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APPENDIX:

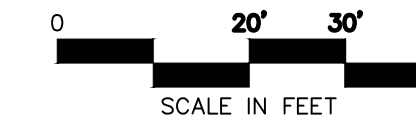
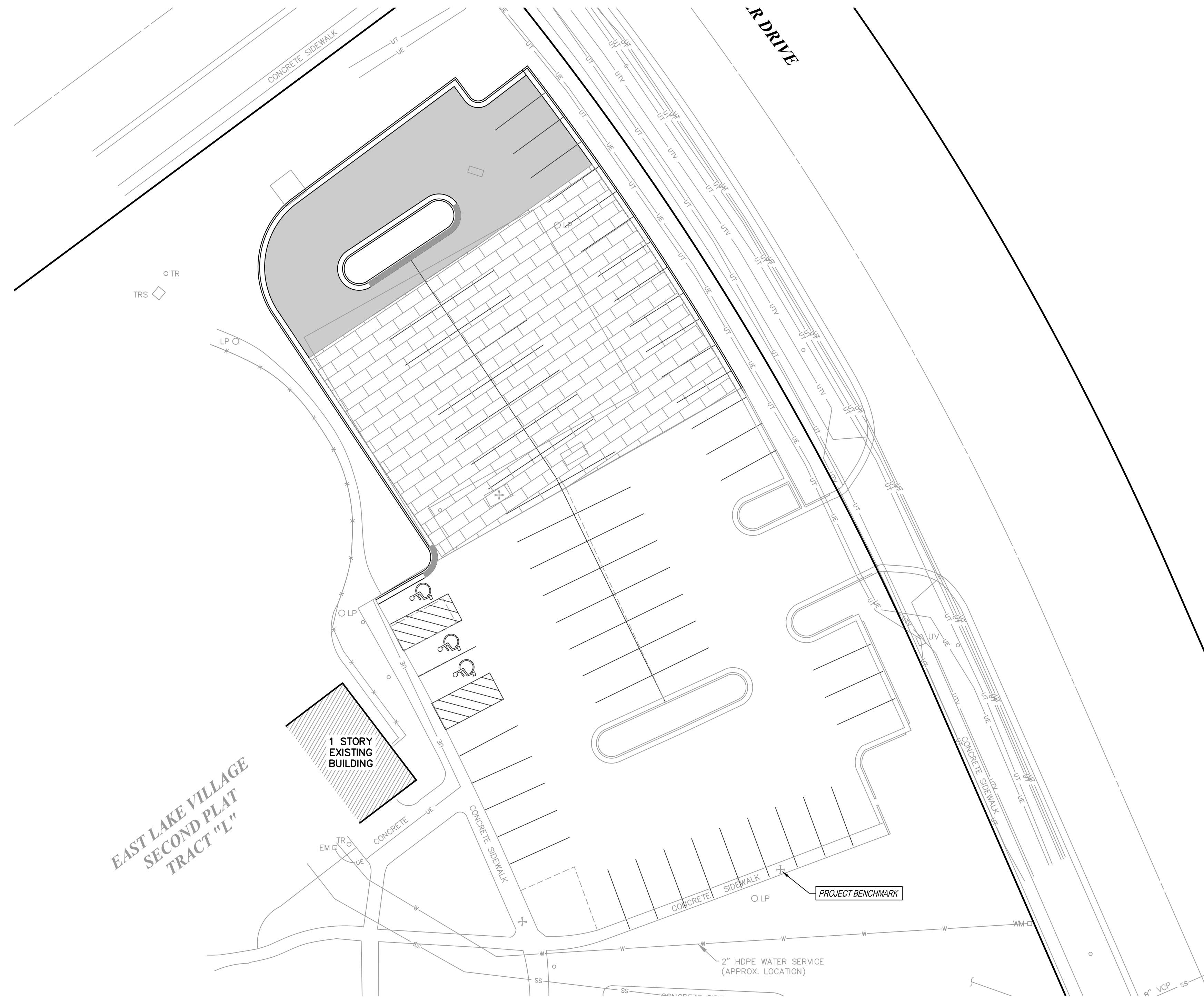
LIGHTING and PHOTOMETRIC PLAN

PRELIMINARY DEVELOPMENT PLAN

LAKWOOD POOL

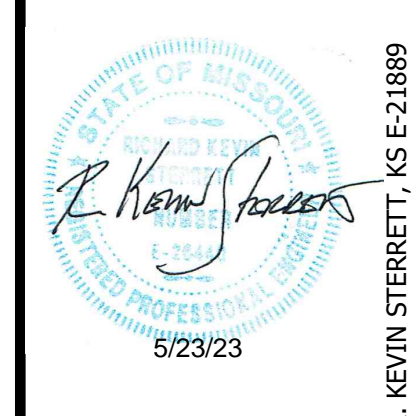
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PARKING LOT EXPANSION



Know what's below.
Call before you dig.

DATE	REVISION	BY	CAAPP
2/16/2023	Revisions per City comment letter dated 1-24-23	ASBY	RMS
2/7/2023	Revisions per City comment letter dated 2-14-23	ASBY	RMS
2/12/2023	Added Pavedrain Detention Parking Expansion	ASBY	RMS
2/21/2023	Added Note on Detention Pond to confirm City Review Comment Letter 2/22/23	ASBY	RMS



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engineers planners

1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE NO. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

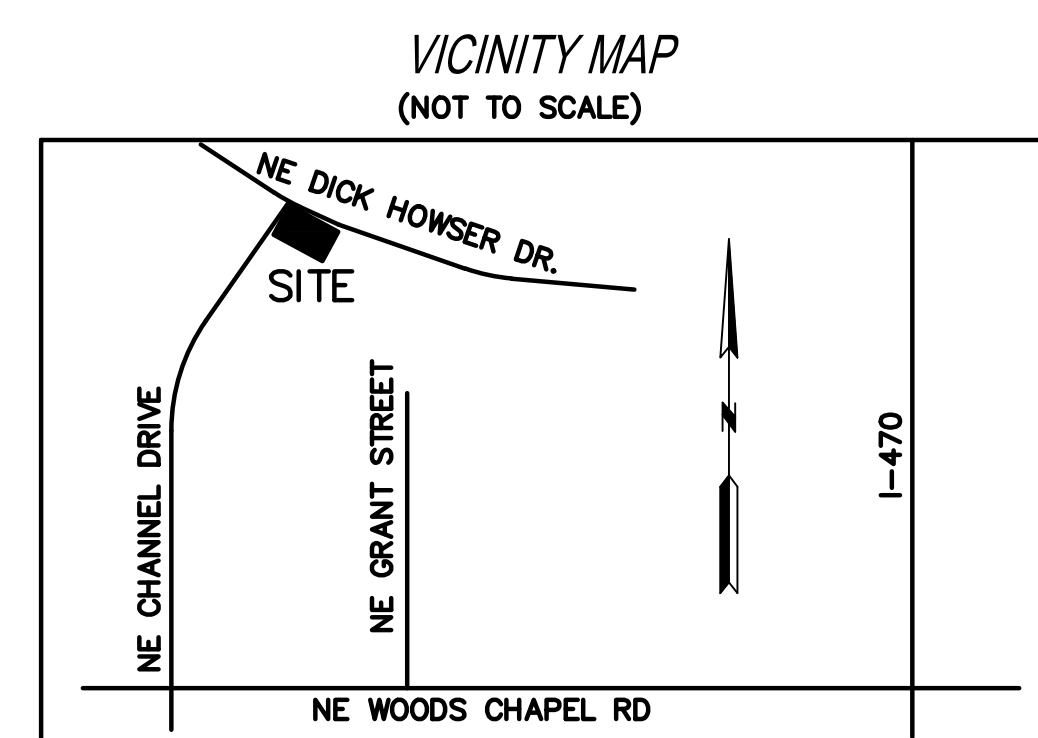
GENERAL NOTES:

1. The underground utilities shown herein have been plotted from available information and do not necessarily reflect the actual existence, or nonexistence, size, type, number, or locations of these or other utilities. The contractor shall be responsible for verifying the actual locations of all underground utilities, shown or not shown, and said utilities shall be located in the field prior to any grading, excavation, or construction of improvements. These provisions shall in now way absolve any party from complying with the "UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT", Chapter 319, RSMO.
2. Gas, Water, and other Utilities shall not conflict with the depth or horizontal location of existing and proposed sanitary and storm sewers, including building laterals.
3. Prior to submittal of construction bids, the Contractor shall be required to visit the site to verify existing conditions and proposed improvements.
4. The Contractor shall be responsible for notification and coordination with all Utility Companies.
5. The Contractor shall notify the Engineer immediately of any discrepancies in the plans "PRIOR" to installation or fabrication of structures.
6. All curb shall be CG-1 unless otherwise noted.

PLANS PREPARED FOR
Lakewood Homeowners Assoc.
651 NE Andrews Circle.
Lee's Summit, MO 64064
Contact: Mark Reid
816-820-6621

PLANS PREPARED BY
HG Consult, Inc.
1411 NE Todd George
Lee's Summit, MO 64086
Contact: Kevin Sterrett
816-703-7098

PROJECT BENCHMARK:
Chiseled Plus in concrete sidewalk
approximately 35' west from the SE
corner of parking lot.
Elevation = 929.41

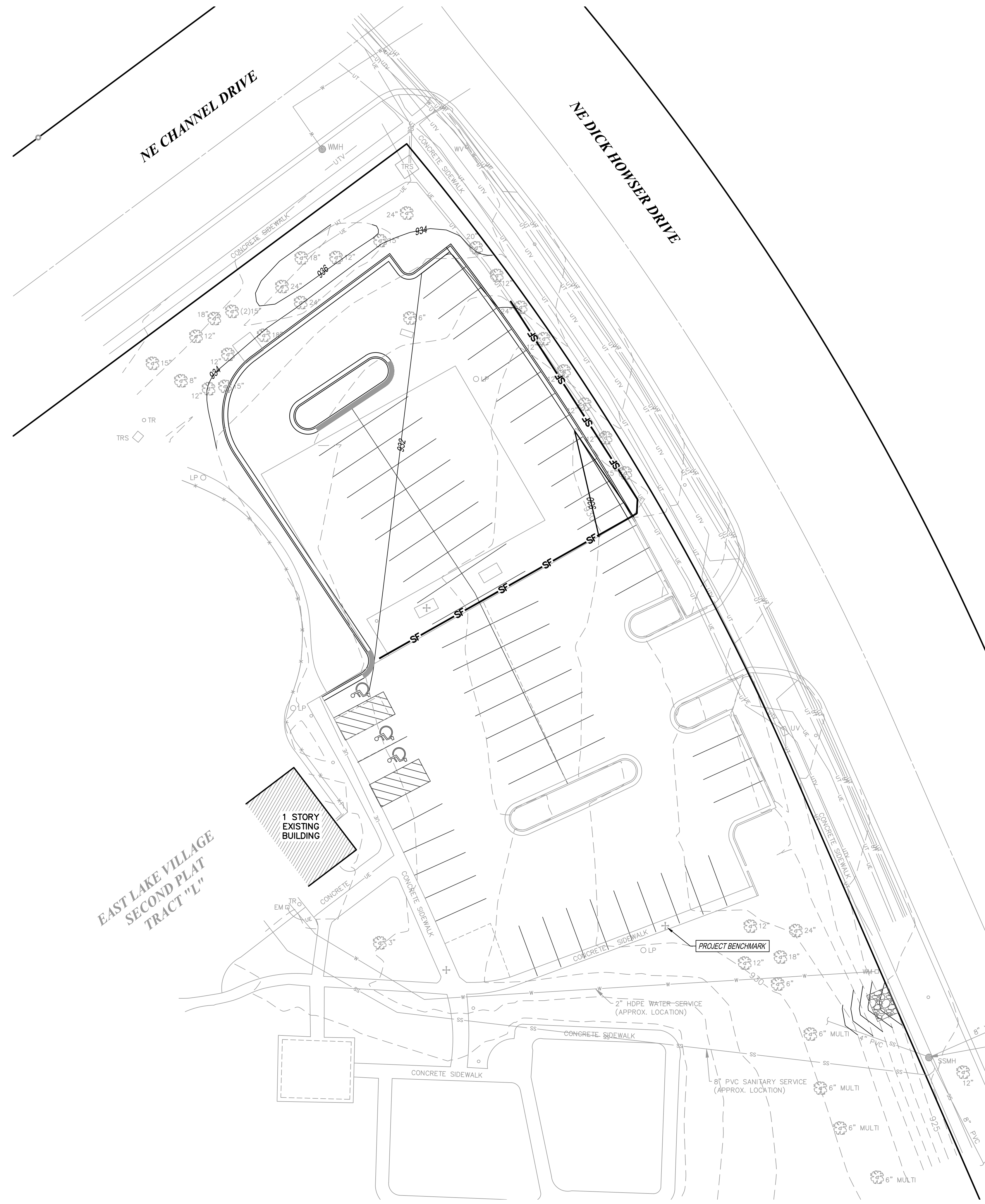


COVER SHEET

LAKWOOD HOME OWNERS ASSOC.
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO.
43106-Topo-2022-07-27
DRAWING NO.
22-026b
DATE
September 7, 2022
JOB NO.
22-026

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GRADING AND DRAINAGE NOTES:

Information pertaining to under ground utilities was obtained from available records and field locations when possible, but the contractor must determine the exact location and elevation of all existing utilities by digging test pits by hand at all utility crossings in advance of machine trenching. If clearances are less than specified on these plans or 24", which ever is less, contact the Engineer and the Owner/ Developer prior to proceeding with construction.

