

LEE'S SUMMIT, MISSOURI
LONGVIEW BLVD AND FASCINATION DR
NLV - PHASE II

BOX Real Estate Development

DEVELOPER
BOX REAL ESTATE
1000 W. 10TH ST., SUITE 200
KANSAS CITY, MISSOURI 64105
PH: 816.231.7227

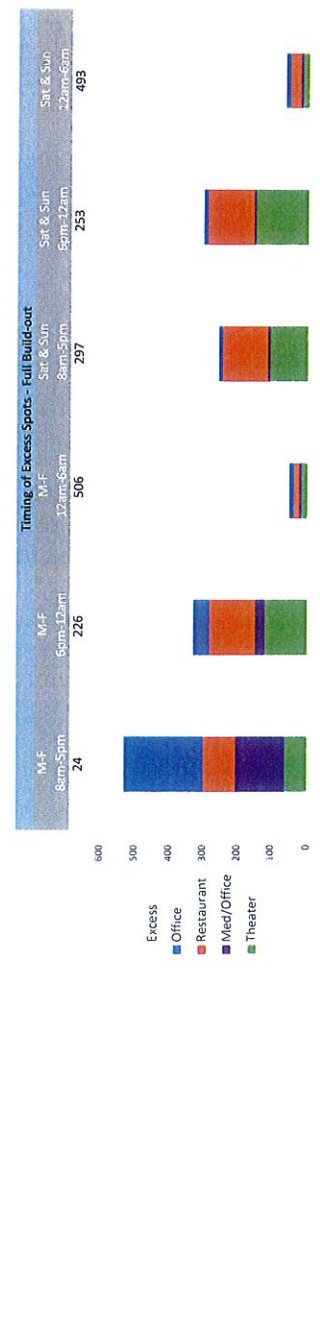
SCHEDULE	
NO.	DESCRIPTION
1	PRELIMINARY DEVELOPMENT PLAN
2	PERMITS
3	CONSTRUCTION
4	CITY COMMENTS

CONFLUENCE PROJECT NO. 1003036
SHARED PARKING MODEL
SP-02

Fascination at New Longview - Shared Parking Model

Proposed Uses	SPF/Units	Use Typ.	UDO per 1,000 SF	Peak Parking	M-F		Sat & Sun		Total
					8am-5pm	5pm-12am	8am-5pm	5pm-12am	
Building A - 2-Story Med/Office	20,000	Med/Office	5	100	100%	20	5	5	5
Building B - 1-Story Med/Office	9,000	Med/Office	5	45	100%	9	2	2	2
Building C - Luxury Theater*	28,000	Theater	5.3	148	40%	119	70%	104	148
Building D - Restaurant(s)	8,000	Restaurant	14	112	70%	78	100%	112	112
Building E - Rooftop Deck	1,500	Restaurant	14	21	70%	15	100%	21	21
Building F - 1-Story Office	5,500	Office	4	22	100%	4	2	2	4
Building F - 3-Story HQ Office	52,500	Office	4	210	100%	210	20%	42	256
Totals	124,500			529		327		47	60

Parking Needs Summary	Phase I	Full Build-Out
Parking Required (w/out Shared Model)	148	658
Parking Required (w/Shared Parking Model)	0	129
Parking Spots Saved		20%
Total Spots Needed:	148	529



* Note: Theater assumes 594 seats, with UDO requirement of 1 spot per 4 seats
 Online Transportation Demand Management Encyclopedia: <http://www.vtpi.org/tdm/tdm89.htm>
 Shared Parking References:
 Mary Smith (2005), "Shared Parking", UL / ICSC
 Geoffrey Booth, et al (2002), "Ten Principles for Reinventing Suburban Business Districts", UU

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2016-107-

CONFLUENCE

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NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEES SUMMIT, MISSOURI

BOX Real Estate Development

DESIGNED BY
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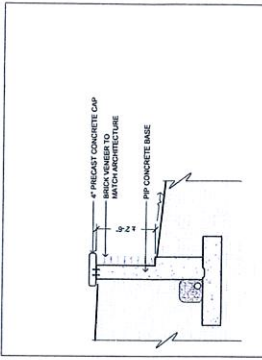
SCHEDULE	
NO.	DESCRIPTION
1	PRELIMINARY GRADING PLAN
2	RETAINING WALL
3	STAIR AND STAIR ENLARGEMENT

THIS PLAN IS THE PROPERTY OF BOX REAL ESTATE DEVELOPMENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BOX REAL ESTATE DEVELOPMENT.

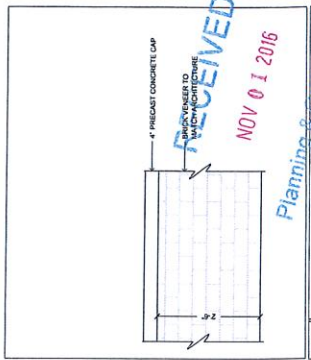
PRELIMINARY GRADING PLAN
 CONFLUENCE PROJECT #2016-167

