

# PRESENTATION

Presentation on all Active  
Tax Increment Financing Districts

# City of Lee's Summit TIF Districts

| Description   | Approved<br>Amended                                    | Total<br>Cost<br>(million)               | Reimbursable<br>Amount<br>(million) | Expected<br>End Date |
|---|--|--|-------------------------------------|----------------------|
| East 50<br>Highway<br>(Todd George<br>/Blackwell)         | 12-13-2007   | \$45.26                                  | \$45.26                             | 2030                 |
|   | 1 <sup>st</sup> 4-4-2013<br>2 <sup>nd</sup> 12-19-2013 | Project 1<br>\$19.99<br>N/A<br>Project 2 | \$ 2.63<br>N/A                      | 2036                 |
| Chapel Ridge<br>(Ralph Powell Rd<br>Strother Interchange) | 12-7-2000<br>1 <sup>st</sup> 7-27-2006                 | \$108.69<br>194.39                       | \$24.6<br>32.3                      | 2022                 |
| I-470 Business<br>& Technology                            | 7-27-2006  | \$70.87                                  | \$8.07                              | 2029                 |
|   | 1 <sup>st</sup> 2-3-2015<br>2 <sup>nd</sup> 9-7-2017   | \$66.15                                  | \$4.10                              |                      |