All structures located within Right Of Way or otherwise noted on these plans shall be constructed per City Standards. If structure(s) are not prototypical or construction cannot be achieved contractor shall submit shop drawing to HG Consult, for review and approval.

Contractor shall be responsible for relocation or removal of existing underground utilities shown or not shown at no additional cost to the owner.

Contractor shall coordinate with utility companies on adjusting existing utility line as required by cut and fill at no additional cost to the owner.

Contractor shall be held responsible for the design and implementation of sheeting, shoring, bracing and special excavation measures required to meet OSHA, Federal, State and Local regulations pursuant to the installation of the work indicated on these drawings.

All disturbed areas and slopes shall be graded smooth and (4") of top soil applied. The area shall be seeded and watered until hardy grass growth has been established.

Storm drain pipe bedding shall be installed per APWA, section 2100.

See Erosion Control Plan for rip rap pad sizes.

Elevations are called out to top of curb, top of pavement, or top of structure, unless otherwise noted.

Parking lot grading shall be performed to route storm water as directed to the storm collection system.

All curb shall be CG-1, unless otherwise noted.

Clear and grub areas to be filled, remove trees, vegetation, roots, or other debris, and other materials that would affect the stability of the fill.

Ensure that fill material is free of brush, rubbish, rocks, logs, stumps, building debris, and other materials inappropriate for constructing stable fills.

Do not incorporate frozen material or soft, muck, or highly compressible materials into fill slopes.

Permanently stabilize all graded areas after final grading is completed on each area of the grading plan. apply temporary stabilization measures on all graded areas when work is to be interrupted or delayed (see Erosion Control Plan).

Contractor shall match top of proposed drainage structures with proposed grades. If a discrepancy occurs between proposed grades and proposed structure tops, the grading shall govern. If the discrepancy is more than 4 inches the contractor shall contact the Engineer of Record.

All utilities, including storm sewer, shown within public easements or right of ways shall be constructed to the governing agency's specifications. All other utilities shall be constructed to the client's or the governing agency's specifications, whichever is more stringent, if there is a question as to which specifications should apply the contractor shall contact the Engineer of Record.

All existing structures, unless otherwise noted to remain. All fencing, trees, & etc., within construction area shall be removed & disposed of off site. unless otherwise noted. Any burning on site shall be subject to local ordinances and/or the owner/developers standards and specifications.

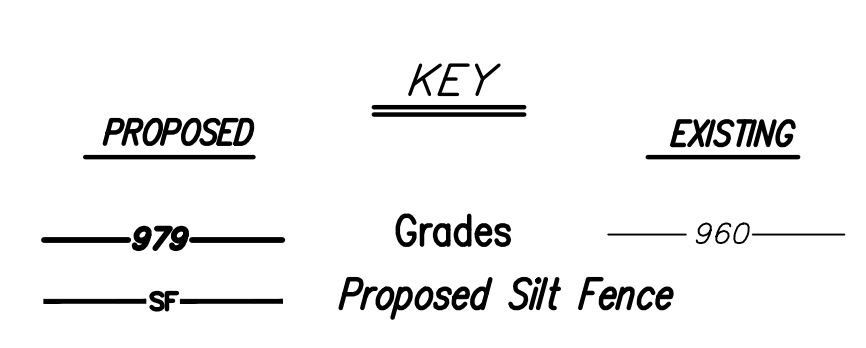
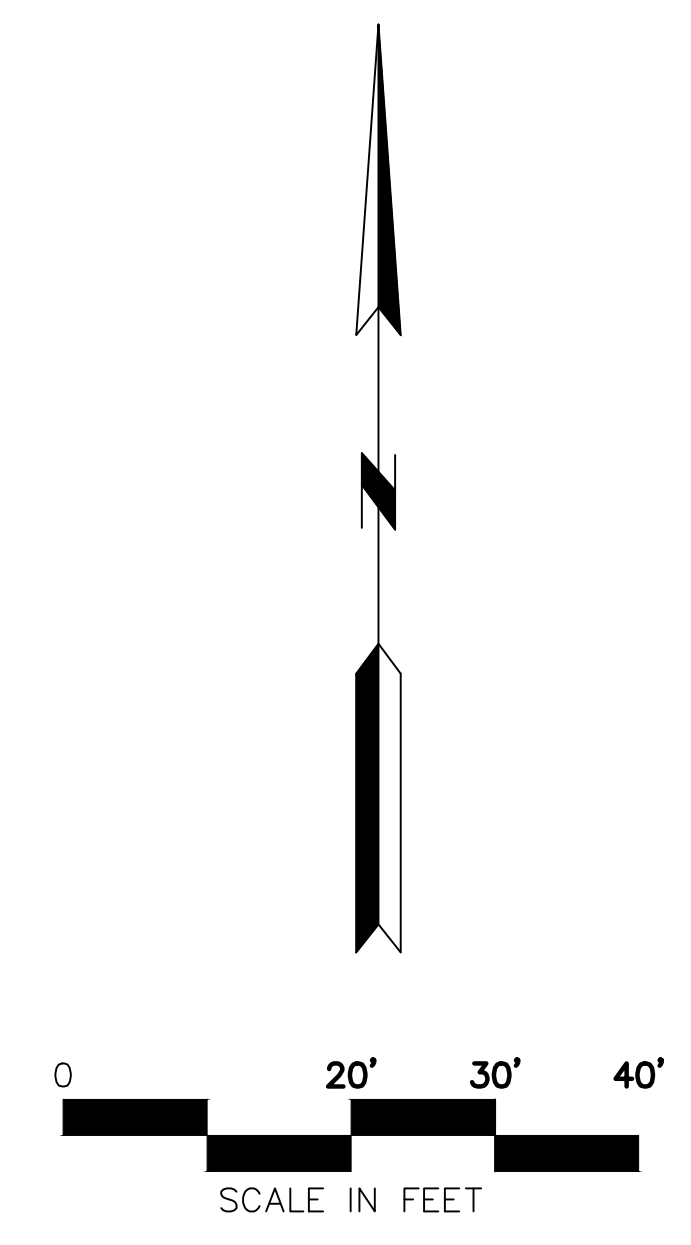
All drainage structures shall be pre-cast.

All drainage structures and storm sewer pipes shall meet heavy duty traffic (H20) loading and be installed accordingly.

Contractor shall notify all utility companies having underground utilities on site or in Right-Of-Way prior to excavation. Contractor shall contact utility locating company (STATE ONE CALL system) and locate all utilities prior to grading start.

Site grading shall not proceed until Erosion Control measures have been installed.

After permits have been obtained and Erosion Control measures installed, the contractor shall grade building pad & aprons to 0" to - 1/2" of subgrade.



PROJECT BENCHMARK:
Chiseled Plus in concrete sidewalk
approximately 35' west from the SE
corner of parking lot.
Elevation = 929.41

EROSION CONTROL GENERAL NOTES:

The contractor shall inspect, repair and add stone to the stone construction entrance when it becomes saturated with mud to insure it functions as it was intended.

The exposed slope shall be graded to drain and seeded with a temporary seed mix.

Temporary sediment control measures (silt fence, construction entrance, etc.) shall be maintained until all contributing areas are graded and stabilized.

A complete plan for maintenance of control devices is contained within the Storm Water Pollution Prevention Plan which is part of the site work specifications.

Dust control on site shall be minimized by spraying water on dry areas of the site. The use of oils and other petroleum based or toxic liquids for dust suppression is strictly prohibited.

If the majority of mud or dirt is not removed from existing traffic, contractor shall establish vehicle wash areas at construction traffic exit points and vehicle operation shall be interrupted and trapped before wash water is allowed to be discharged offsite. In-use off will not be allowed outside the project construction limits.

Repair eroded areas immediately, reseed as necessary to maintain good vegetative cover, mow vegetative cover to maintain a maximum height of six inches, and remove trash as needed.

Inspect and repair the collection system (i.e. catch basins, piping, swales, rip rap, etc.) after significant rainfall to maintain proper functioning.

All existing structures, fencing, trees, etc., within the construction area shall be removed and disposed of off site per state and local ordinances. Any burning on site shall be subject to local ordinances.

All wash water (concrete truck, vehicle cleaning, equipment cleaning, etc.) shall be disposed of in a manner that prevents contact between these materials and storm water that is discharged from the site.

Additional erosion and siltation control methods and devices may be required as directed by the City or MCDNR.

All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately.

Contractor shall remove all temporary erosion control devices (silt fences and stone) and dispose of per local codes once the site has been stabilized. Contractor shall refer to the grading plan for final grades.

Land disturbing activities shall not commence until approval to do so has been received by governing authorities.

No land clearing or grading shall begin until all erosion control measures have been installed.

All exposed areas shall be seeded as specified within 14 days of final grading.

Should construction stop for longer than 14 days, the site shall be seeded as specified.

After every significant rainfall event of 1/2" or greater and at least once a week:

- Inspect the detention basin system for sediment accumulation, erosion, trash accumulation, vegetated cover, and general condition.
- Check and clear the outlet device of any obstructions.

This plan shall not be considered all inclusive as the general contractor shall take all necessary precautions to prevent soil sediment from leaving the site.

General Contractor shall comply with all State and Local ordinances that apply.

Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection. If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.

General Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.



