CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH
 - KCMBB 4K CONCRETE SHALL BE USED FOR ALL CURB.
 - ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
 - CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

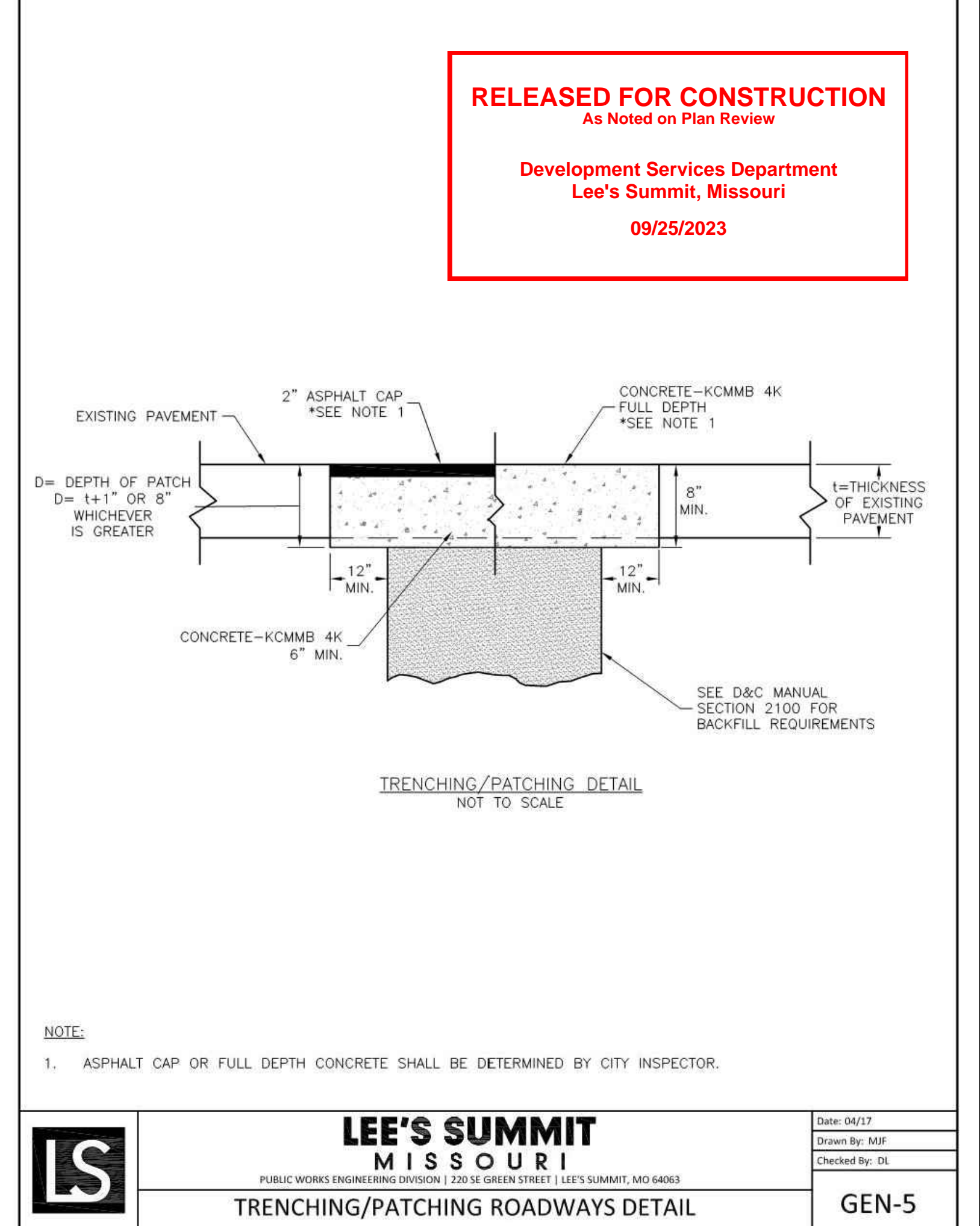
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STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

PROJECT: CURB & GUTTER DETAIL

Drawn By: MJF
Checked By: DL
Date: 06/27
Scale:

GEN-4



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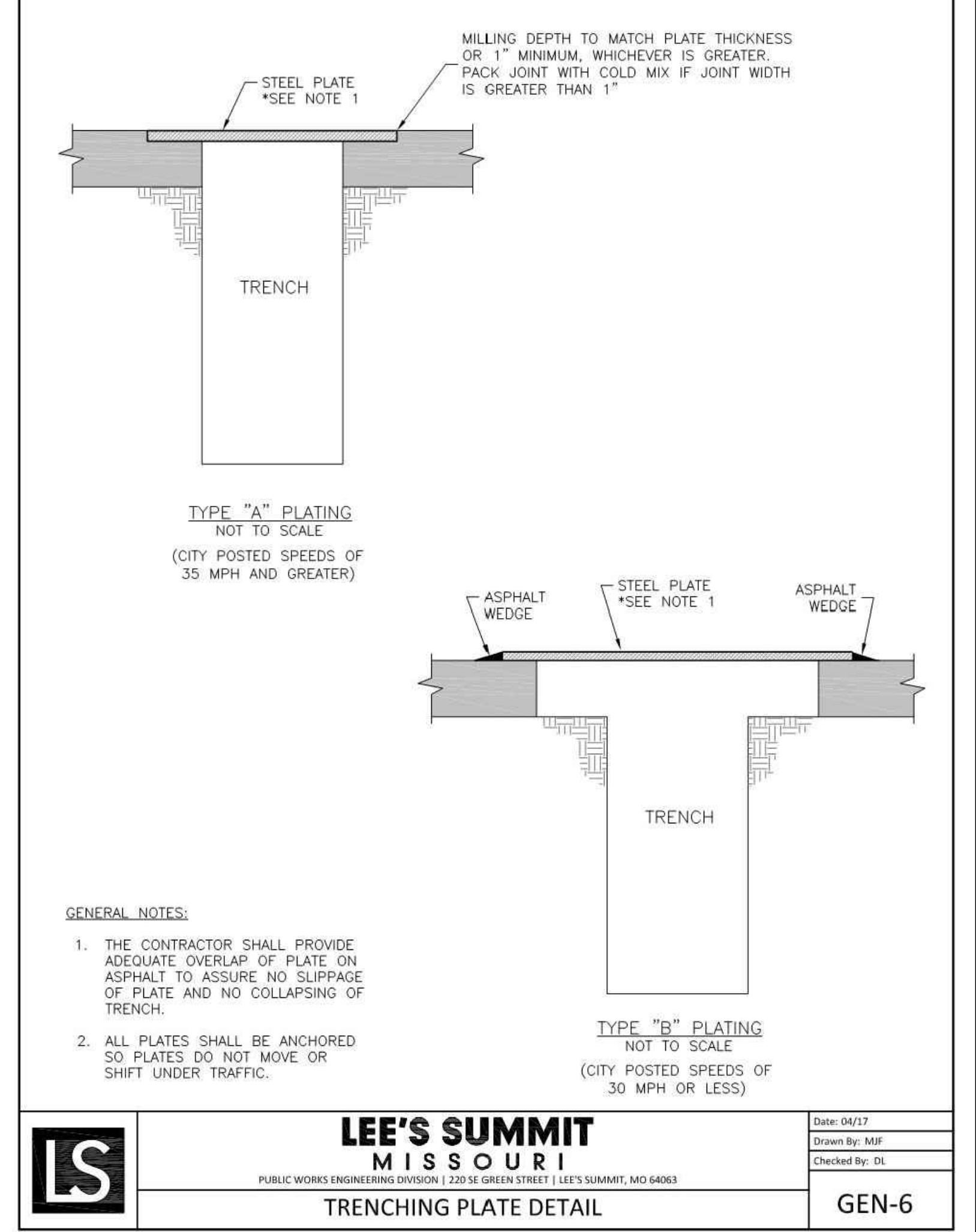
Development Services Department
Lee's Summit, Missouri
09/25/2023