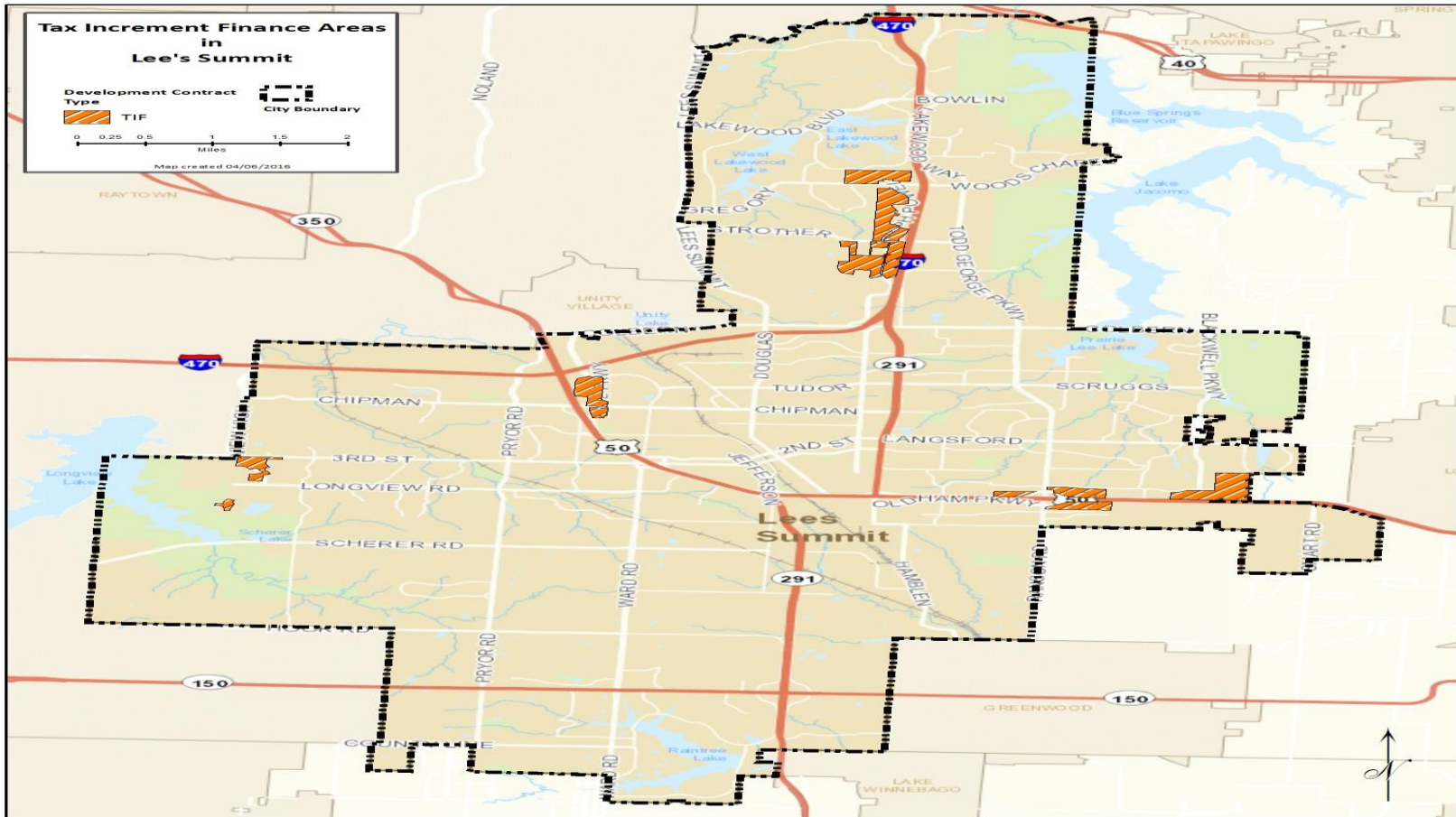
# City of Lee's Summit TIF Districts

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|--|---|---|-------------------------------------|----------------------|
| Lee's Summit East<br>(Summit Fair/Place) | 2-24-2006   | \$144.43                                  | \$28.86                             | 2028                 |
|  | 4-17-2008<br>1 <sup>st</sup> 5-15-14                                  | \$160.84<br>\$233.66                      | \$31.99<br>\$43.74                  | 2036                 |
| Longview Farm                            | 3-21-2002   | \$200.66                                  | \$13.38                             | 2025                 |
|  | 10-16-2003<br>1 <sup>st</sup> 1-19-2012<br>2 <sup>nd</sup> 12-17-2015 | \$ 26.87<br>Adjusted Project 5<br>\$ 3.65 | \$13.54<br>\$3.65                   | 2038                 |
| New Longview                             | 12-17-2015  | \$81.80                                   | \$16.94                             | 2038                 |
| Ritter Plaza<br>(M-291 @ Swann Rd)       | 11-15-2007  | \$13.32                                   | \$3.33                              | 2030                 |