DATE	REVISION	BY	CAAPP		
2/28/2022	Revisions per City comment letter dated 1/24/23	1	RMS	RMS	RMS
2/27/2022	Revisions per City comment letter dated 2/14/23	2	RMS	RMS	RMS
2/12/2022	Address Preliminary/Developer Parking Expansion	3	RMS	RMS	RMS
2/22/2022	Address Notes on Developer Plan to confirm City Review Comment Letter 2/22/23	4	RMS	RMS	RMS

R. KEVIN STIERRETT, KS E-21889
September 8, 2022

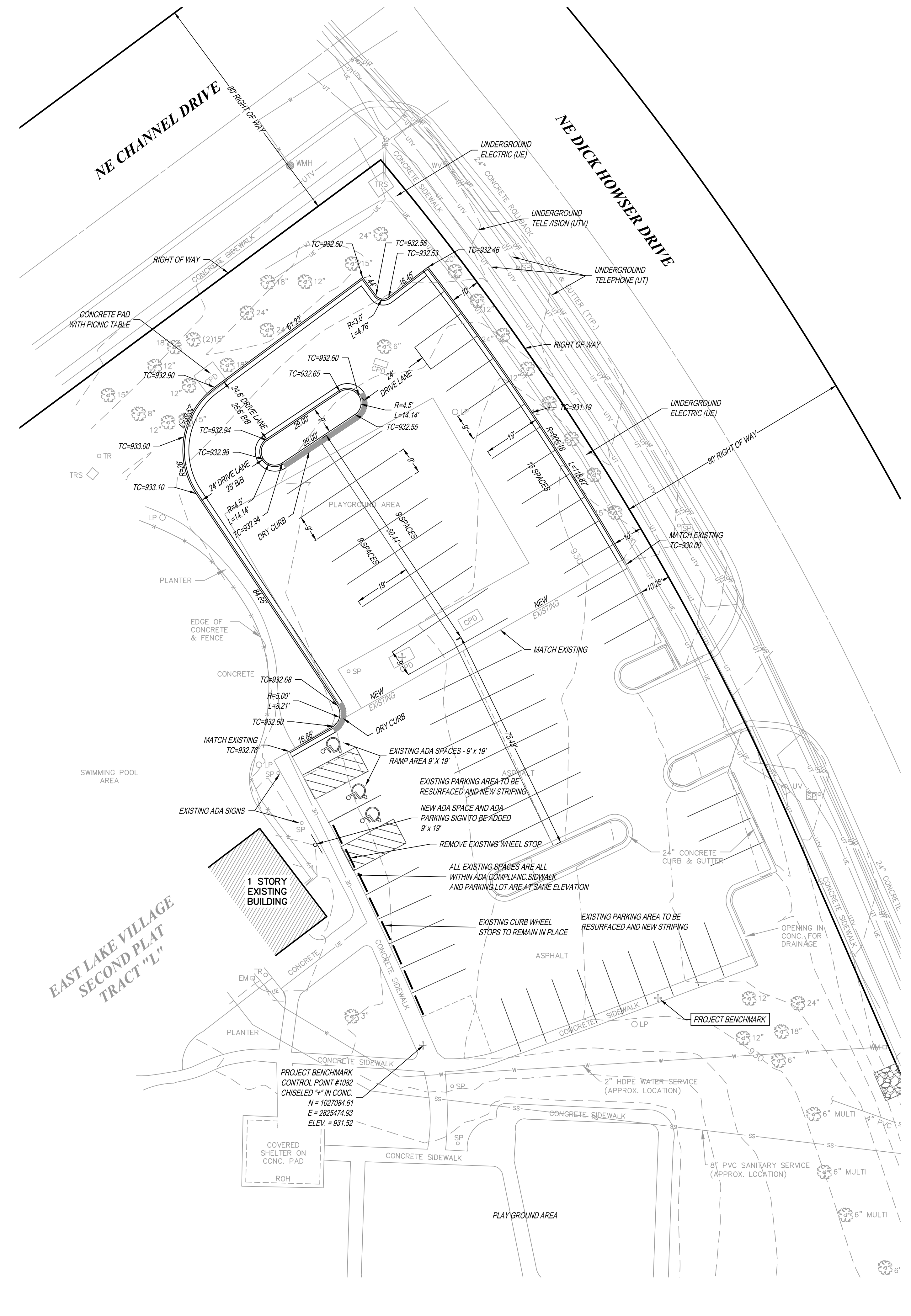
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CORPORATE LICENSE No. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

GRADING and EROSION CONTROL PLAN

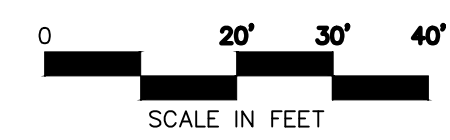
LAKEWOOD HOME OWNERS ASSOC.
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO. 43106-Topo-2022-07-27
DRAWING NO. 22-026b
DATE September 7, 2022
JOB NO. 22.026
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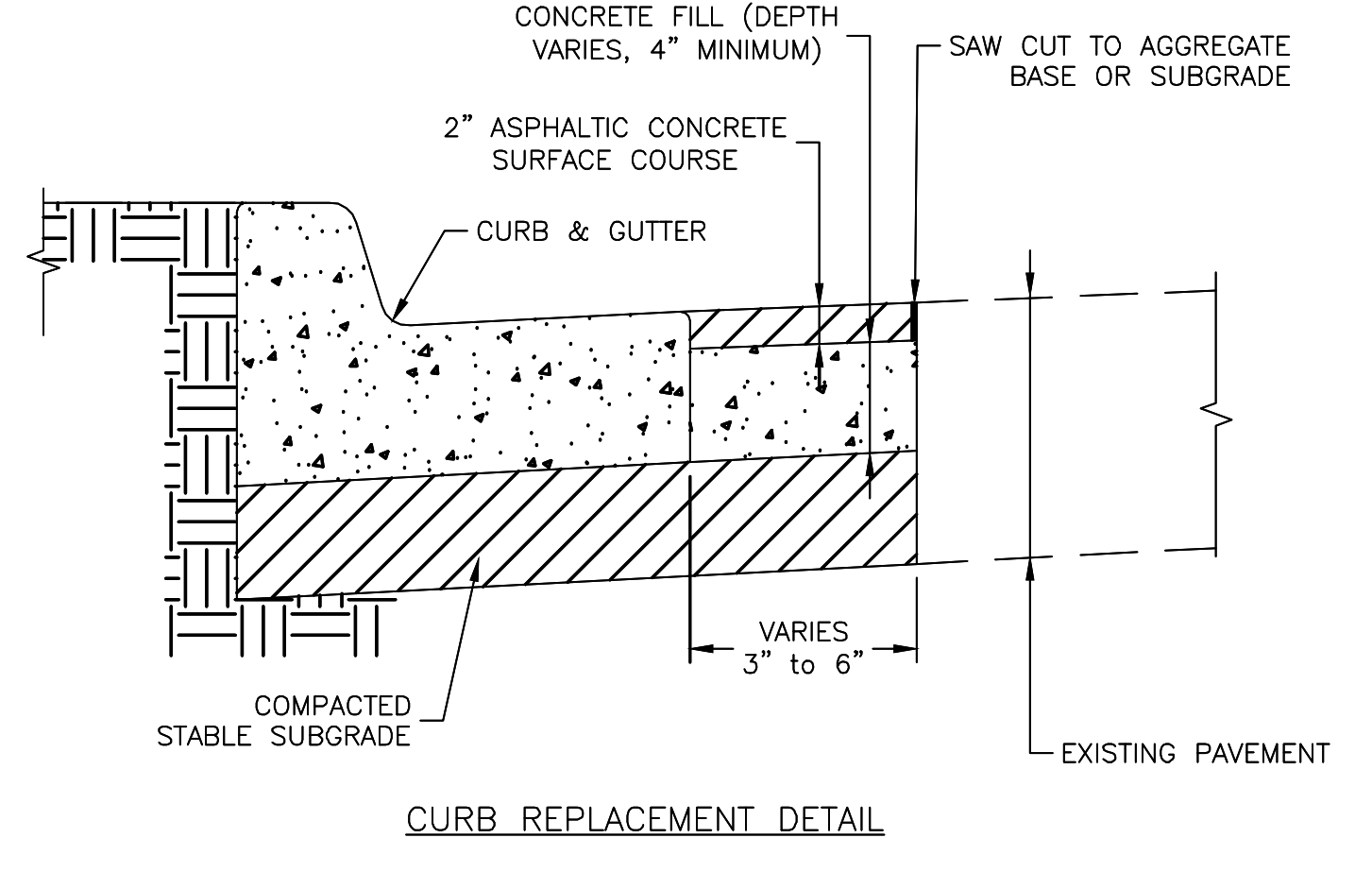
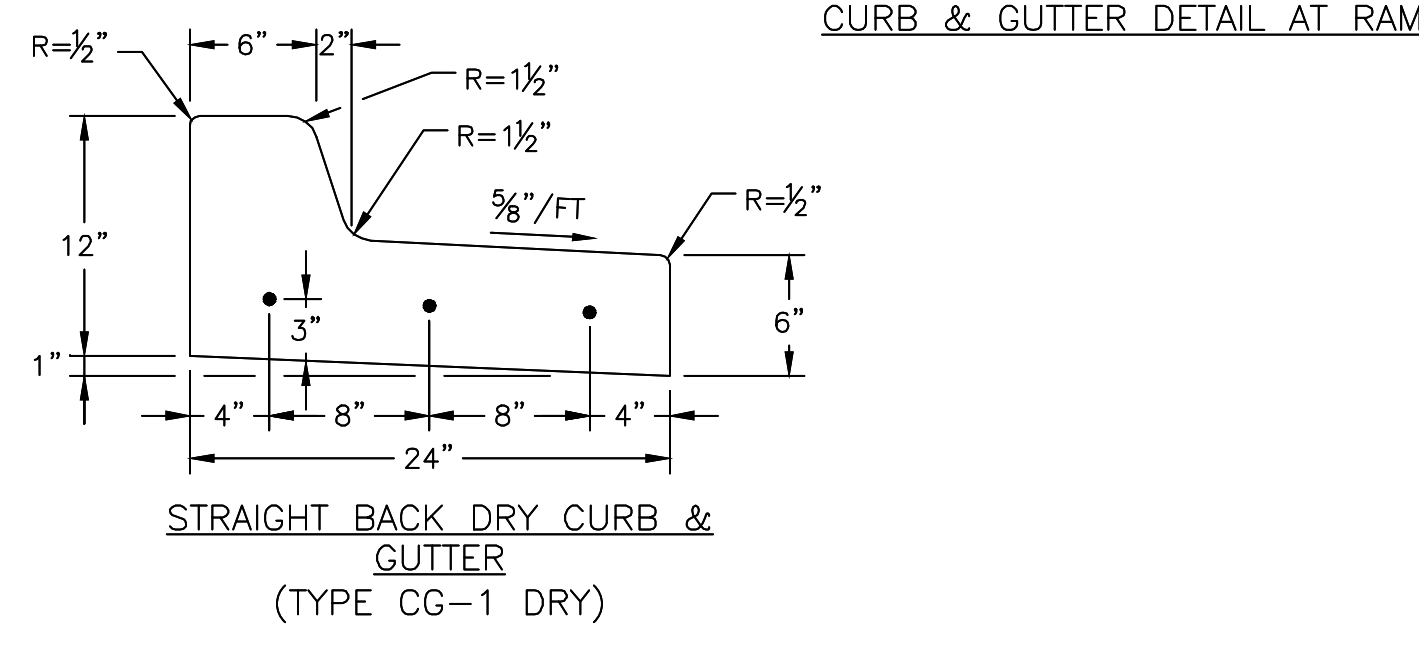
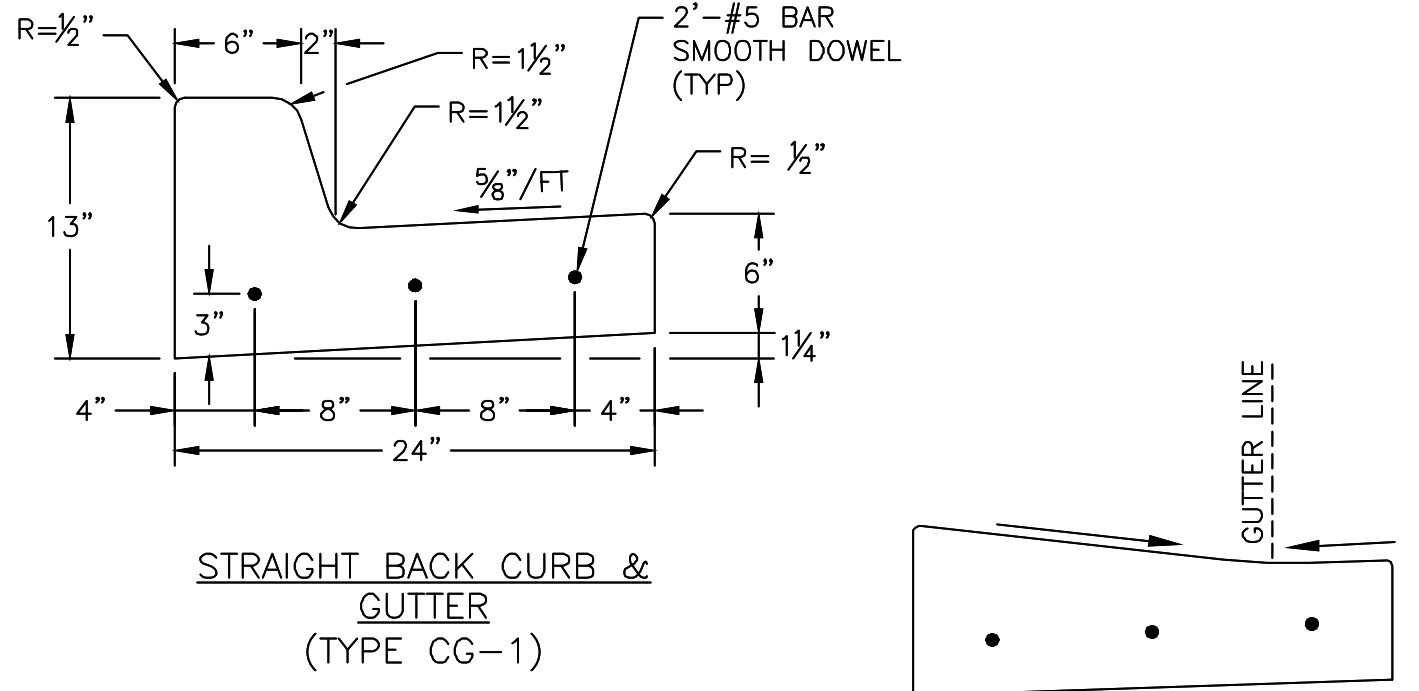
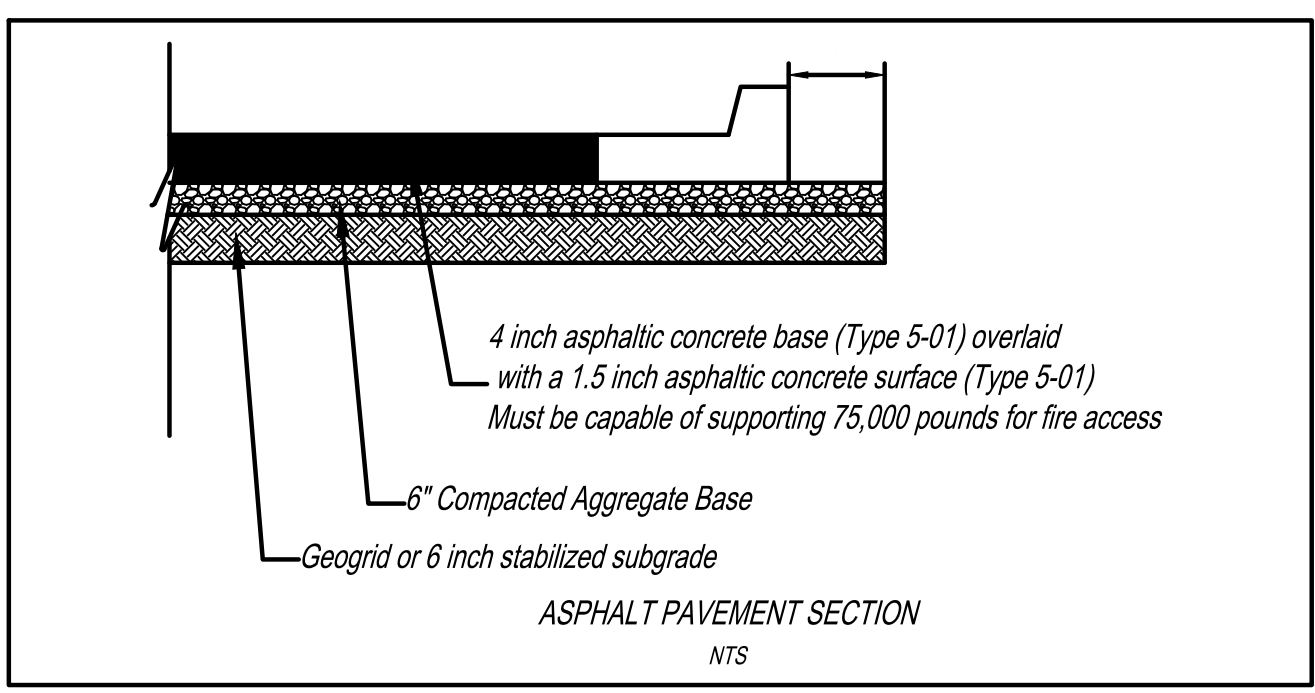
LEGEND