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TRENCHING/PATCHING ROADWAYS DETAIL

Date: 04/17
Drawn By: MJF
Checked By: DL

GEN-5



- GENERAL NOTES:**
- THE CONTRACTOR SHALL PROVIDE ADEQUATE OVERLAP OF PLATE ON ASPHALT TO ASSURE NO SLIPPAGE OF PLATE AND NO COLLAPSING OF TRENCH.
 - ALL PLATES SHALL BE ANCHORED SO PLATES DO NOT MOVE OR SHIFT UNDER TRAFFIC.

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TRENCHING PLATE DETAIL

Date: 04/17
Drawn By: MJF
Checked By: DL

GEN-6

aschwartz
 Jun 20, 2023 - 1:13 pm
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Final Development Plans
22-0133
Heartland Market
Lee's Summit, Jackson County, Missouri

Typical Details - General 1

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400 E 17th Street
Kansas City, Missouri 64108
www.ri-c.com
816.800.0950
www.ri-c.com
E-2010033630

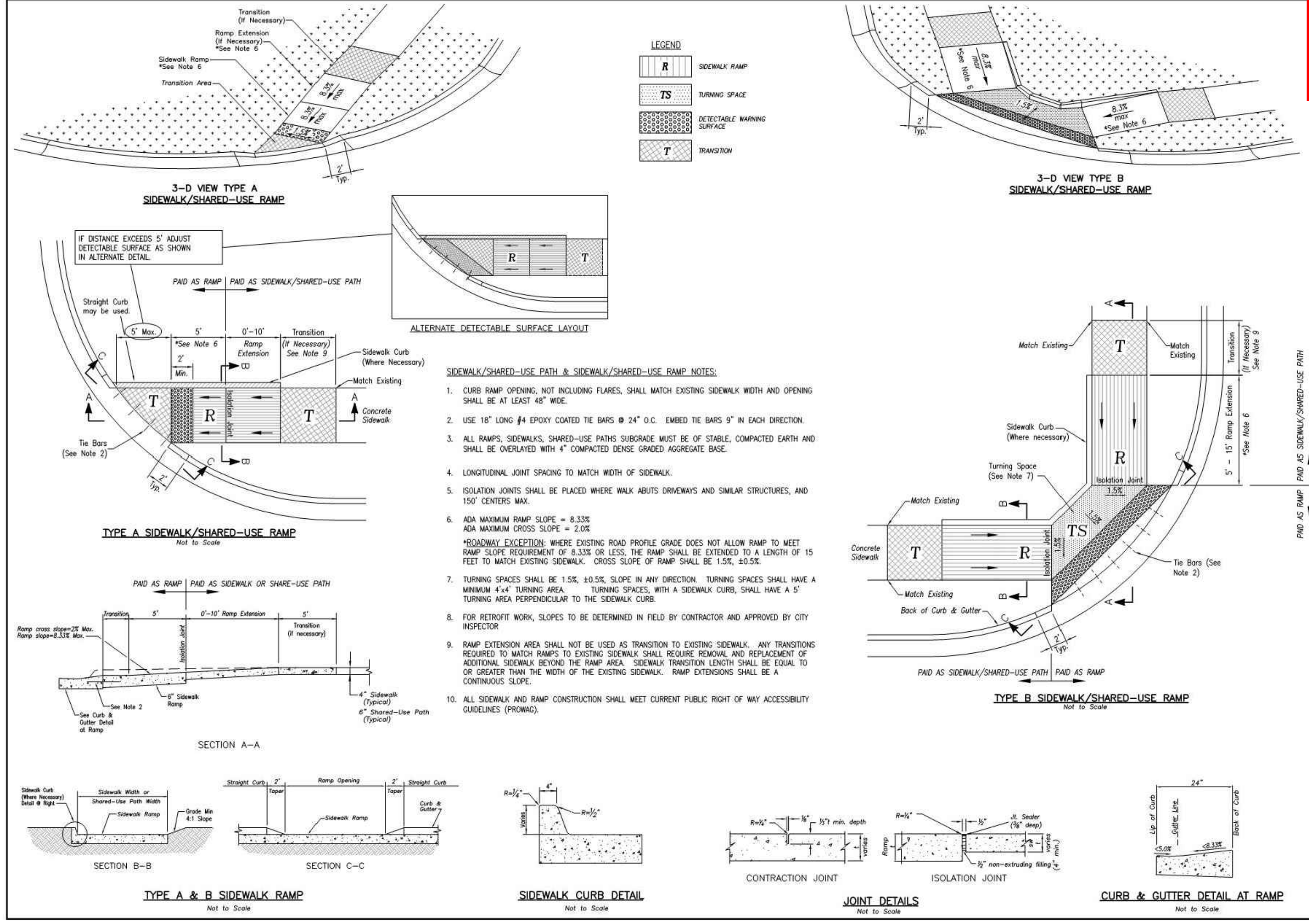
MO Certificate of Authority

STATE OF MISSOURI
DUSTY L. BURTON
PROFESSIONAL ENGINEER
PE-2011015709
6/20/2023

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C18



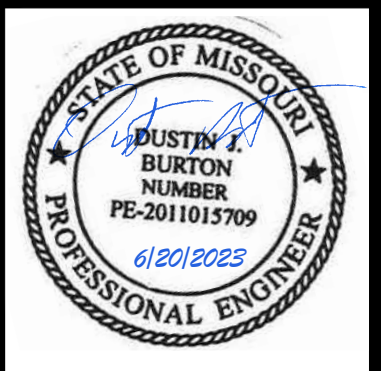
STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
ADA RAMP RETROFIT DETAIL
GEN-3A