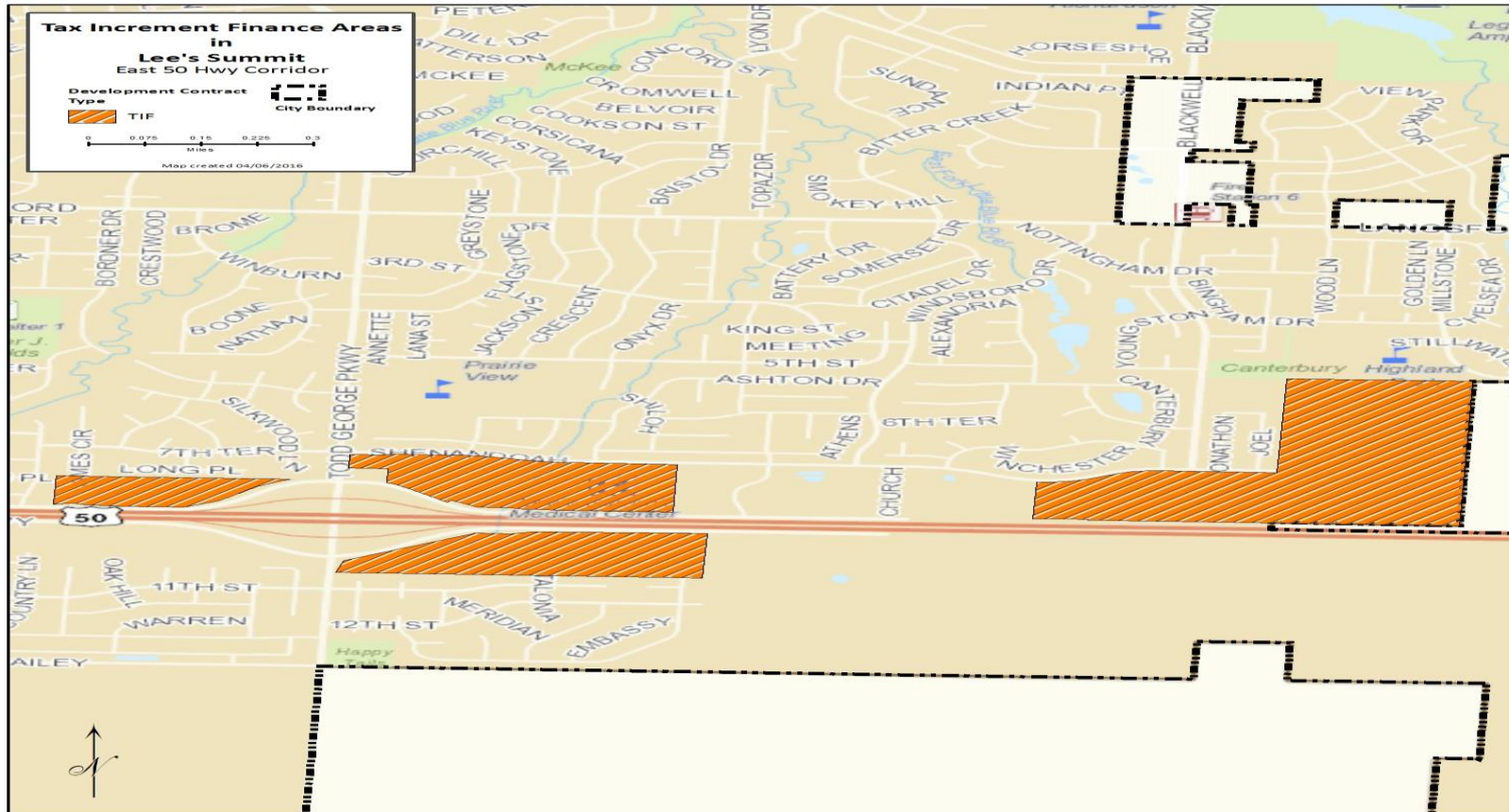
# City of Lee's Summit TIF Districts

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|---------------------------------------|---------------------|----------------------------|-------------------------------------|----------------------|
| I-470 and View High<br>(Paragon Star) | 3-10-2016           | \$211.74                   | \$13.14                             | 2039                 |
| Village at View High                  | 8-24-2017           | \$68.98                    | \$7.97                              | 2040                 |
|                                       |                     |                            |                                     |                      |