CPD	CONCRETE PAD
EM	ELECTRIC METER
	FINISHED FLOOR
	FLOWLINE
LP	LIGHT POLE
PVC	POLYVINYL CHLORIDE PIPE
ROH	ROOF OVERHANG
SSMH	SANITARY SEWER MANHOLE
SP	SIGN POST
TR	TELEPHONE RISER
TRS	TRANSFORMER
	TREE(DIA)
UPC	UNKNOWN PIPE CONNECTION
UV	UTILITY VAULT
VCP	VITRIFIED CLAY PIPE
WMH	WATER MANHOLE
WM	WATER METER
WV	WATER VALVE
X	FENCE
SS	SANITARY SEWER LINE
UE	UNDERGROUND ELECTRIC LINE
UT	UNDERGROUND TELEPHONE LINE
UTV	UNDERGROUND TELEVISION LINE
W	WATER LINE



SITE INFORMATION:
 Property Description: East Lake Village, Second Plat; Tract "L"
 Site Address: 4140 NE Channel Drive, LSMO 64064
 Containing 305,523 SF (7.01 acres)
 Zoning: R1 - Single Family Residential
 Impervious Coverage Allowed: 11,413.39 SF
 Total parking spaces: 43 spaces
 Additional Parking Spaces Provided: 31 spaces
 ADA Spaces Required/Provided: 2/1
 Standard Space Size: 9'x19'
 Anticipated Completion: Summer 2023
 Watershed - Maybrook Tributary / Little Blue Tributary

- NOTES:**
- All construction and materials to conform to the City of Lee's Summit Design and Construction Manual and the specifications and details per the Kansas City Metro Chapter APWA. It is advisable that the contractor become familiar with this document in the event that there is a discrepancy between this and the approved plan and the Manual. Advise the design engineer of any discrepancy prior to bidding or working on this project.
 - Sill fence shall be installed at the perimeter of all disturbed areas within the site during construction for erosion control.
 - The contractor shall contact the City's Development Services Engineering Inspection to schedule a pre-construction meeting with a field engineering inspector prior to any land disturbance work at (816)369-1200.
 - Contractor to locate and relocate any existing utilities that may conflict with construction as necessary.
 - All curbs shall be CG-1 or integral with the sidewalk.
 - A handicap parking sign, 5' above finish grade, shall be placed at the head of the designated parking space.
 - There shall be two way traffic movement.
 - Perimeter parking area dimensions shown are to the back of curb.
 - This site is not located within a FEMA National Flood Hazard - Zone X 2009SC0430G (City of Lee's Summit 291074) Dated: 1/20/2017
 - ADA accessible ramp to have detectable surface on public handicap ramps only. Detectable surfaces do not need to be installed on the ramps at commercial drives. See KCAPWA web site for details.
 - All ADA accessible ramps are designed within construction tolerances.
 - Other coordinates are pointed to or measured from the back of curb, back of wall or property corner location.
 - Curb to be installed at proposed drives by saw cutting a clean straight edge of existing asphalt and forming curb to edge of gutter existing elevation.
 - There are no oil and gas wells located within this site, per the Missouri DNR GeoSTRAT Geological Survey Website re-verified on 01/25/2023



- GENERAL NOTES**
- 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
 - 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
 - CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH
 - KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
 - ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
 - CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

DATE	REVISION	BY	CAAPP
2/16/2023	Revisions per City comment letter dated 1/24/23	ASJ	RMS
2/27/2023	Revisions per City comment letter dated 2/14/23	ASJ	RMS
5/2/2023	Address Parking Expansion	ASJ	RMS
5/23/2023	Address Note on Developer Plan to confirm City Review Comment Letter 5/22/23	ASJ	RMS

STATE OF MISSOURI
 R. Kevin J. Jowers
 5/23/23
 R. KEVIN J. JOWERS, KS E-21889
 September 6, 2022
 MO E-26440

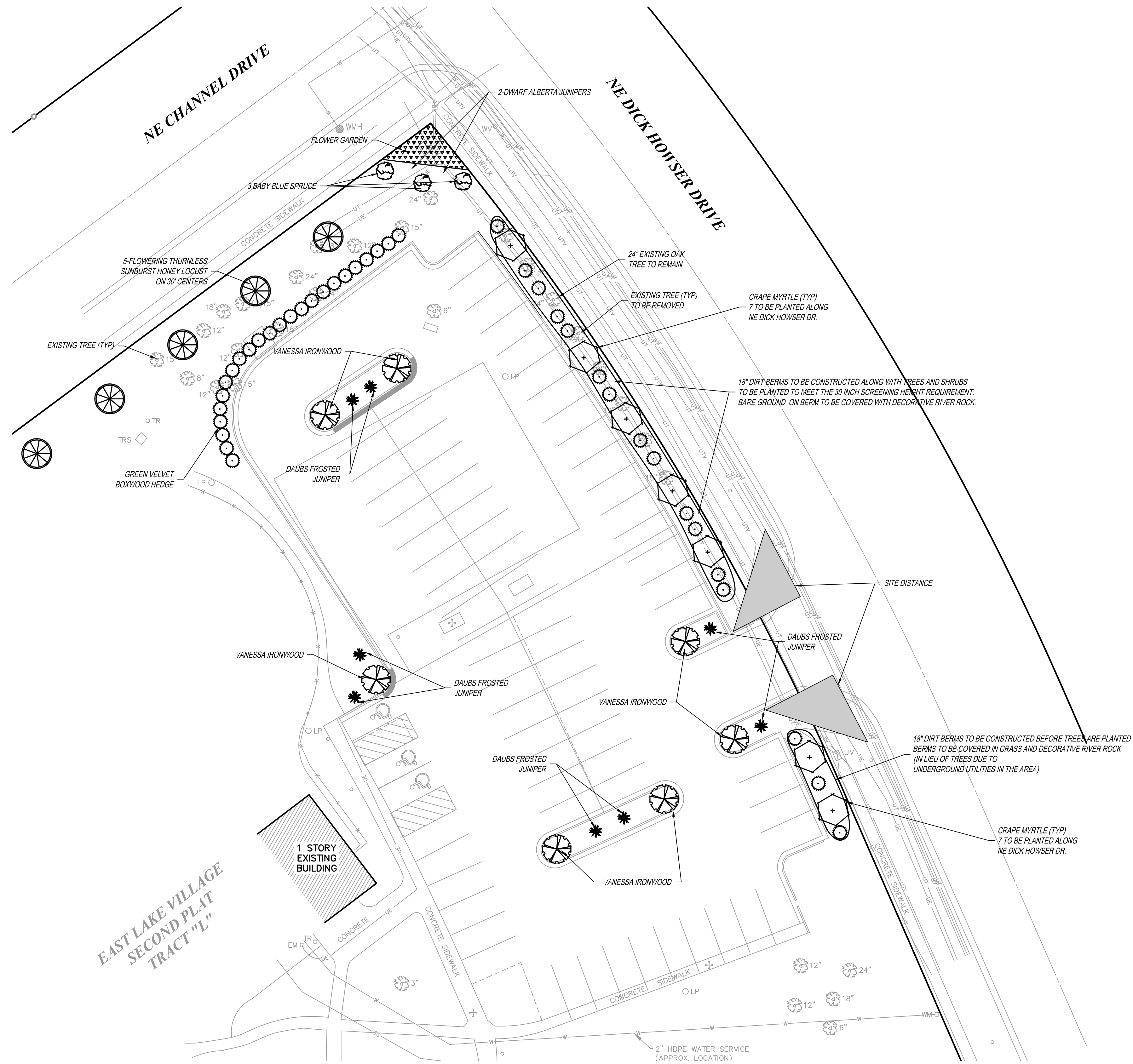
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LAKWOOD HOME OWNERS ASSOC.
 LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

DIMENSION and TOP of CURB PLAN

X-REF NO. 43106-Topo-2022-07-27
 DRAWING NO. 22-026b
 DATE September 7, 2022
 JOB NO. 22.026