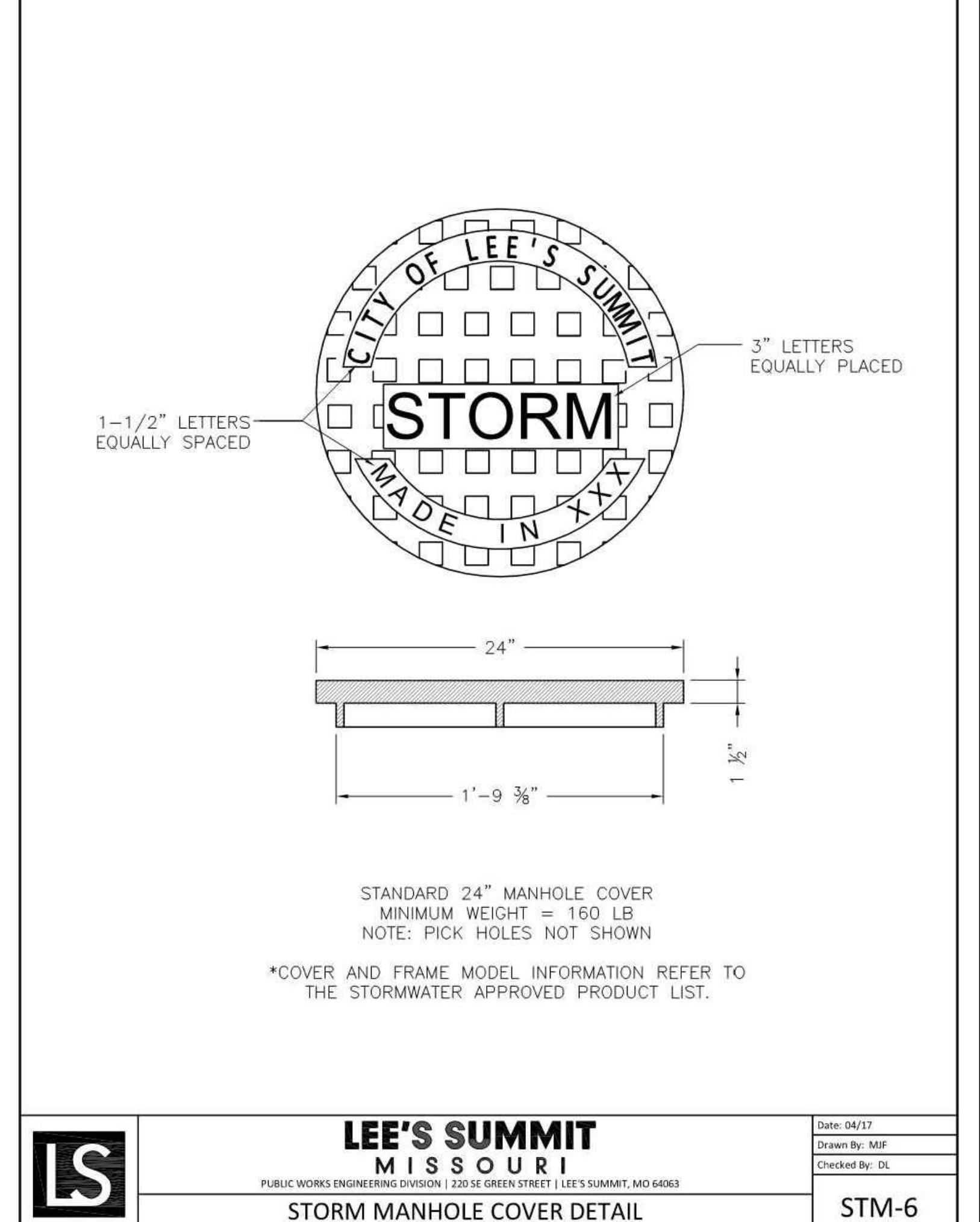
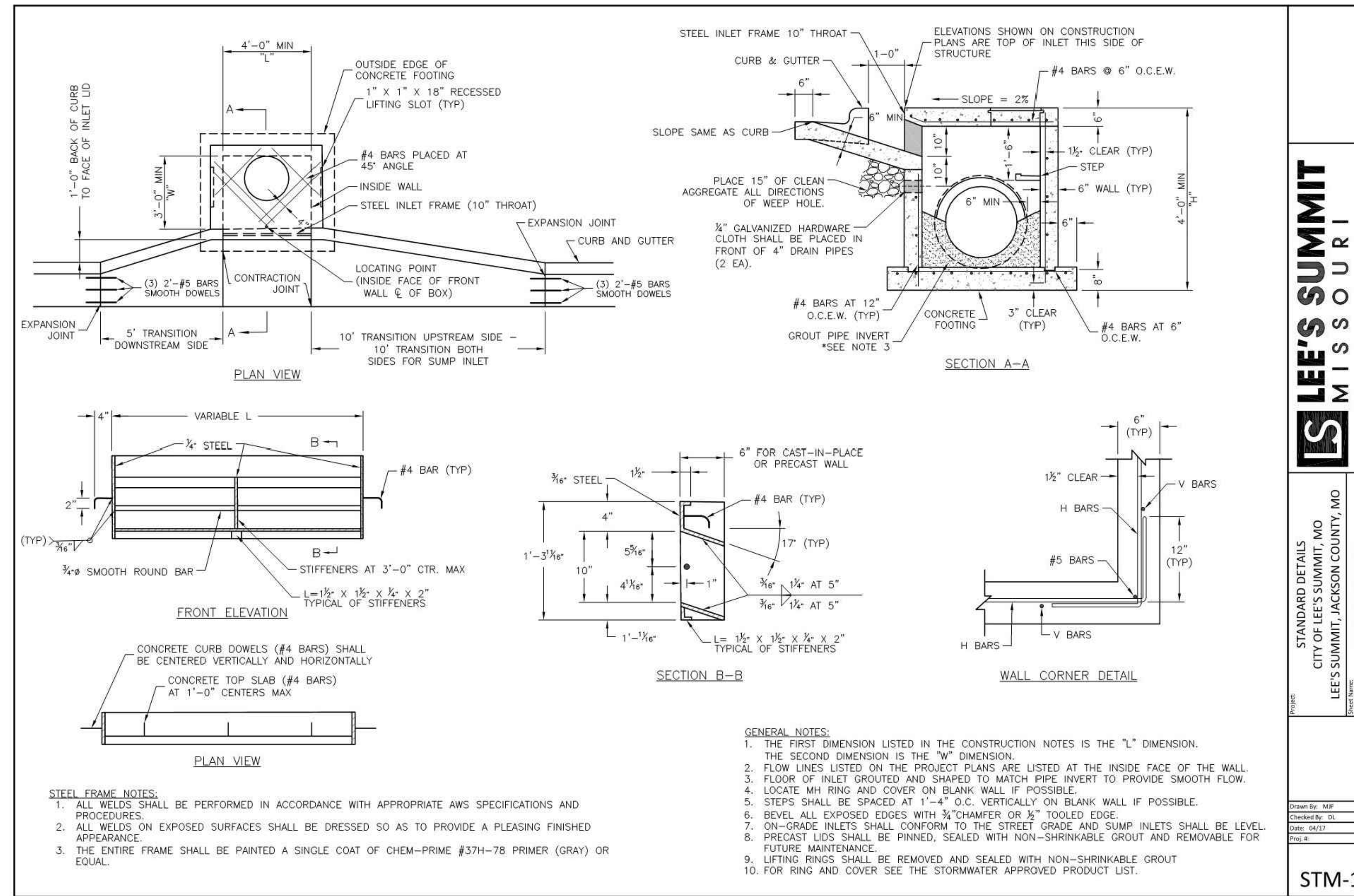


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Final Development Plans
 22-0133
 Heartland Market
 Lee's Summit, Jackson County, Missouri