# City of Lee's Summit TIF Districts



# EAST U.S. 50 Highway Corridor Improvement TIF Plan



# EAST U.S. 50 Highway Corridor Improvement TIF Plan

- Project Area 1 (LS Medical Center) **active**
  - Plan, as amended, to be constructed in **3 phases**
    - Phase 1 has been ***completed***
    - ***Phases 2 and 3 have not commenced***
- Project Area 4 (Todd George shopping center) **active**
  - Construction of Private and Public Improvements have been completed
- ***Project Areas 2 and 3 not activated***

# East U. S. 50 Highway Corridor Improvement TIF Plan

- Project Area 1 projects:
- New Blackwell Road Interchange      \$17,103,134
- Todd George Road Interchange      \$18,087,042
- Outer Road Construction      \$10,079,057
- Blackwell is under construction.



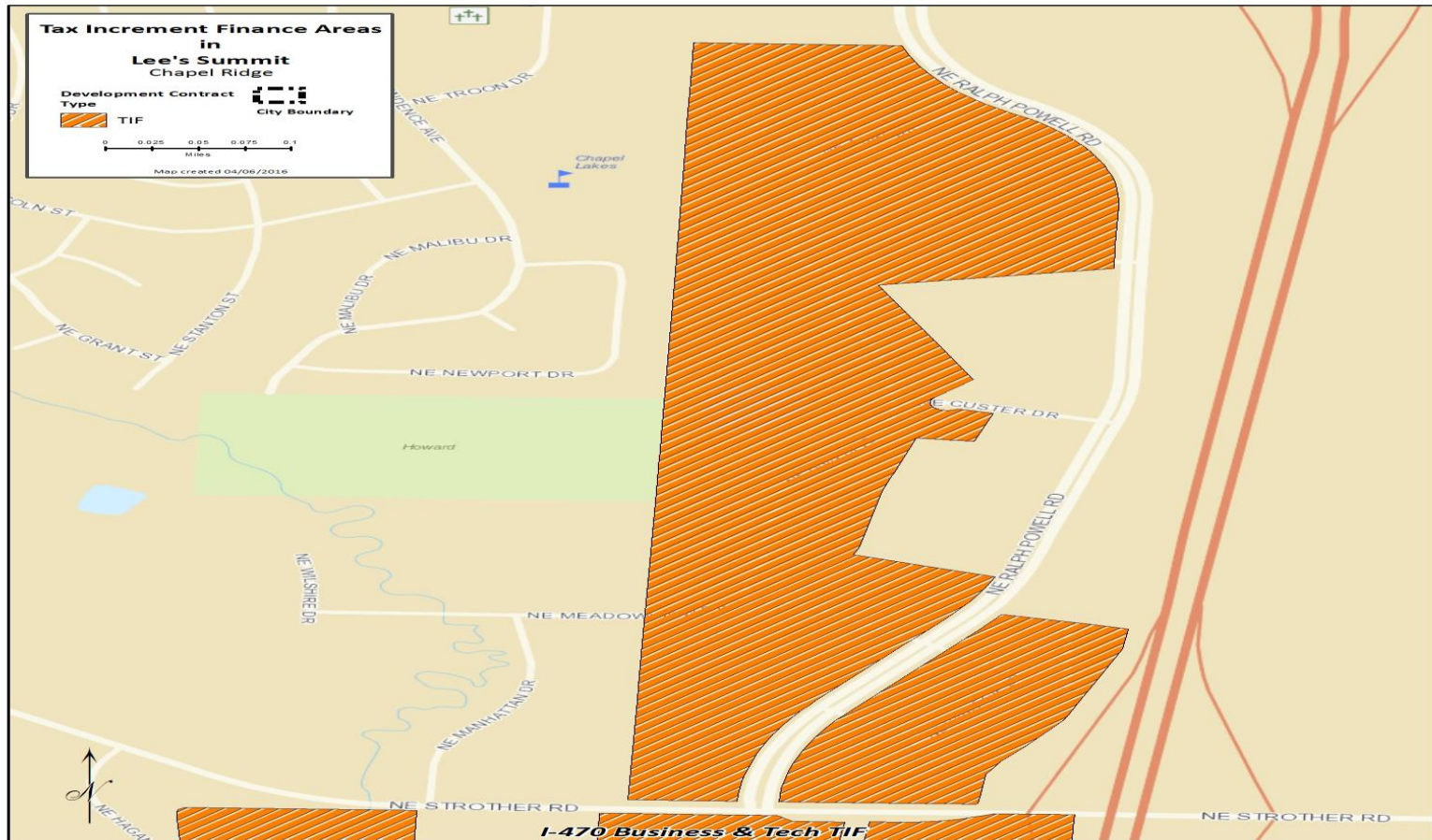
# East U. S. 50 Highway Corridor Improvement TIF Plan