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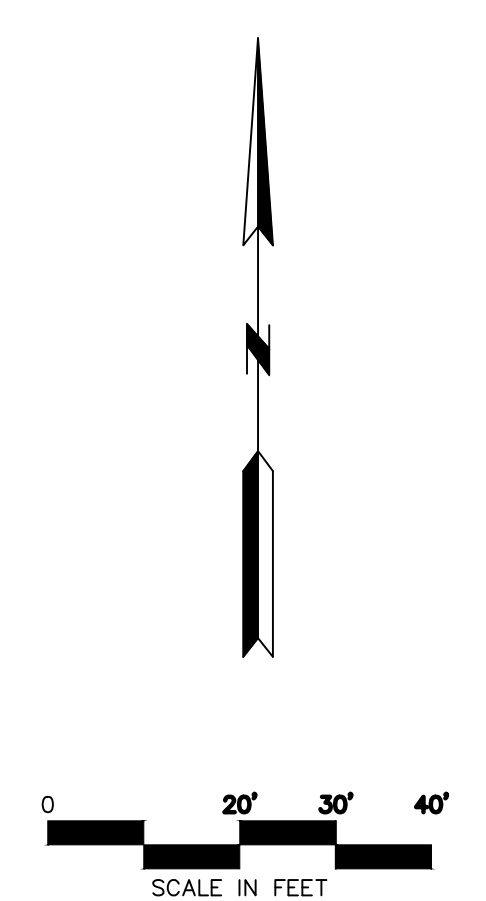
Potential Trees

Symbol	Common Name	Botanical Name	Size	Condition
	Sunburst Honey Locust	Gleditsia Triacanthos	3" cal	BB 6" Above Ground
	Crape Myrtle	Lagerstroemia Indica	3" cal	BB 6" Above Ground
	Vanessa Ironwood	Parrotia Persica	3" cal	BB 6" Above Ground
	Baby Blue Spruce	Picea Pungens	1" cal	BB 8' at Planting
	Daubs Frosted Juniper	Juniperus Pfitzeriana	1" cal	BB 8' at Planting
	Boxwood Hedge	Buxus Sempervirens	1. cal	BB 24" to 30" at Planting

- NOTES
- Open areas not covered with other landscaping materials shall be covered with sod.
 - All trees/shrubs are shown graphically, not numerically.
 - An 18 inch tall berm will be constructed along NE Dick Howser Drive.
 - Trees shall be located a minimum distance of 5 feet from the sanitary and water lines as measured from the outside of the mature tree trunk to the outside of the pipe.
 - The trees and shrubs shown are for graphical purposes and does not represent the actual count required per the worksheet.
 - Evergreen trees shall be 8 feet in height at planting.
 - Shrubs are to be balled and burlapped or 5-gallon container.

Worksheet for Tree and Shrub Requirements:

A - Length of street frontage NE Channel Dr.	= 120 LF
B - Length of street frontage NE Dick Howser Dr.	= 205 LF
C - Trees required on street frontage = 1/30 LF	= 11 Trees
D - Trees provided along Channel Dr. frontage	= 10 Trees
E - Trees provided within new expansion area	= 7 Trees
F - Shrubs provided along Channel Dr. frontage (1 per 20')	= 16 Shrubs
G - Parking lot expansion area	= 11,470 SF
H - Green space required in parking lot (E x 5%)	= 324 SF
I - Green space provided	= 324 SF
J - Hedge row in place of shrubs (in lieu of trees due to underground utilities)	= 257 LF
K - Additional Trees Provided (Added to Existing Islands)	= 11 Trees
L - Flower garden add to corner of NE Channel Dr and NE Dick Howser Dr.	= 200 SF



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2/16/2023	Revisions per City comment letter dated 1/24/23	1	ASJY	RMS
2/7/2023	Revisions per City comment letter dated 2/14/23	2	ASJY	RMS
2/12/2023	Address Plan/Check/Dimension/Planting Expansion	3	ASJY	RMS
2/22/2023	Address/Note on Dimension/Plan to confirm City Review/Comment Letter 2/22/23	4	ASJY	RMS

Professional Engineer Seal for R. Kevin Sterrett, State of Missouri, License No. E-1736 (KS.), dated September 8, 2022.

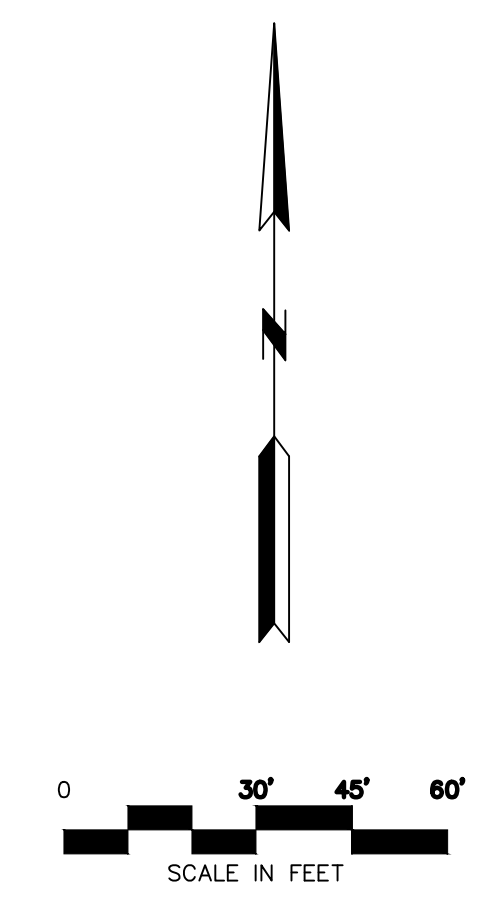
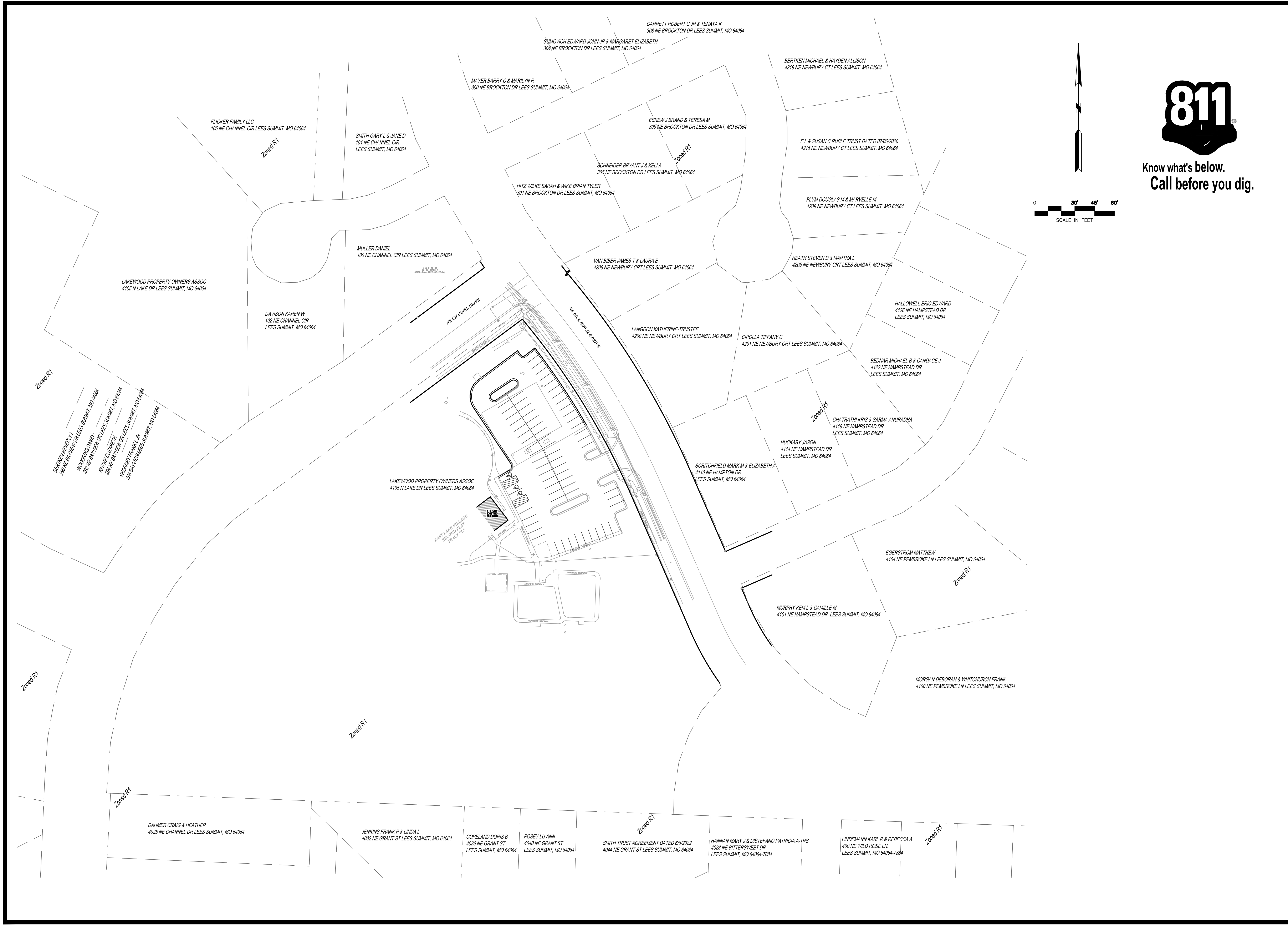
811 Consult Inc engineers planners
 1533 Locust Street, Kansas City, Missouri 64108
 CORPORATE LICENSE NO. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

LANDSCAPE PLAN

LAKEWOOD HOME OWNERS ASSOC.
 LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO. 43106-Topo-2022-07-27
 DRAWING NO. 22-026b
 DATE September 7, 2022
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4 SHEET OF 8



Know what's below.
Call before you dig.

DATE	REVISION	BY	CAAPP NO.
2/16/2022	Revisions per City comment letter dated 1/24/22	ASBY	1
2/27/2022	Revisions per City comment letter dated 2/14/22	ASBY	2
5/12/2022	Address/Parade/Calendar/Plat/Expansion	ASBY	3
5/23/2022	Address/Note on Calendar/Plat to confirm City Review Comment Letter 5/22/22	ASBY	4

STATE OF MISSOURI
 PROFESSIONAL ENGINEER
 R. Kevin Sterrett
 5/23/23

g Inc consult
 Inc engineers
 planners

1533 Locust Street, Kansas City, Missouri 64108
 CORPORATE LICENSE No. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

SURROUNDING PROPERTY MAP

LAKEWOOD HOME OWNERS ASSOC.
 LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO.
 43106-Topo-2022-07-27