Typical Details - Storm

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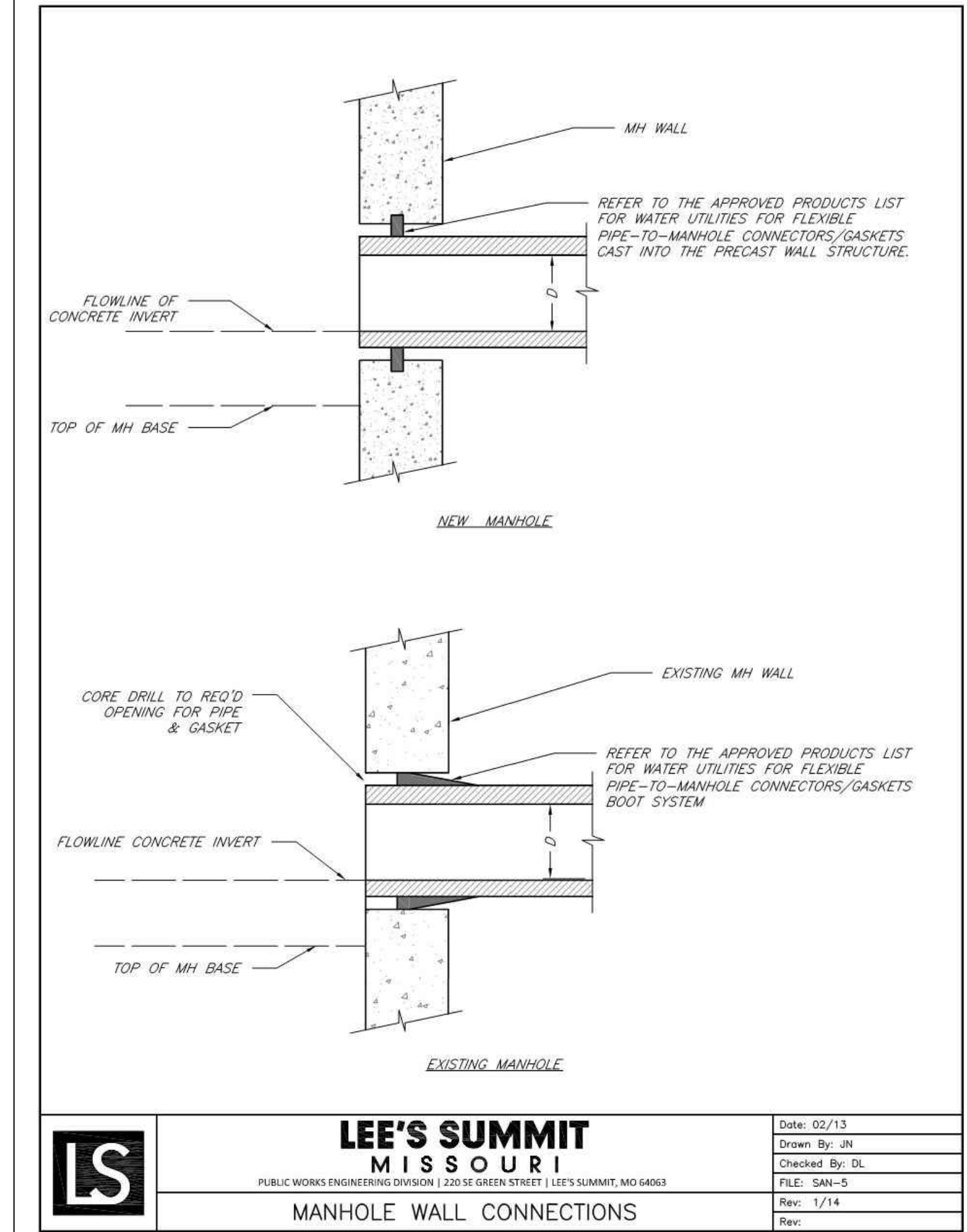
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Final Development Plans
 22-0133
 Heartland Market
 Lee's Summit, Jackson County, Missouri

Typical Details - Sanitary

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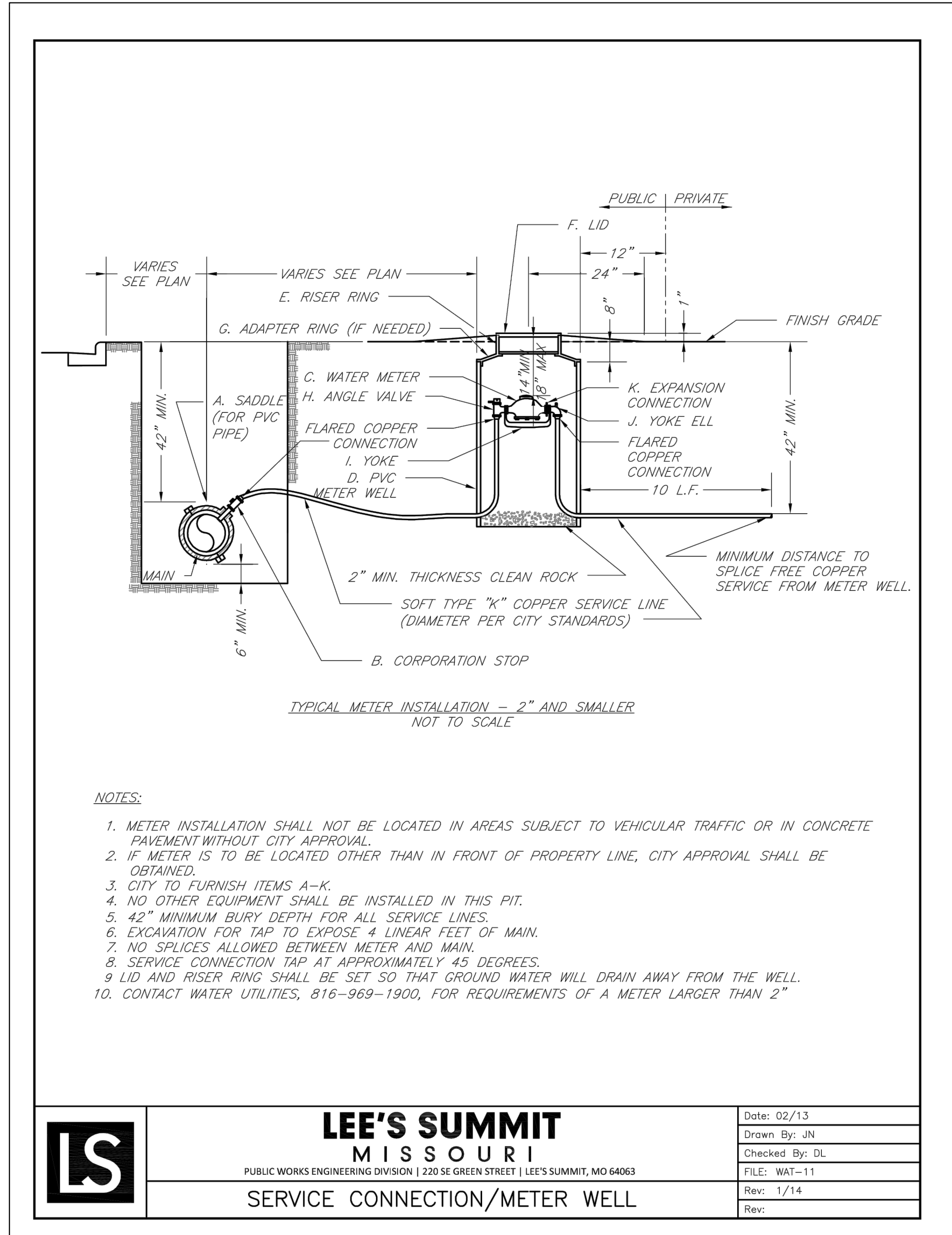
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**LEE'S SUMMIT
 MISSOURI**
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Date:	02/13
Drawn By:	JN
Checked By:	DL
FILE:	WAT-11
Rev:	1/14
Rev:	