| <b>Project Area 1</b> | <b>Inception to Date<br/>(in Millions)</b> | <b>Fiscal Year 2017</b> |
|-----------------------|--|-------------------------|
| Projected PILOTs      | \$12.72                                    | \$1,698,129             |
| Actual PILOTs         | \$ 9.20                                    | \$ 936,807              |
| Projected EATS        | \$0  | \$0                     |
| Actual EATS           | \$0  | \$0                     |

# East U. S. 50 Highway Corridor Improvement TIF Plan

| <b>Project Area 4</b> | <b>Inception to Date<br/>(In Millions)</b> | <b>Fiscal Year 2017</b> |
|-----------------------|--|-------------------------|
| Projected PILOTs      | \$0.82                                     | \$ 222,698              |
| Actual PILOTs         | \$0.27                                     | \$265,198               |
| Projected EATS        | \$2.31                                     | \$624,563               |
| Actual EATS           | \$0.61                                     | \$464,298               |

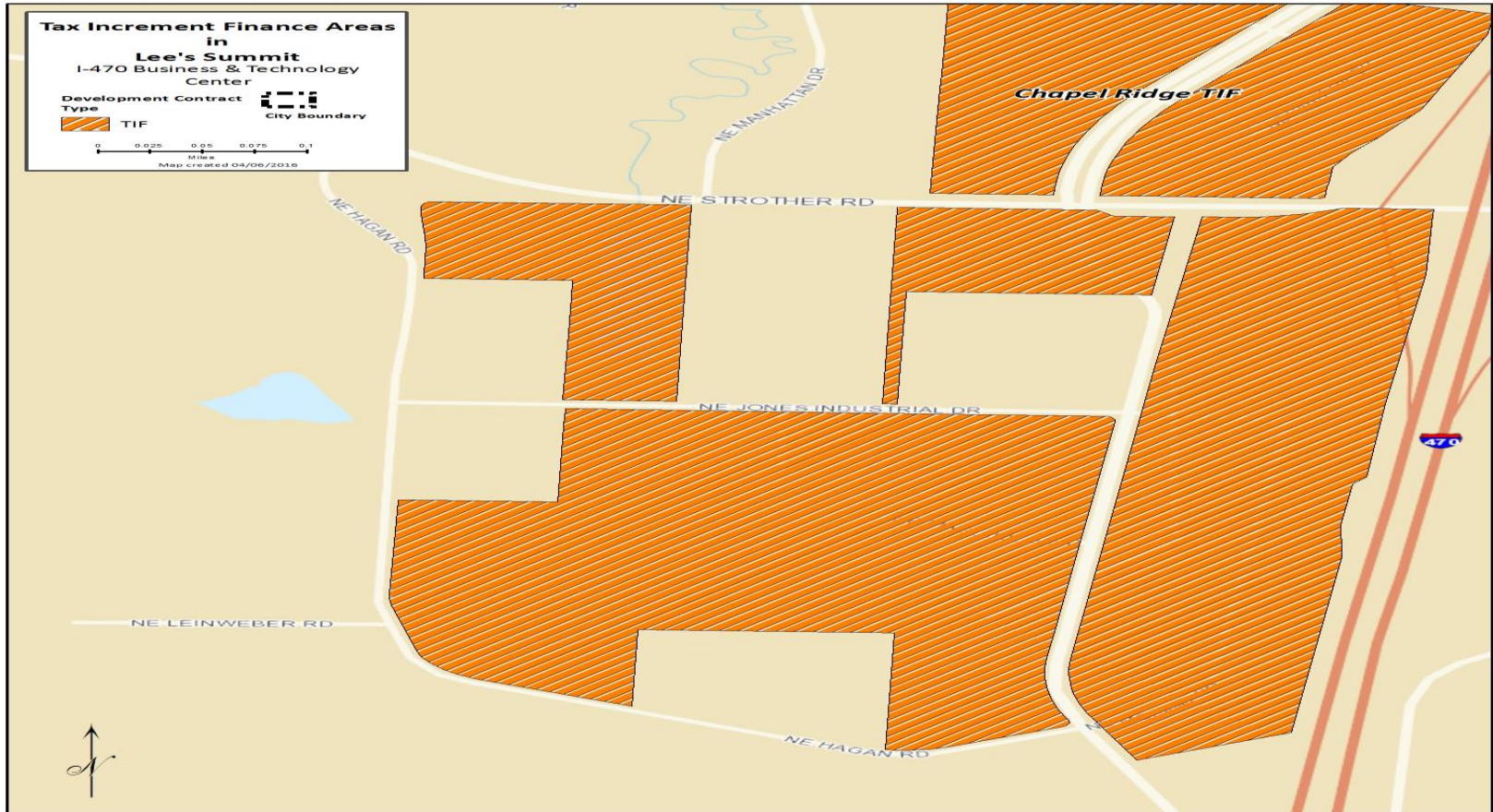
# First Amended and Restated Chapel Ridge TIF Plan



# First Amended and Restated Chapel Ridge TIF Plan

- Redevelopment Area 1 **Terminated**  
(Office and Retail, golf course and hotel)  
Redevelopment Area 1 completed
- Redevelopment Area 2 **Terminated**  
(Office and Retail, single family and multi-family units)  
Redevelopment Area 2 still under construction

# I-470 Business & Technology TIF Plan, as amended



# I-470 Business & Technology TIF Plan, as amended

- The I-470 TIF Plan **active**  
(Office, Warehouse, Retail and a hotel)
- Construction of Project is ongoing.

# I-470 Business & Technology TIF Plan, as amended

- Reimbursable Projects

(Storm Water, Wetlands Mitigation, Internal Roads, and contribution to Strother Interchange)