DRAWING NO.
 22-026b

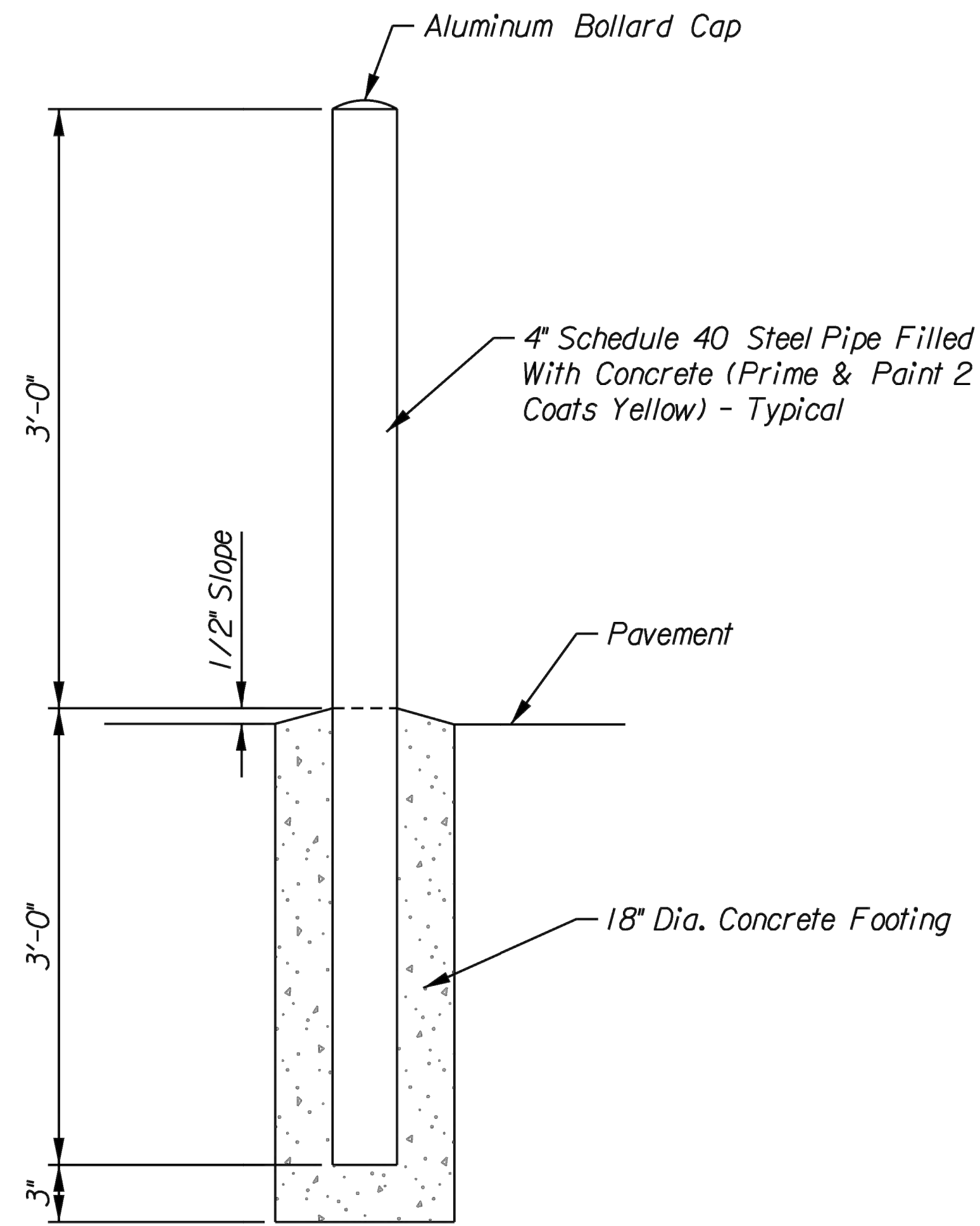
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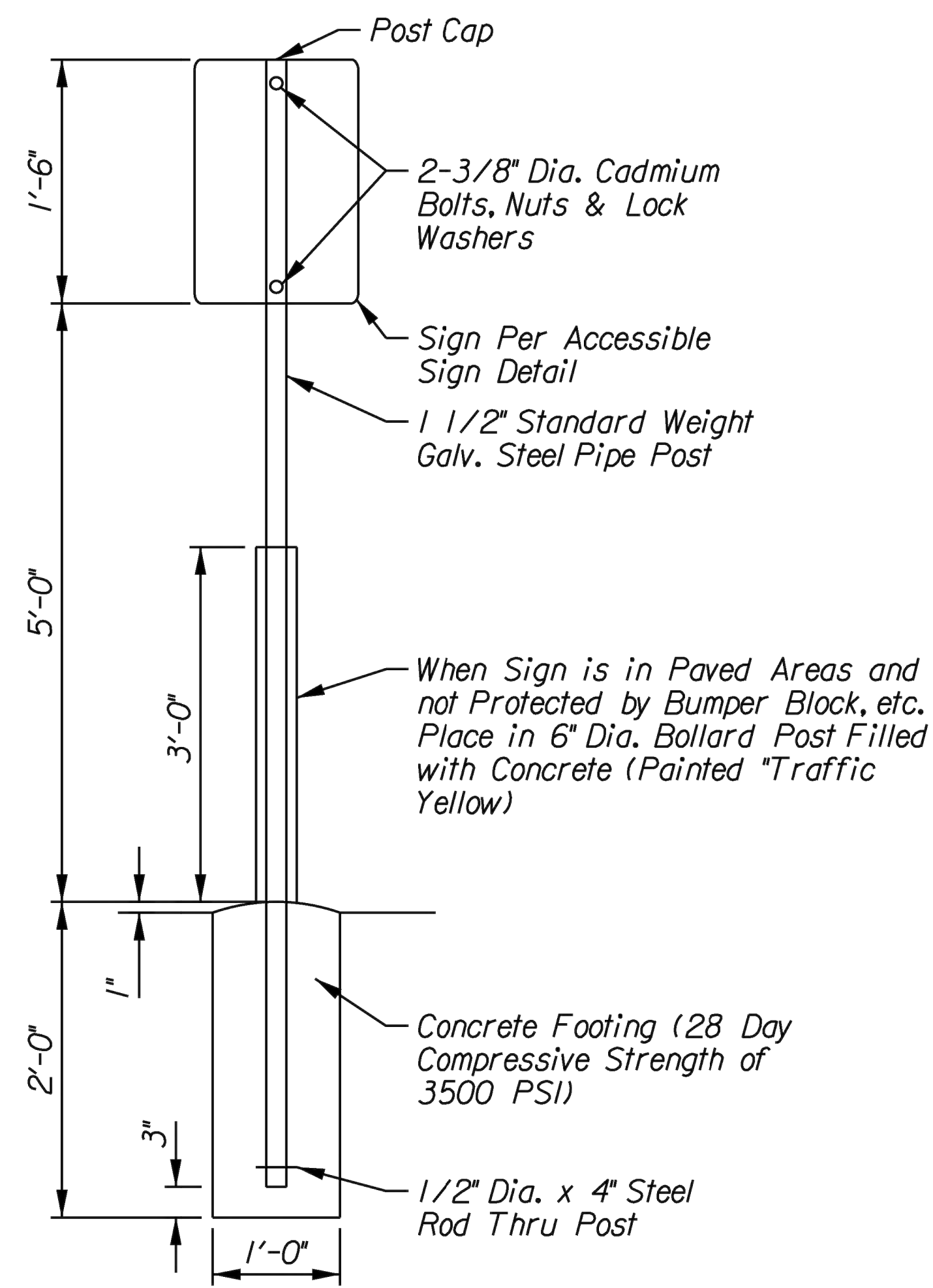
5 SHEET OF 8

R. KEVIN STERRETT, KS E-21889
 September 8, 2022, MO E-26440

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES.



BOLLARD DETAIL
N.T.S.



SIGN BASE
N.T.S.

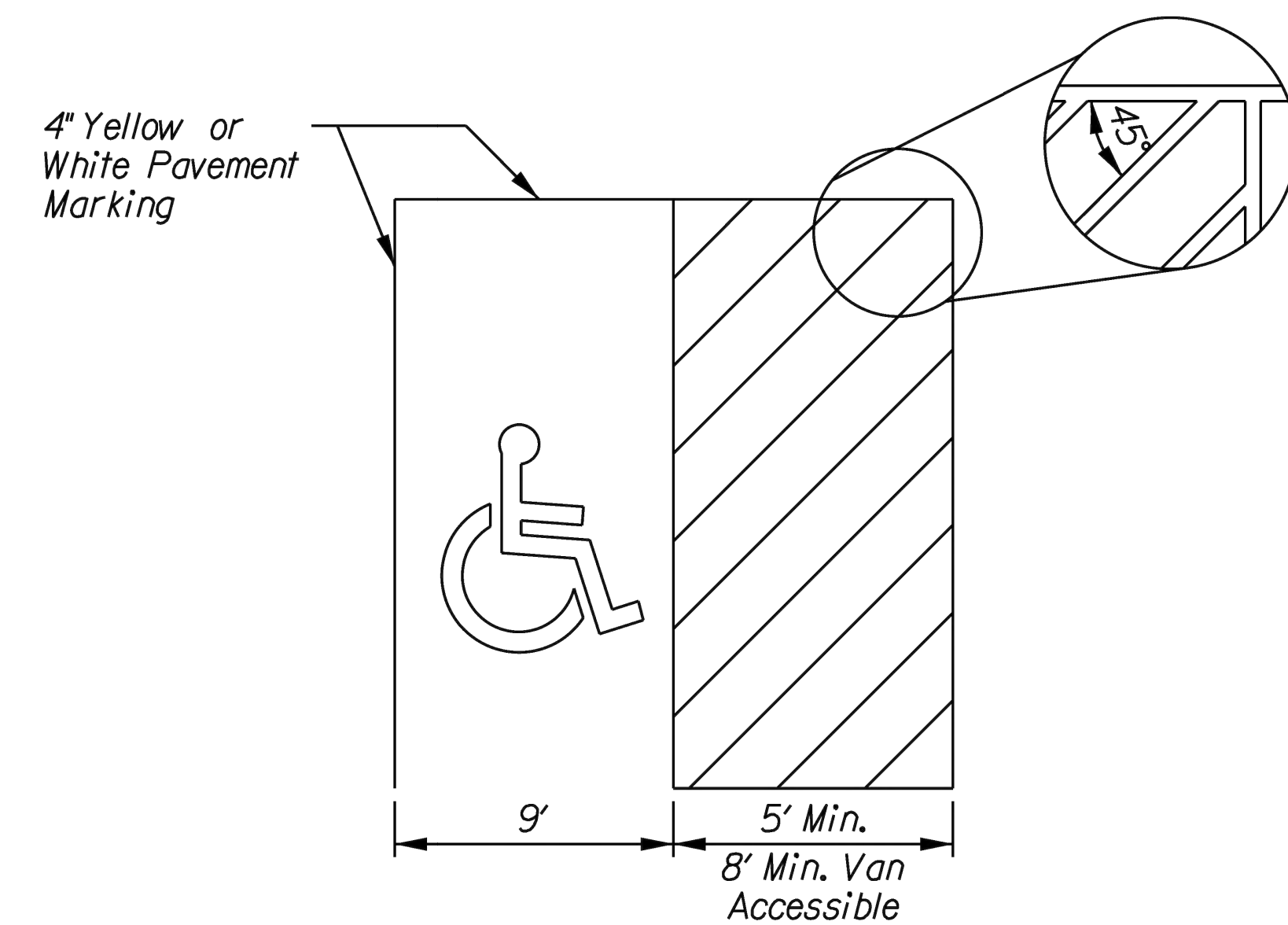


Colors
Legend and Border - Green
White Symbol on Blue Background
Background - White
(R7-8)

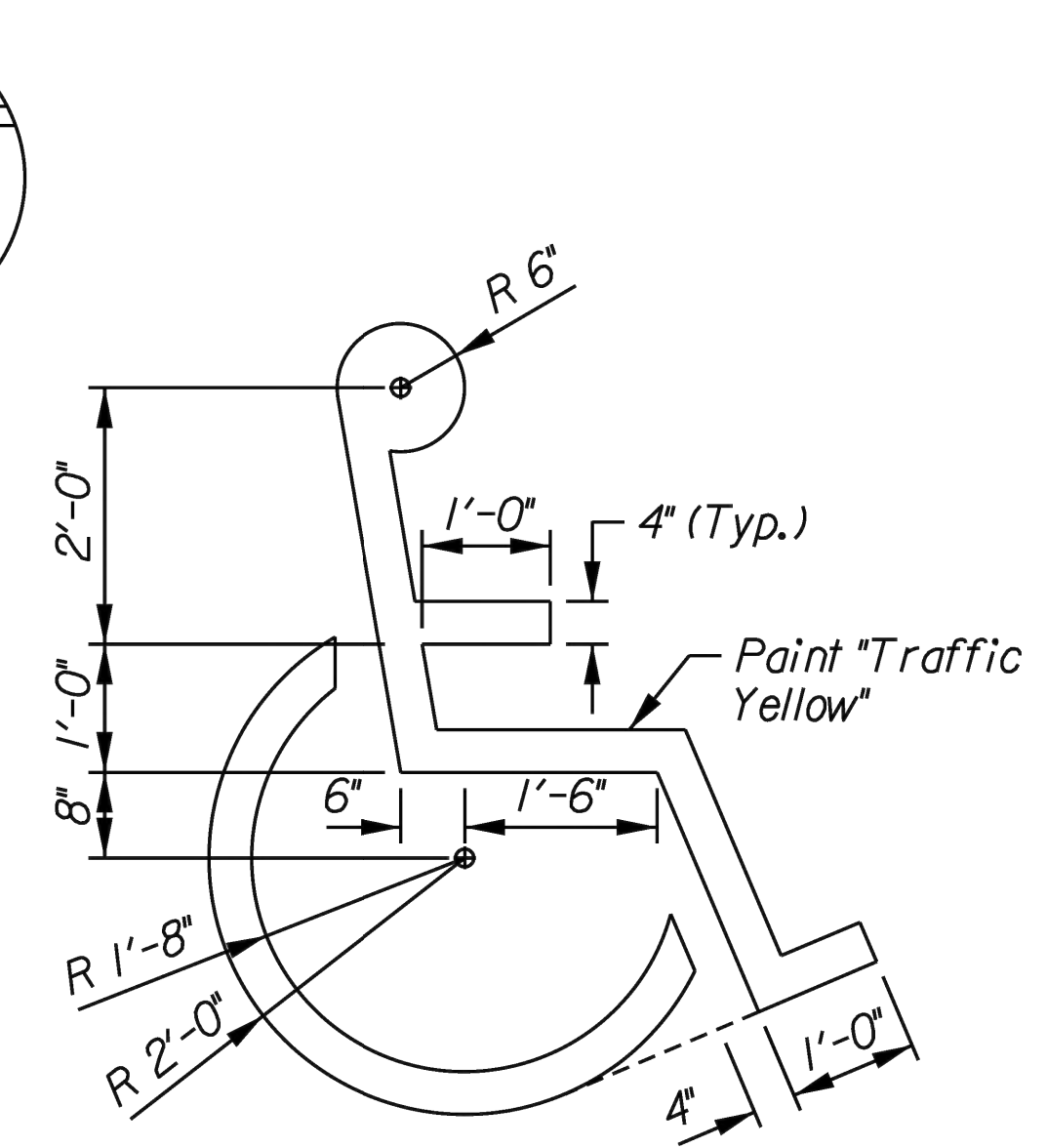


6"x12"
ACCESSIBLE SIGN DETAIL
N.T.S.