SERVICE CONNECTION/METER WELL

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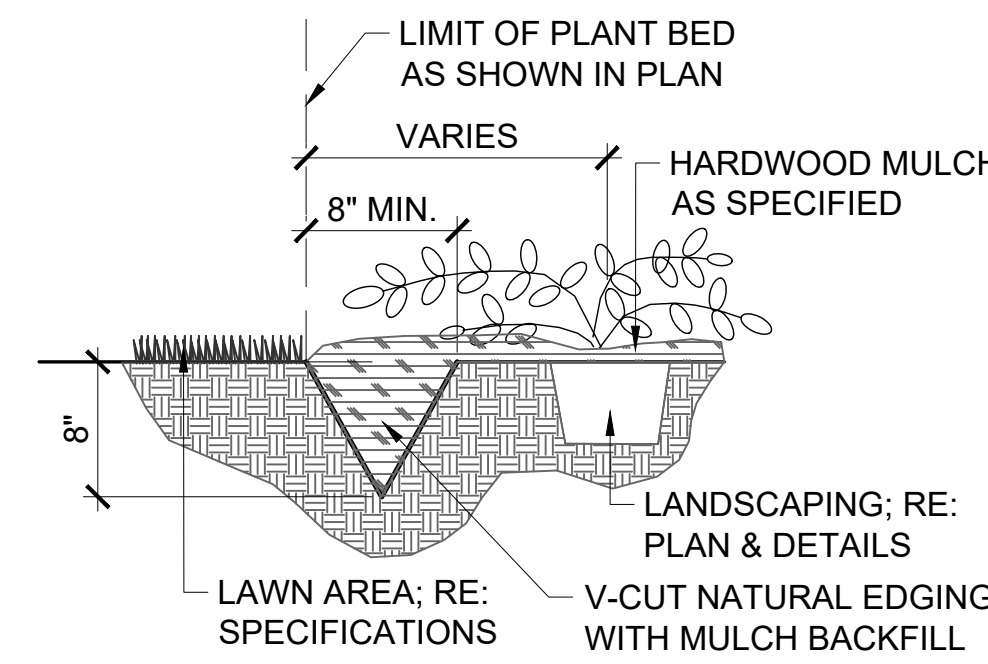
Development Services Department
Lee's Summit, Missouri
09/25/2023

- NOTES:
- CONTRACTOR SHALL LOCATE AND MARK ALL PLANTBED LOCATIONS PRIOR TO EXCAVATING FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.
 - TRANSITION TO MULCH CONTAINMENT DETAIL AT ALL LOCATIONS ADJACENT TO CURBS & SIDEWALKS. RE: DETAIL, THIS SHEET.
 - CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO TRENCHING OR LANDSCAPE INSTALLATION.

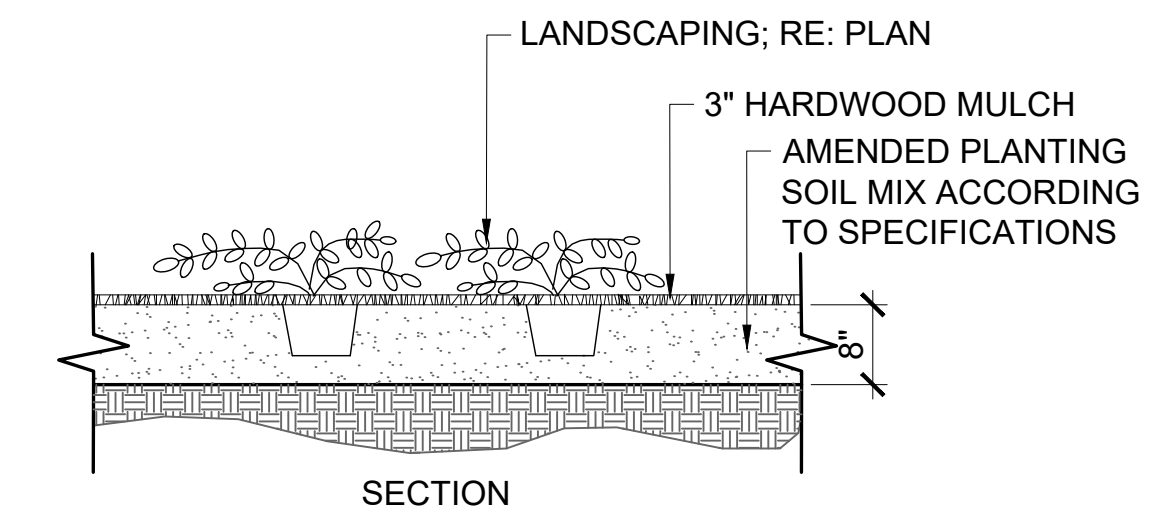
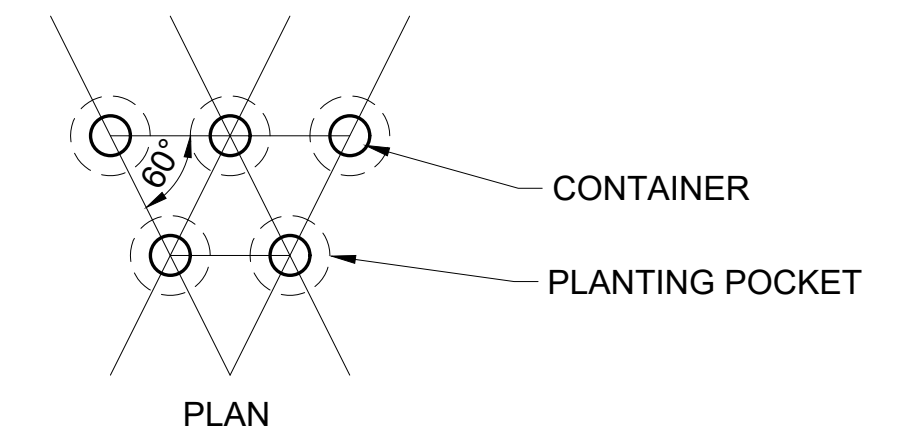


UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

TYPICAL UTILITY BOX SCREENING DETAILS - NTS

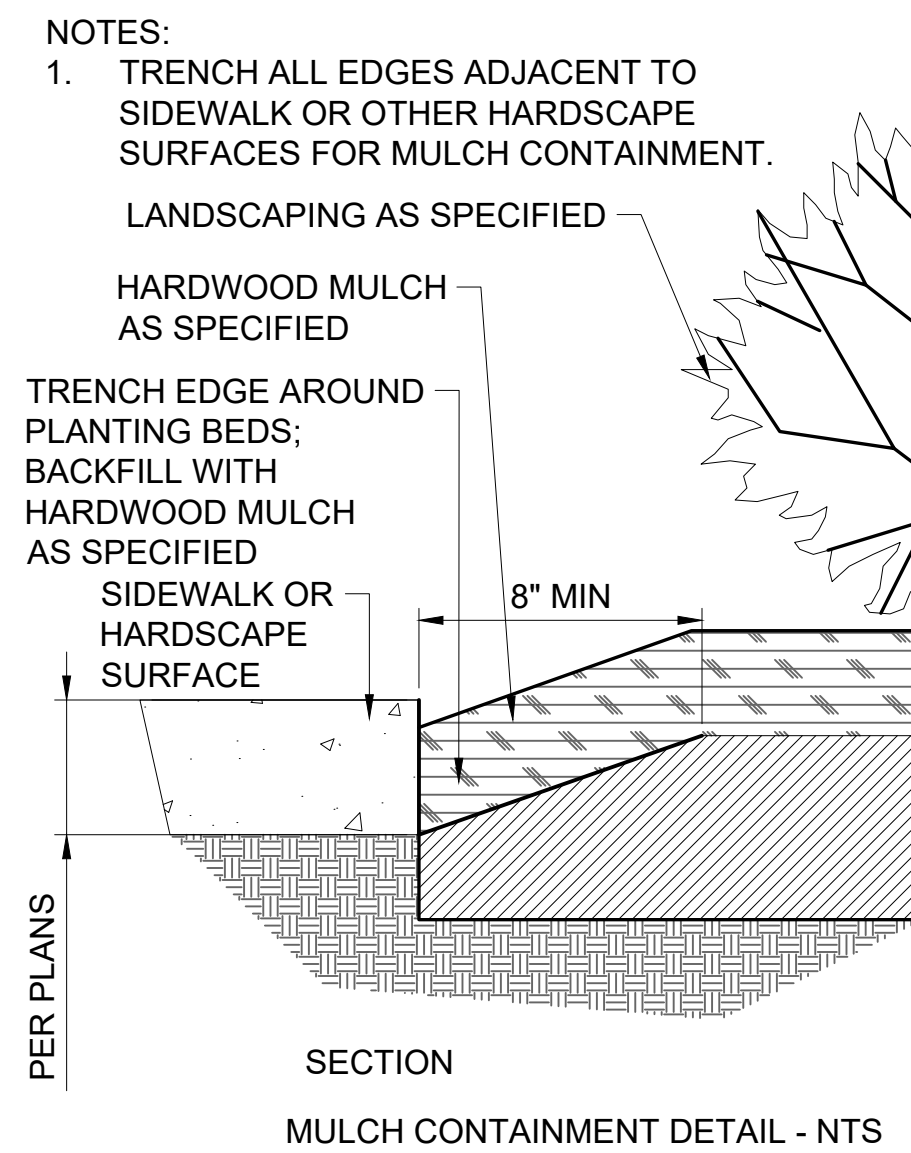


V-CUT NATURAL EDGE DETAIL - NTS

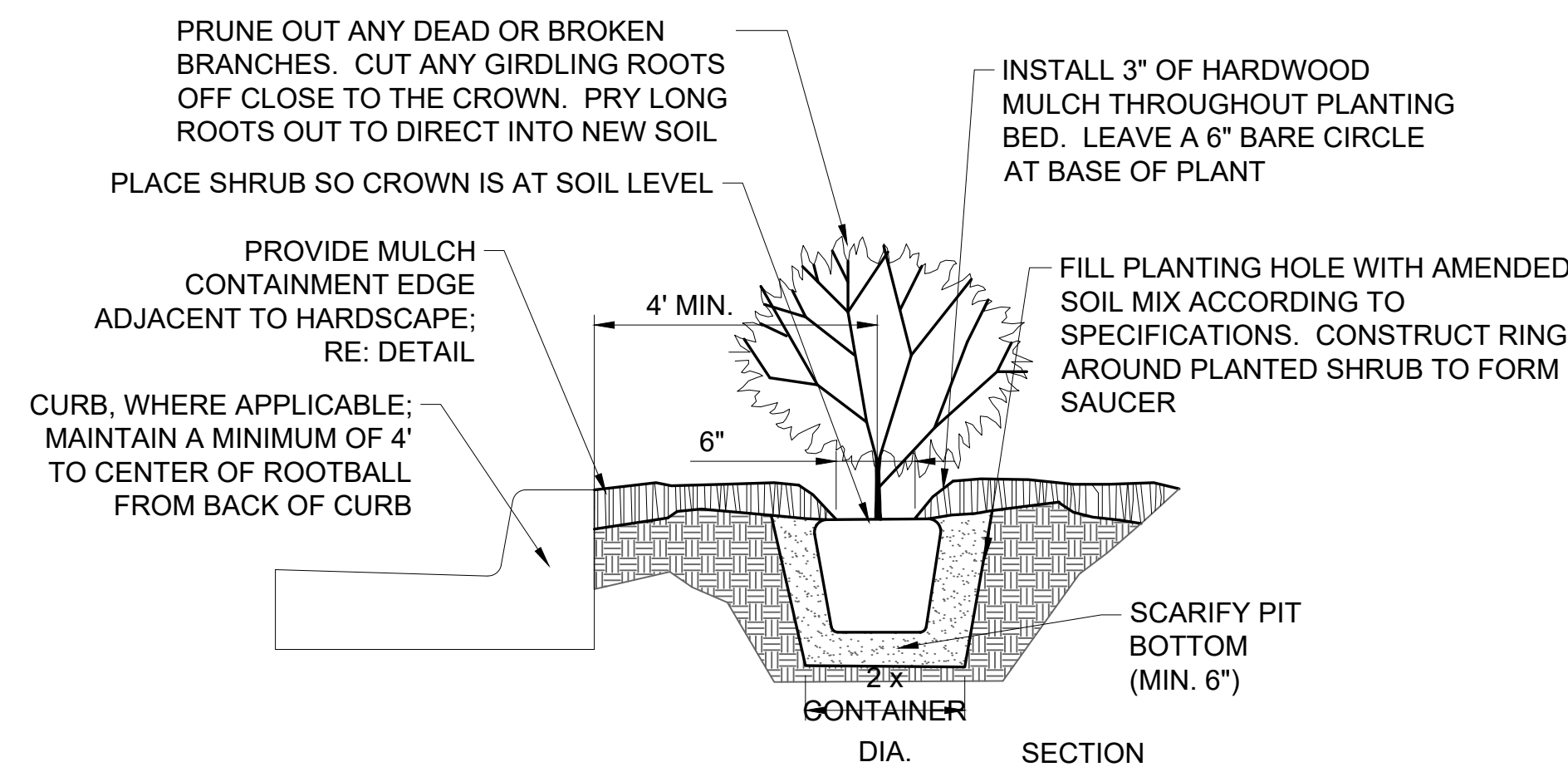


CONTAINER PLANTING DETAIL - NTS

- NOTES:
- TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED
 - TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.