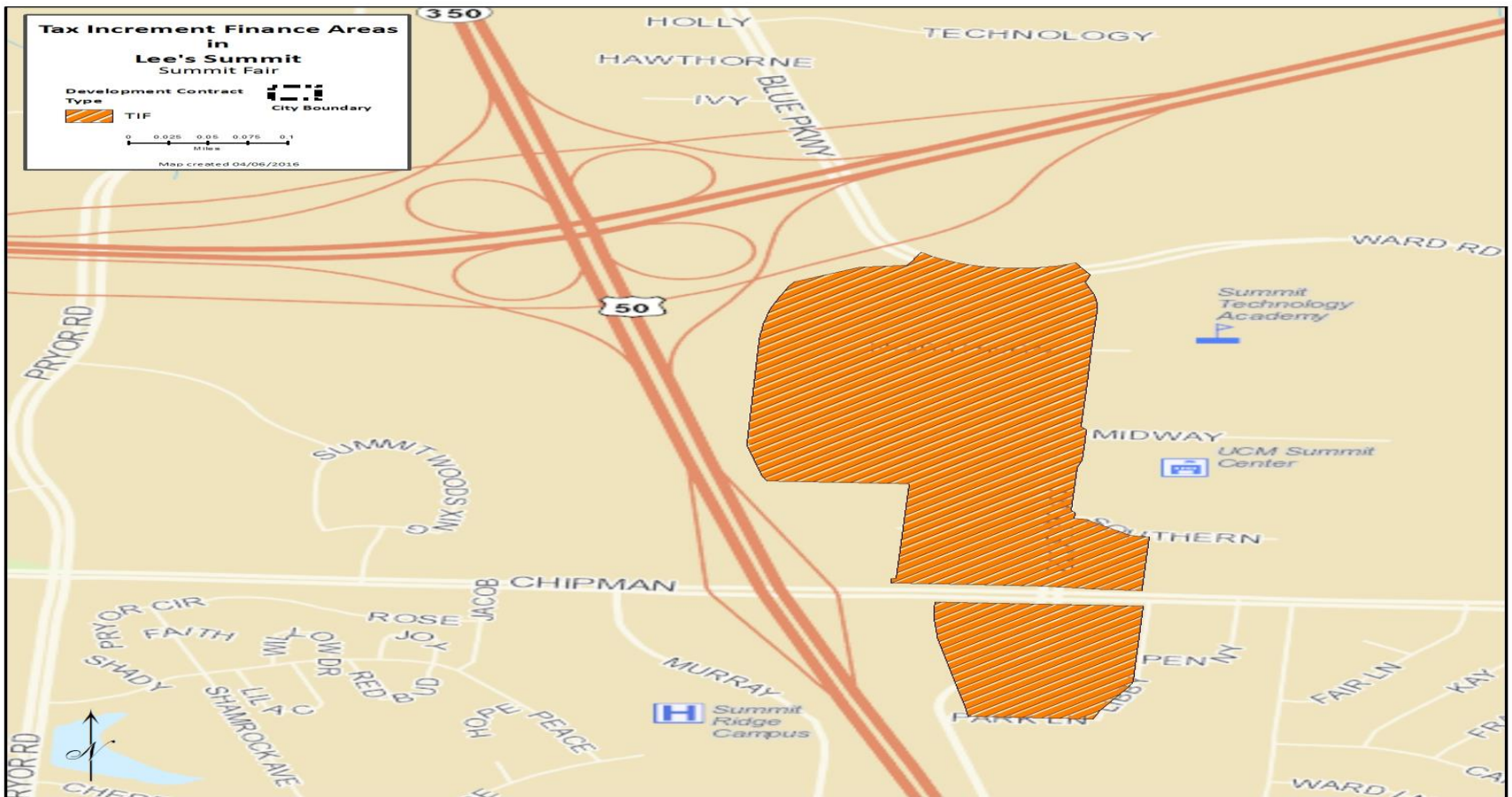
- Construction of Reimbursable Projects is ongoing.

# I-470 Business & Technology TIF Plan, as amended

| Original TIF     | Inception to Date<br>(In Millions) | Fiscal Year 2017 |
|------------------|------------------------------------|------------------|
| Projected PILOTs | \$ 2.83                            | \$500,156        |
| Actual PILOTs    | \$3.40                             | \$519,537        |
| Projected EATS   | \$0.85                             | \$285,492        |
| Actual EATS      | \$1.14                             | \$367,070        |



# Lee's Summit East Amended and Restated TIF Plan



# Lee's Summit East Amended and Restated TIF Plan

- Project Area 1 (shopping center) **active**
- Project Area 2 (shopping center) **inactive**
- Project Area 3 **removed**
- Project Area 4 **removed**
- Project Area 5 **active**