- All signs should comply with U.S. Department of Transportation Federal Highway Administration's "Uniform Traffic Control Devices", and local codes as specified. Mount signs in accordance with manufacturer's instructions.



ACCESSIBLE STRIPING DETAIL
N.T.S.



ACCESSIBLE PARKING SYMBOL
N.T.S.

NOTE: Symbol to be centered in parking space and oriented as illustrated on plans.

NO.	BY	DATE	REVISION
1	ASJ	2/16/2022	Revisions per City comment letter dated 1-14-23
2	ASJ	2/7/2022	Revisions per City comment letter dated 2-14-23
3	ASJ	2/12/2022	Added Pavement Detail for Parking Expansion
4	ASJ	2/21/2022	Added Note on Detail for Pavement Expansion



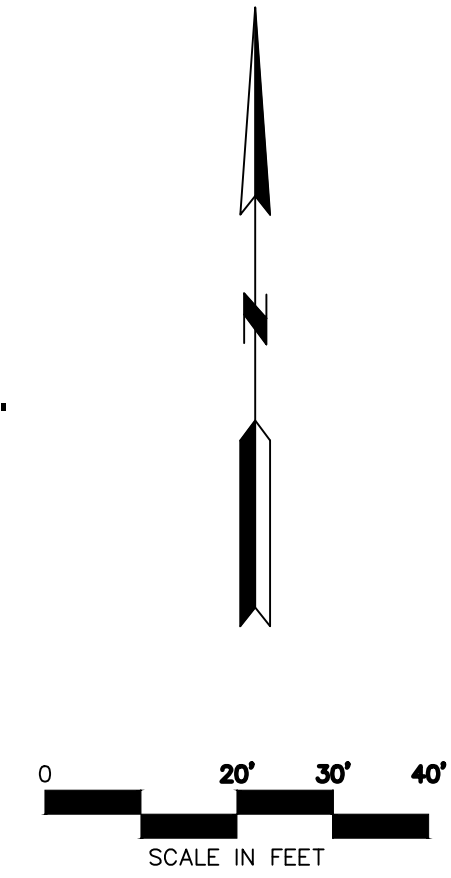
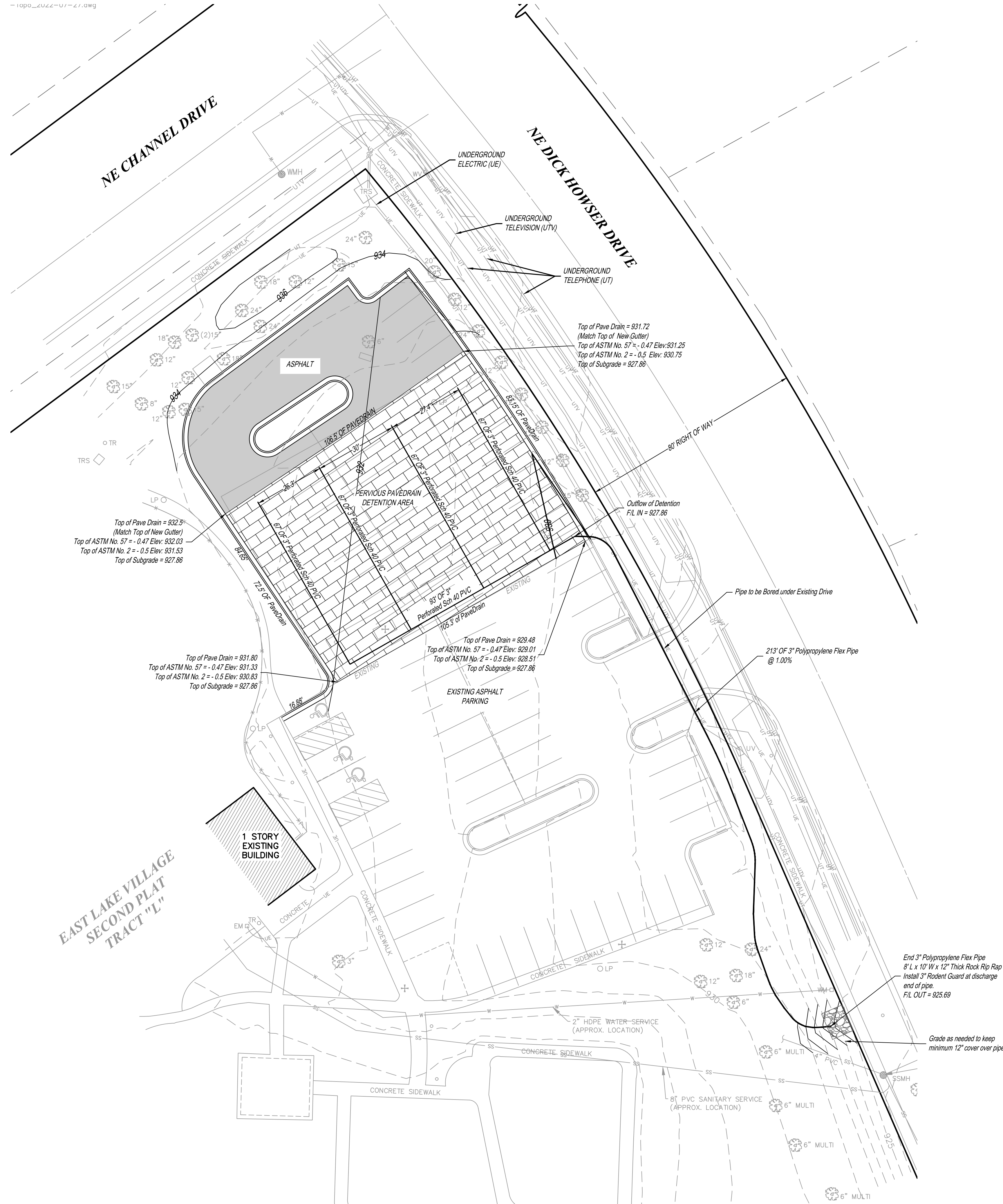
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1533 Locust Street, Kansas City, Missouri 64108
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ADA DETAILS SHEET

LAKEWOOD HOME OWNERS ASSOC.
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

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SHEET OF 8



NOTE:
SEE DETAILS SHEET 9
WWW.PAVEDRAIN.COM

- NOTES:
1. Pavedrain has a load rate of HS-25. This can be verified at Pavedrain.com in the Pavedrain Brochure, page 3, lower right hand corner.
2. Per AASHTO HS-25 standard the load rate is 10,000lbs front wheel load and 40,000 lbs per axle load.

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2/17/2023	Address Pavement Detention Parking Expansion	ASJY	RMS
2/22/2023	Address Note on Detention Flow to confirm Flow Review Comment Letter 2/22/23	ASJY	RMS
2/22/2023		ASJY	RMS