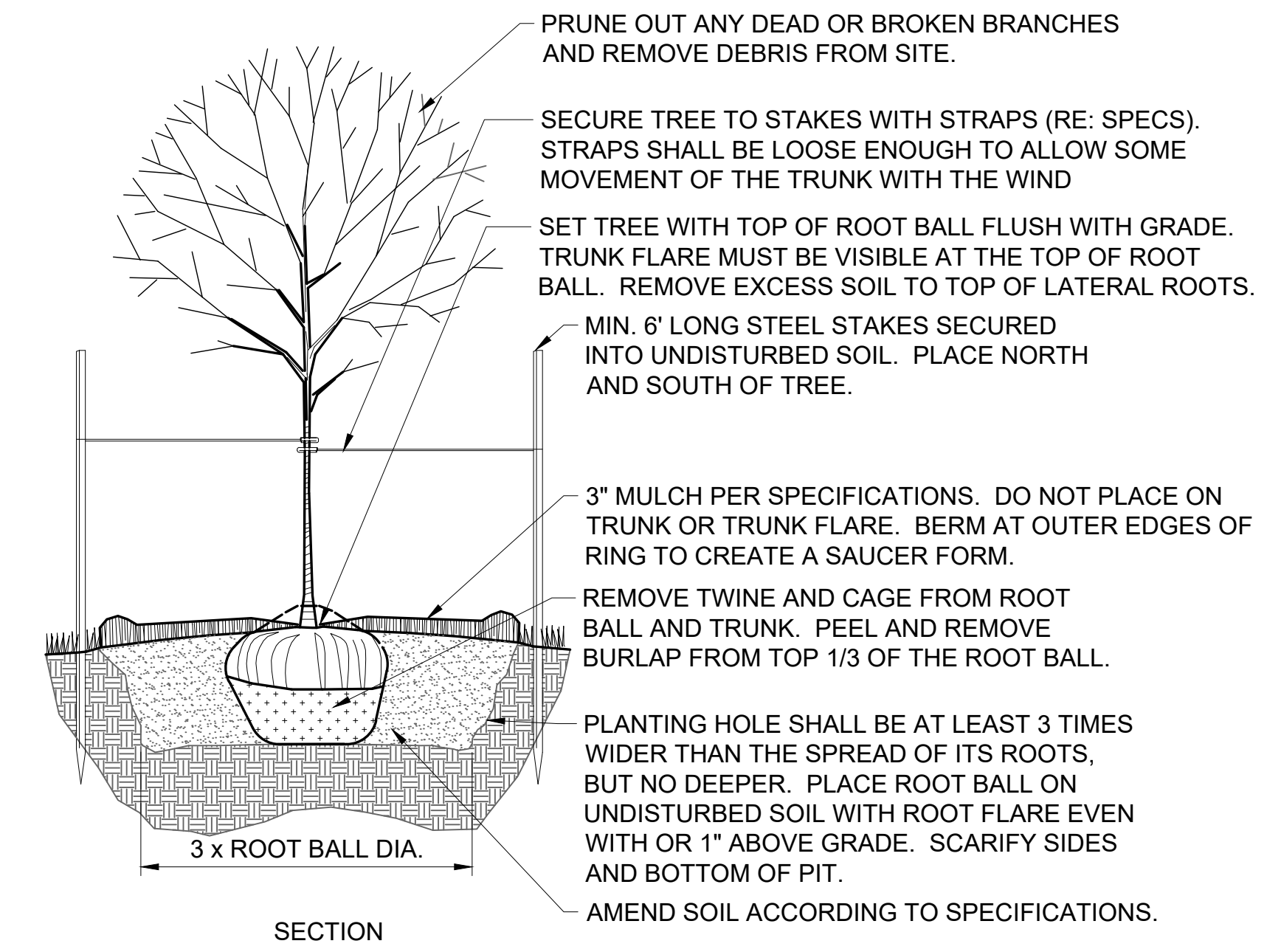


MULCH CONTAINMENT DETAIL - NTS



- NOTES:
- REFER TO SPECIFICATIONS FOR TOPSOIL BACKFILL MIX.
 - CONTRACTOR TO WATER THOROUGHLY AFTER PLANTING
 - INSTALLATION TO BE IN ACCORDANCE WITH PLANTING SPECIFICATIONS
 - WHERE ADJACENT TO CURB, MAINTAIN THE MINIMUM OFFSET SHOWN. FOR SHRUBS LARGER THAN 4' MATURE DIAMETER, PROVIDE A GREATER OFFSET EQUAL TO 1/2 OF THE MATURE DIAMETER MINIMUM.

SHRUB PLANTING DETAIL - NTS



DECIDUOUS TREE PLANTING DETAIL - NTS

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STATE OF MISSOURI
T. ANDREW GABBERT
NUMBER A-2007013278
LANDSCAPE ARCHITECT
T. Andrew Gabbert
MO# LA-2007013278

LUMINAIRE SCHEDULE

SYMBOL	MOUNTING	MODEL	WATTAGE	QUANTITY	MOUNTING HEIGHT	LAMP DEPRECIATION
□	RECESSED	CREE, INC., CAN-304-SL-xr-04-E-UL-700-40K or BXCP-E04E-UD7 (700mA)	135	32	16'-6"	0.9
○-□	POLE	HUBBELL OUTDOOR, RAR-2-320L-110-4K7-2-BC	110	2	28'	0.9
○-□	POLE	HUBBELL OUTDOOR, RAR-2-320L-110-4K7-3-BC	110	10	28'	0.9
○-□	POLE	HUBBELL OUTDOOR, RAR2-320L-110-4K7-4W	110	1	28'	0.9

Canopy

AVERAGE FOOT-CANDLES	21.43
MAXIMUM FOOT-CANDLES	32.8
MINIMUM FOOT-CANDLES	6.4
AVERAGE TO MINIMUM FC RATIO	3.36

Parking Lot

AVERAGE FOOT-CANDLES	2.42
MAXIMUM FOOT-CANDLES	6.3
MINIMUM FOOT-CANDLES	0.5
AVERAGE TO MINIMUM FC RATIO	4.57

HUBBELL Outdoor Lighting

RATIO Series

AREA/SITE LIGHTER

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues.
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available