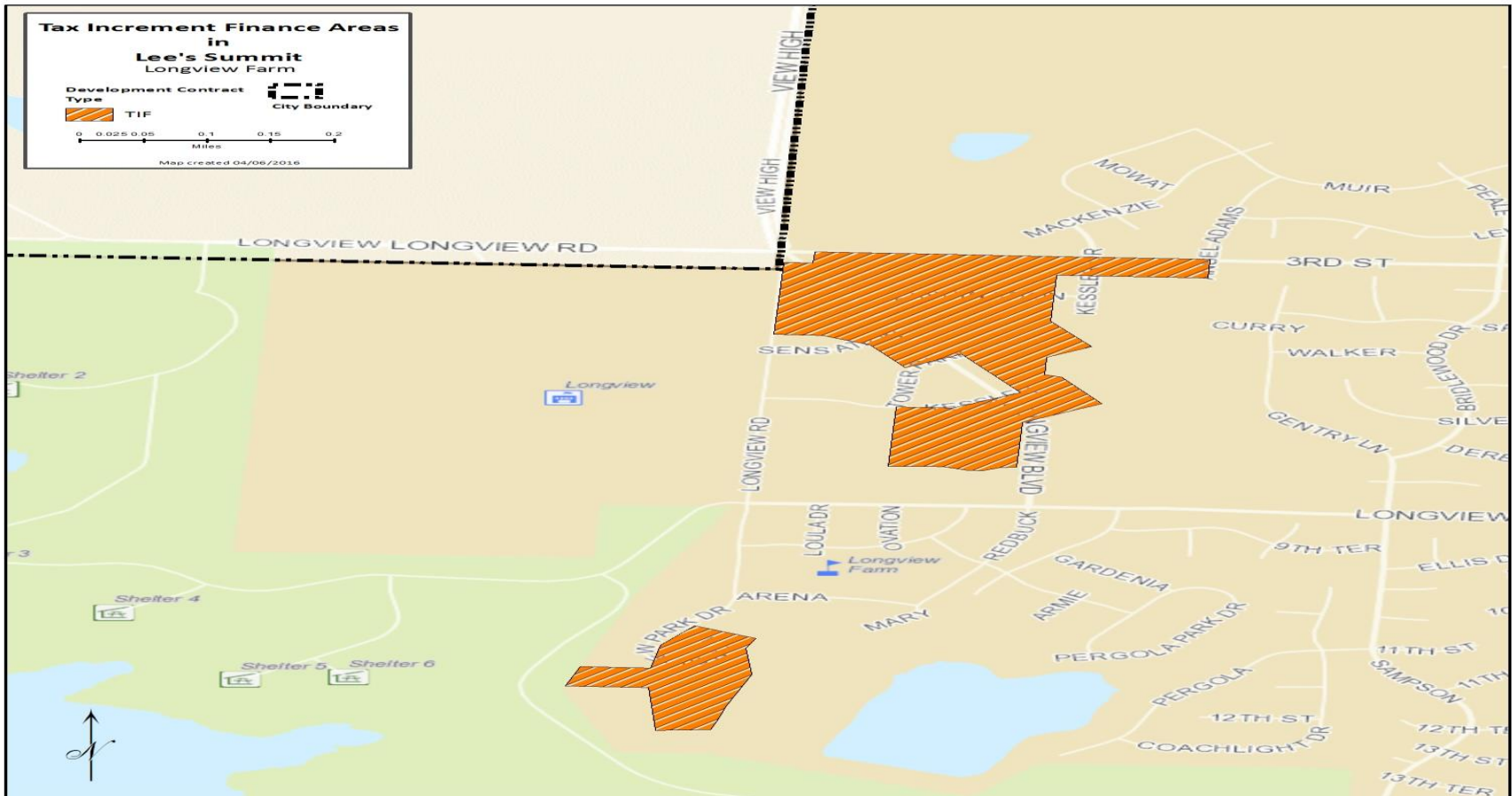
# Lee's Summit East Amended and Restated TIF Plan

- Project Area 1 construction ongoing
- Project Area 2a and 2b inactive
- Project Area 5 construction completed
- Project Area 1, Reimbursable Projects completed
- Project Area 2, Reimbursable Projects inactive
- Project Area 5, Reimbursable Projects completed

# Lee's Summit East Amended and Restated TIF Plan

| <b>Project Areas 1 and 5</b> | <b>Inception to Date<br/>(In Millions)</b> | <b>Fiscal Year 2017</b> |
|------------------------------|--|-------------------------|
| Projected PILOTs             | \$10.47                                    | \$1,713,146             |
| Actual PILOTs                | \$9.07                                     | \$1,392,964             |
| Projected EATS               | \$15.14                                    | \$2,433,403             |
| Actual EATS                  | \$9.08                                     | \$1,413,207             |

# Longview Farm First Amended and Restated TIF Plan



# Longview Farm First Amended and Restated TIF Plan

- Longview Project Areas 1B, 2C, 3, and 6 **active**  
(Retail, Office)
- Balance of Project Areas can not be activated.
- Active Project Areas support restoration of historic buildings.
- Historic Restoration of Buildings is ongoing.
- Private Development is completed.

# Longview Farm First Amended and Restated TIF Plan

| <b>Amended TIF Plan</b> | <b>Amendment to Date<br/>(in Millions)</b> | <b>Fiscal Year 2017</b> |
|-------------------------|--|-------------------------|
| Projected PILOTs        | \$ 0.46                                    | \$234,732               |
| Actual PILOTs           | \$0.46                                     | \$229,033               |
| Projected EATS          | \$0.18                                     | \$93,191                |
| Actual EATS             | \$0.20                                     | \$106,656               |