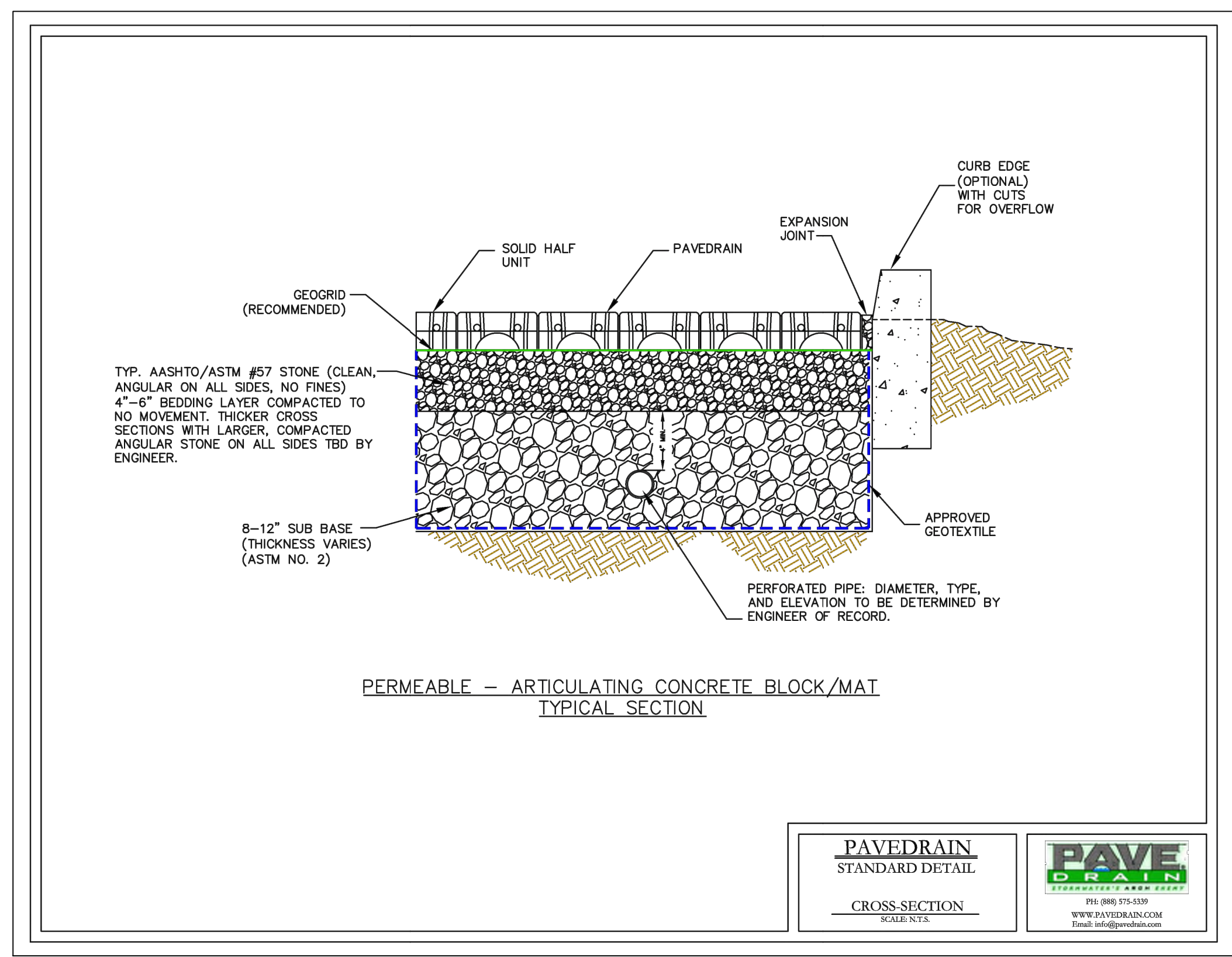
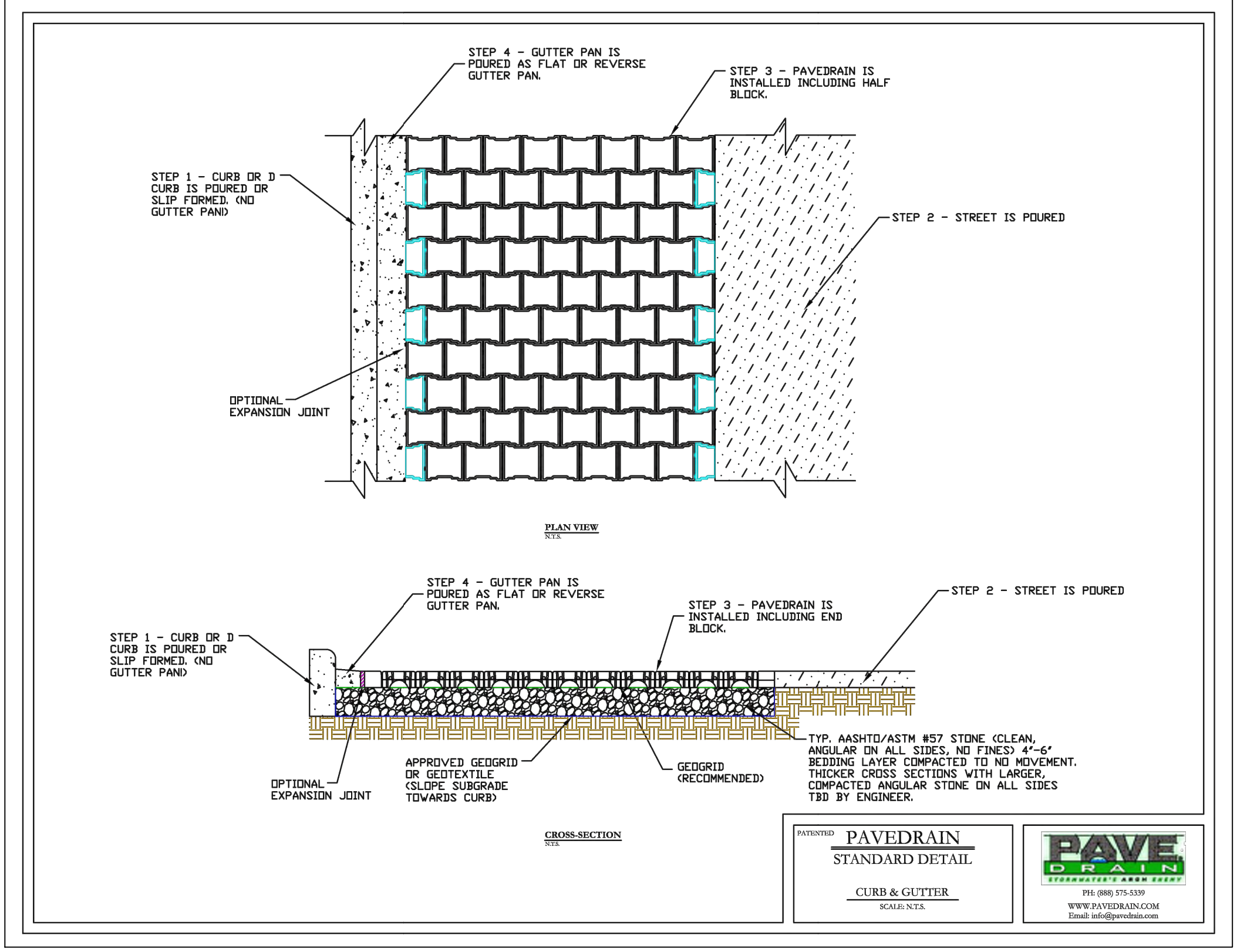
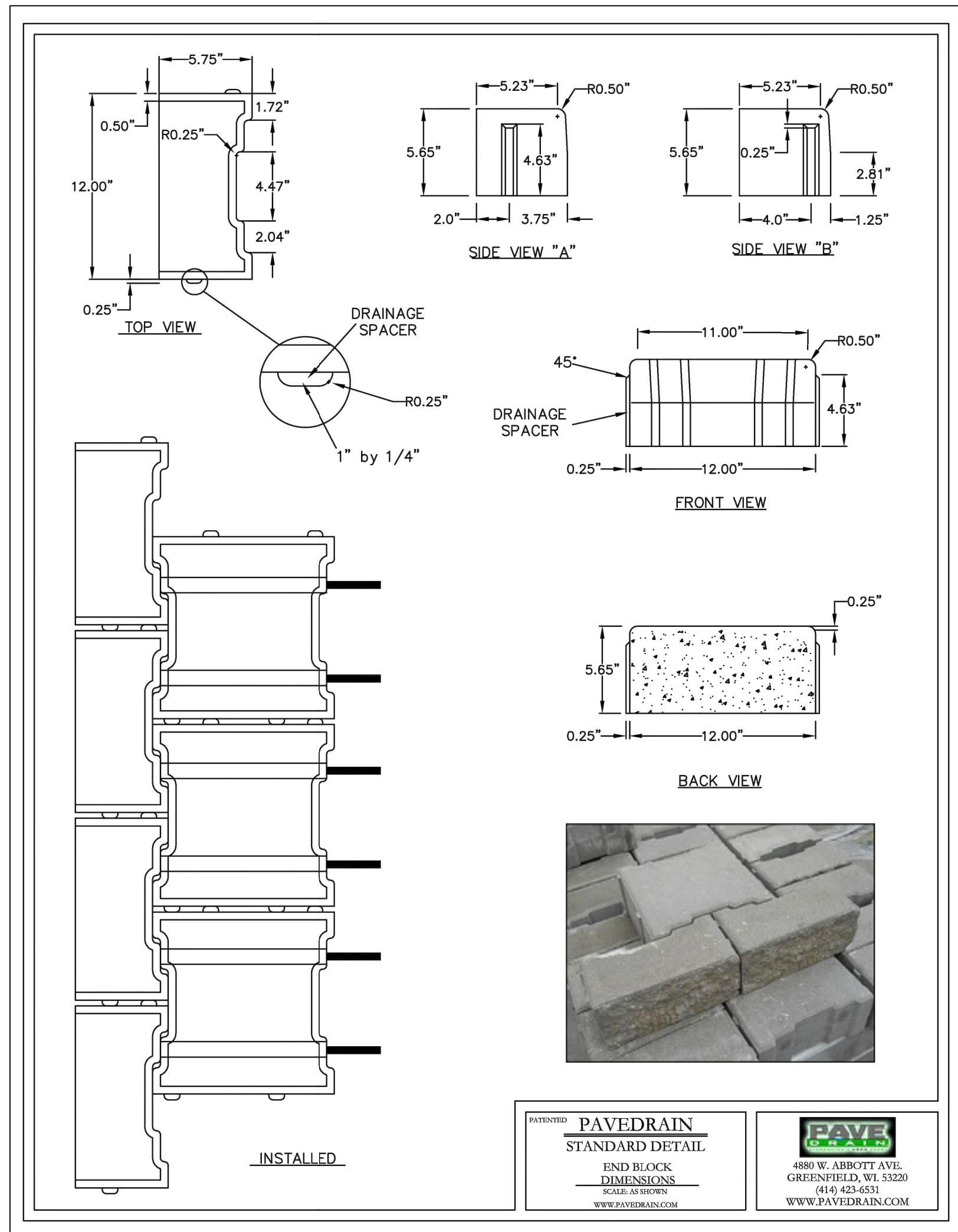
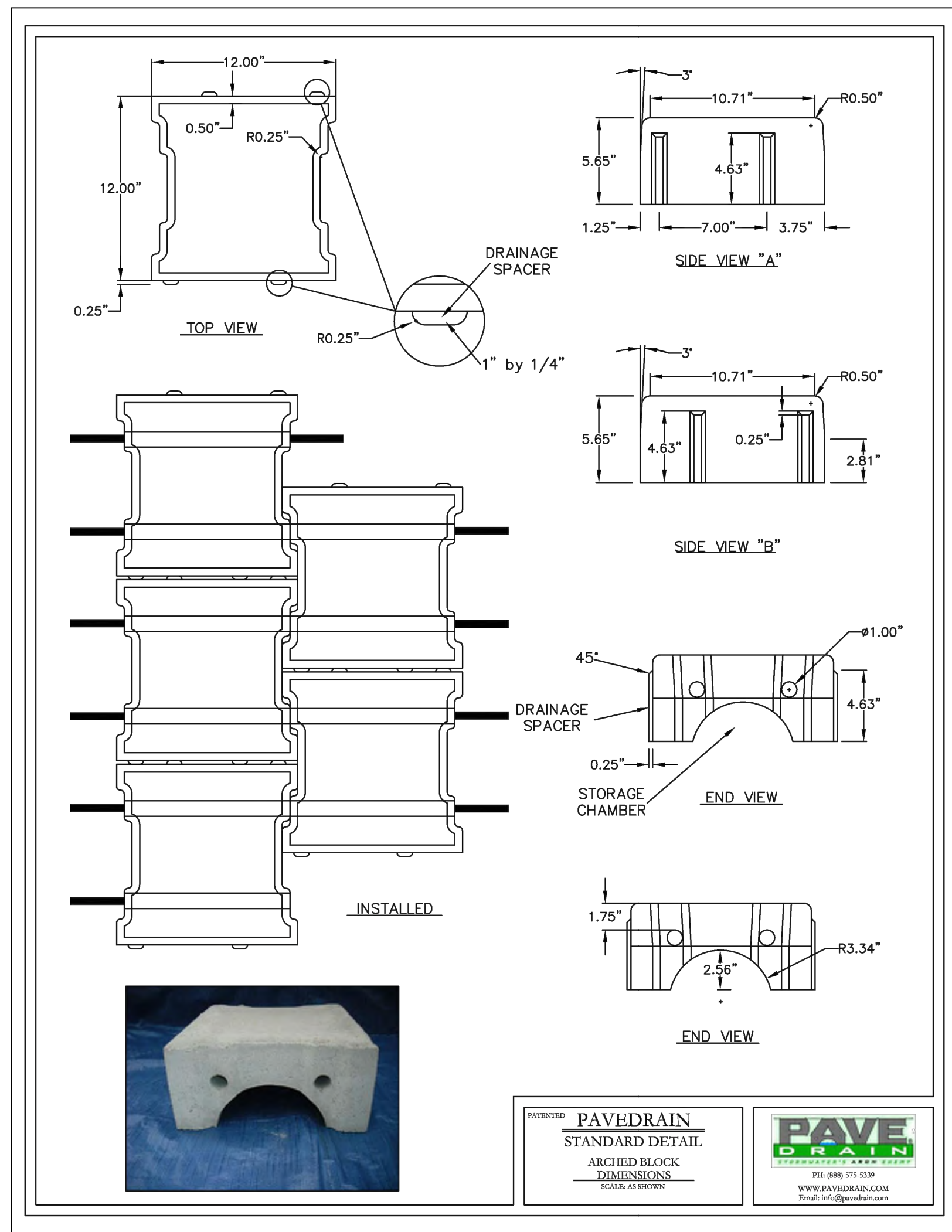
STATE OF MISSOURI
PROFESSIONAL ENGINEER
R. Kevin Sterrett
September 8, 2022
5/23/23

g Inc consult
engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

PAVEDRAIN DETENTION AREA
LAKWOOD POOL PARKING LOT ADDITION
LAKWOOD HOME OWNERS ASSOC.
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO.
43106-Topo-2022-07-27
DRAWING NO.
22-026b
DATE
September 7, 2022
JOB NO.
22.026

7 SHEET OF 8



NO.	BY	DATE	REVISION
1	ASJ	2/16/2022	Revisions per City comment letter dated 1-14-23
2	ASJ	2/17/2022	Revisions per City comment letter dated 2-14-23
3	ASJ	2/17/2022	Added Pavement Detail/over Parking Expansion
4	ASJ	2/22/2022	Added Note on Expansion Joint to confirm Pavement Comment Letter 2/22/23

STATE OF MISSOURI
 PROFESSIONAL ENGINEER
 R. Kevin Sterrett
 5/23/23
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CONCEPT PLAN
LAKWOOD POOL PARKING LOT ADDITION
LAKWOOD HOME OWNERS ASSOC.
 LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO.
 43106-Topo-2022-07-27
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 8 SHEET OF 8