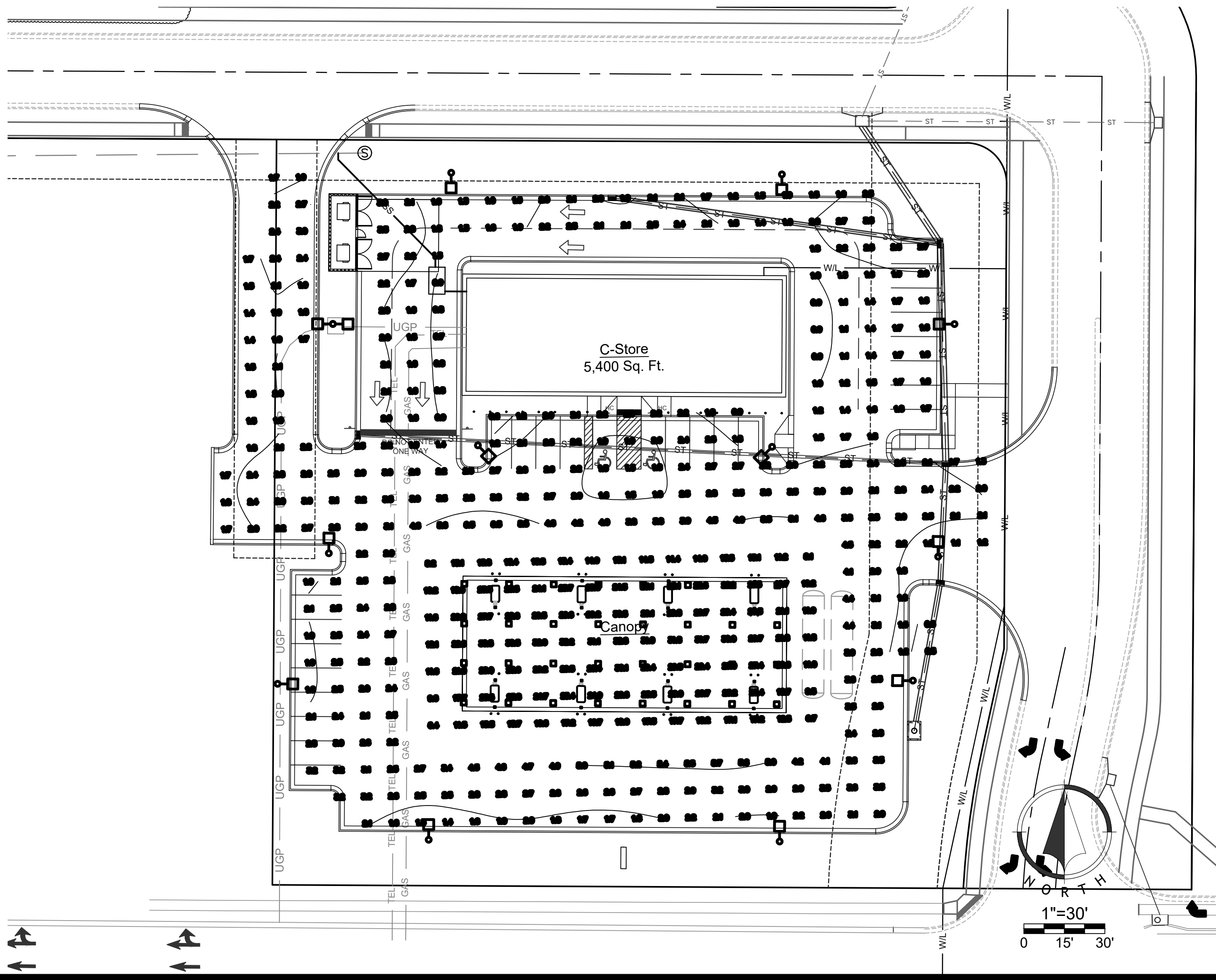
DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

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RELATED PRODUCTS

• Airo • Cimarron LED • Ratio Family



304 Series™

LED Recessed Canopy Luminaire

Product Description

Luminaire housing is constructed from rugged die cast aluminum components (RS Mount) or die cast and extruded aluminum components (RD Mount). LED driver is mounted in a sealed weathertight center chamber that allows for access from below the fixture. Luminaire mounts directly to the canopy deck and is secured in place with die cast aluminum trim frame. Luminaire housing is provided with factory applied foam gasket that provides a watertight seal between luminaire housing and canopy deck. Suitable for use in single or double skin canopies with 16" (406 mm) wide panels. Designed for canopies of 19-22 gauge (maximum 0.040" [1 mm] thickness).
Applications: Petroleum stations, convenience stores, drive-thru banks and restaurants, retail and grocery

Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://creeled.com/warranty> for warranty terms.

Accessories

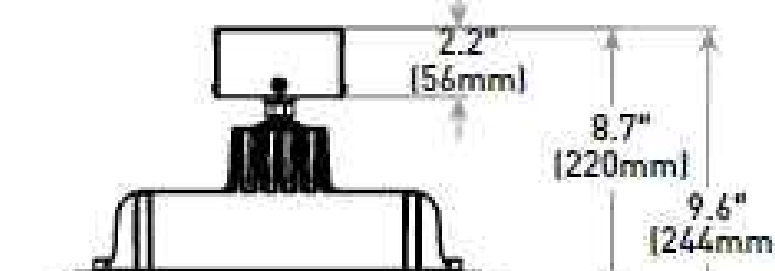
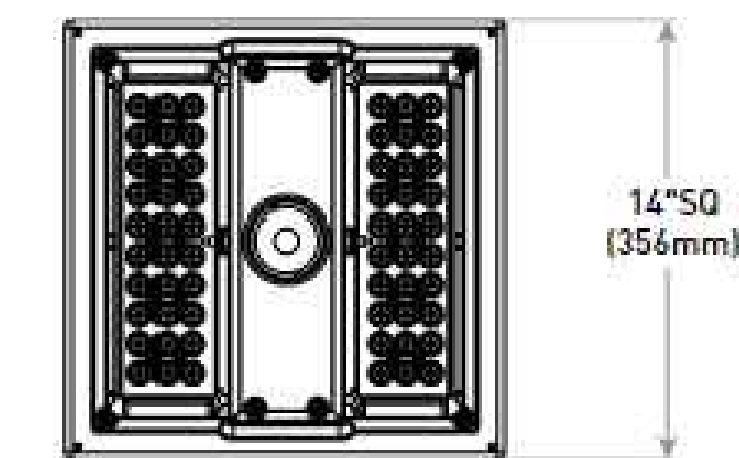
Field-Installed

Hand-Held Remote
 XA-SENSREM

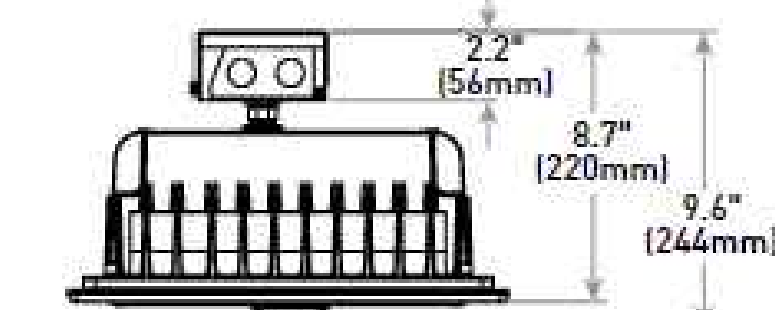
- For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

RS Mount

Rev. Date: V7 04/05/2021



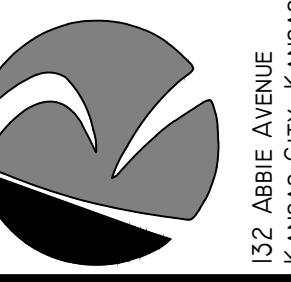
Programmable Multi-level Sensor location (ordered as an option)



NO. DATE REVISION

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Final Development Plan

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Heartland Market - Lee's Summit
 Lee's Summit, Jackson County, MO

Photometric Plan