# New Longview TIF Plan

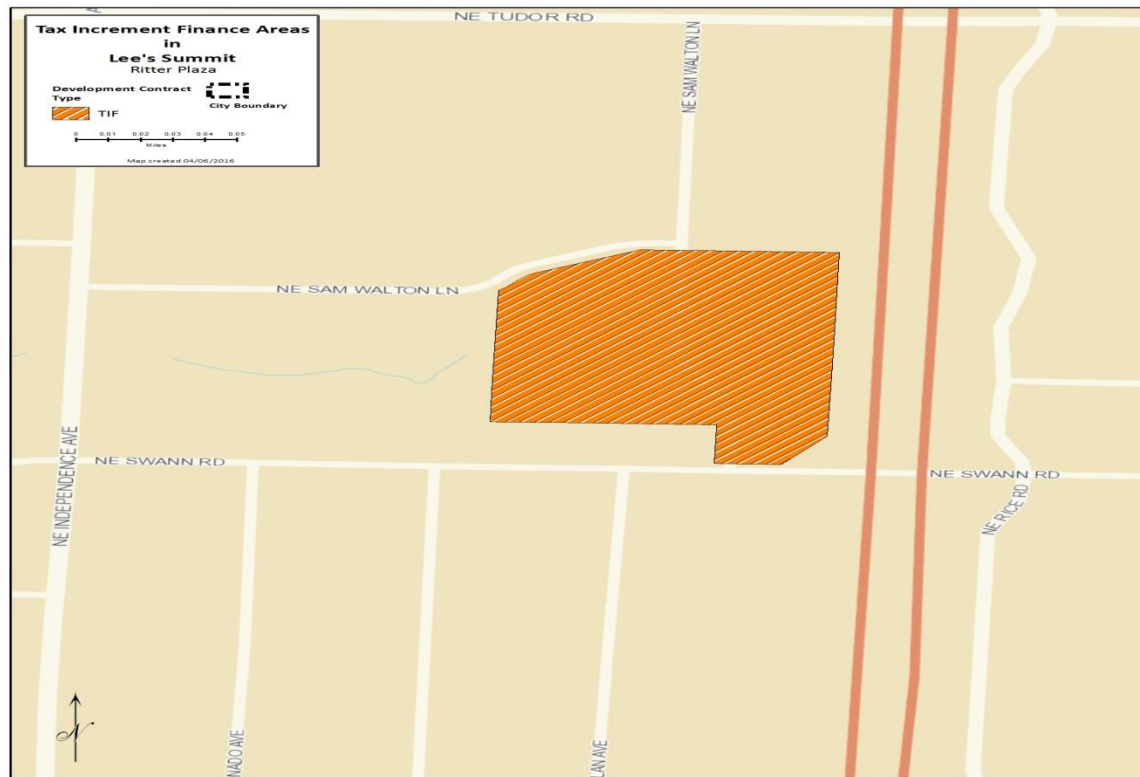
- Balance of Project Areas not previously activated in Longview Farm TIF.
  - 15 projects
- Project A has been approved and construction has commenced
- Project N has been approved and construction has been completed



# New Longview TIF Plan

| <b>Original TIF Plan</b> | <b>Inception to Date<br/>(in Millions)</b> | <b>Fiscal Year 2017</b> |
|--------------------------|--|-------------------------|
| Projected PILOTs         | \$0.00                                     | \$0.00                  |
| Actual PILOTs            | \$0.00                                     | \$0.00                  |
| Projected EATS           | \$0.00                                     | \$0.00                  |
| Actual EATS              | \$0.00                                     | \$0.00                  |

# Ritter Plaza Amended TIF Plan



# Ritter Plaza Amended TIF Plan

- The Ritter Plaza TIF Plan is **active**  
(retail and a bank)
- All private development has been completed.
- Reimbursable Projects have been completed.  
(street improvements, traffic light, wetlands mitigation)

# Ritter Plaza Amended TIF Plan

| Original TIF     | Inception to Date<br>(in Millions) | Fiscal Year 2017 |
|------------------|------------------------------------|------------------|
| Projected PILOTs | \$1.17                             | \$155,545        |
| Actual PILOTs    | \$0.28                             | \$59,486         |
| Projected EATS   | \$1.92                             | \$235,982        |
| Actual EATS      | \$0.14                             | \$34,755         |

# I-470 and View High (Paragon Star)

- The I-470 and View High TIF Plan is **active**
- Development Contract has been signed.

# I-470 and View High (Paragon Star)

| <b>Original TIF</b> | <b>Inception to Date<br/>(in Millions)</b> | <b>Fiscal Year 2017</b> |
|---------------------|--|-------------------------|
| Projected PILOTs    | \$1.43                                     | \$1,432,415             |
| Actual PILOTs       | \$0.00                                     | \$0.00                  |
| Projected EATS      | \$0.00                                     | \$0.00                  |
| Actual EATS         | \$0.00                                     | \$0.00                  |

# Village at View High

- The Village at View High TIF Plan is **active**