SP-03

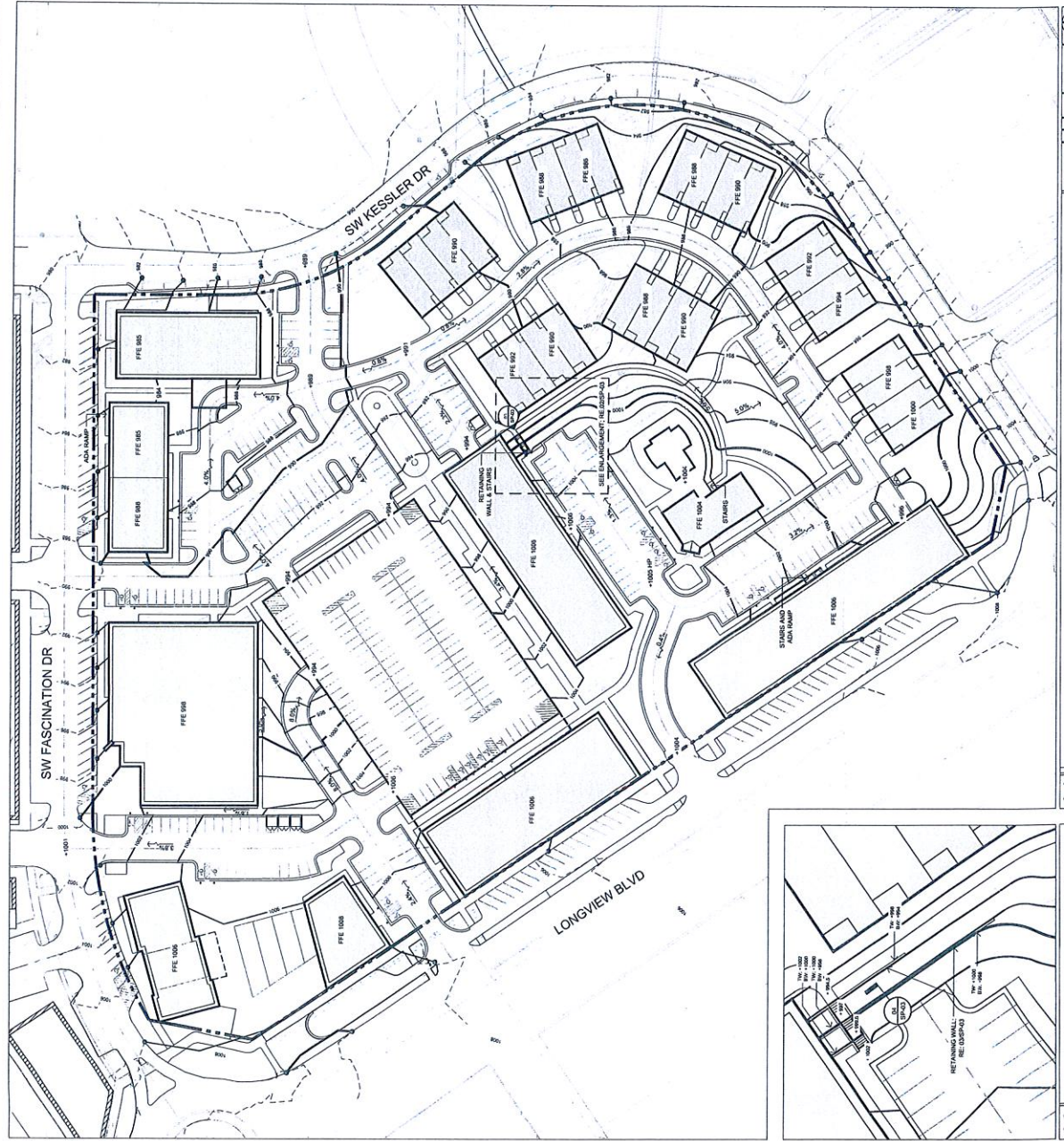
- GRADING NOTES**
- ALL SPOT ELEVATIONS ARE AT THE TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED. ALL FINISHED SURFACES SHALL BE FINISHED TO THE BOTTOM OF CURB AND 4" TO COMPLETE TOP OF CURB ELEVATION.
 - CONTRACTOR TO FIELD ADJUST ALL EXISTING SITE UTILITIES TO NEW FINISHED GRADES. EXISTING UTILITIES INCLUDE, BUT ARE NOT LIMITED TO, SANITARY, WATER, GAS, FIBER OPTIC, AND LIGHT BULBS. CONTRACTOR TO VERIFY ALL UTILITIES AND LIGHT BULBS.
 - BACK FILL TO TOP OF CURB.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE SURFACE DRAINAGE IN ALL AREAS UNLESS OTHERWISE NOTED. ALL FINISHED GRADES AND SLOPED IN SUCH A MANNER TO BE FREE OF STAGNANT WATER. CONTRACTOR SHALL REPORT ANY CONFLICTS WITH THIS REQUIREMENT TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE PROJECT TO FINAL DRIVING CONDITIONS. ARCHITECT FOR RESOLUTION.
 - WHERE PROPOSED GRADES MEET EXISTING, BEING GRASSES TO PROVIDE A SMOOTH TRANSITION BETWEEN THE NEW WORK AND EXISTING WORK. PONDING AT JOINTS WILL NOT BE ACCEPTED.
 - CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND EXISTING BUILDINGS. PROTECT EXISTING UTILITIES AND EXISTING BUILDINGS.
 - CONTRACTOR RESPONSIBLE FOR ALL PRIVATE LOCATES NOT COVERED BY THE MISSOURI ONE CALL SYSTEM.
 - ALL NEW EXISTING SPACES SHALL BE LOCATED ON A SURFACE WITH A SLOPE NOT EXCEEDING 1 VERTICAL FOOT IN 8 HORIZONTAL FEET.



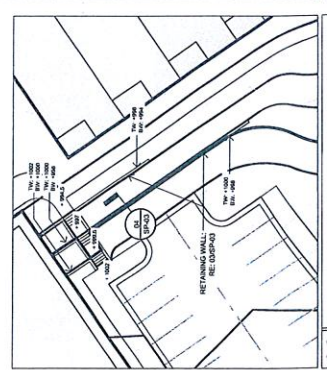
04 SECTION: RETAINING WALL



03 ELEVATION: RETAINING WALL



01 PRELIMINARY GRADING PLAN



02 STAIR AND RETAINING WALL ENLARGEMENT

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-2016-167-



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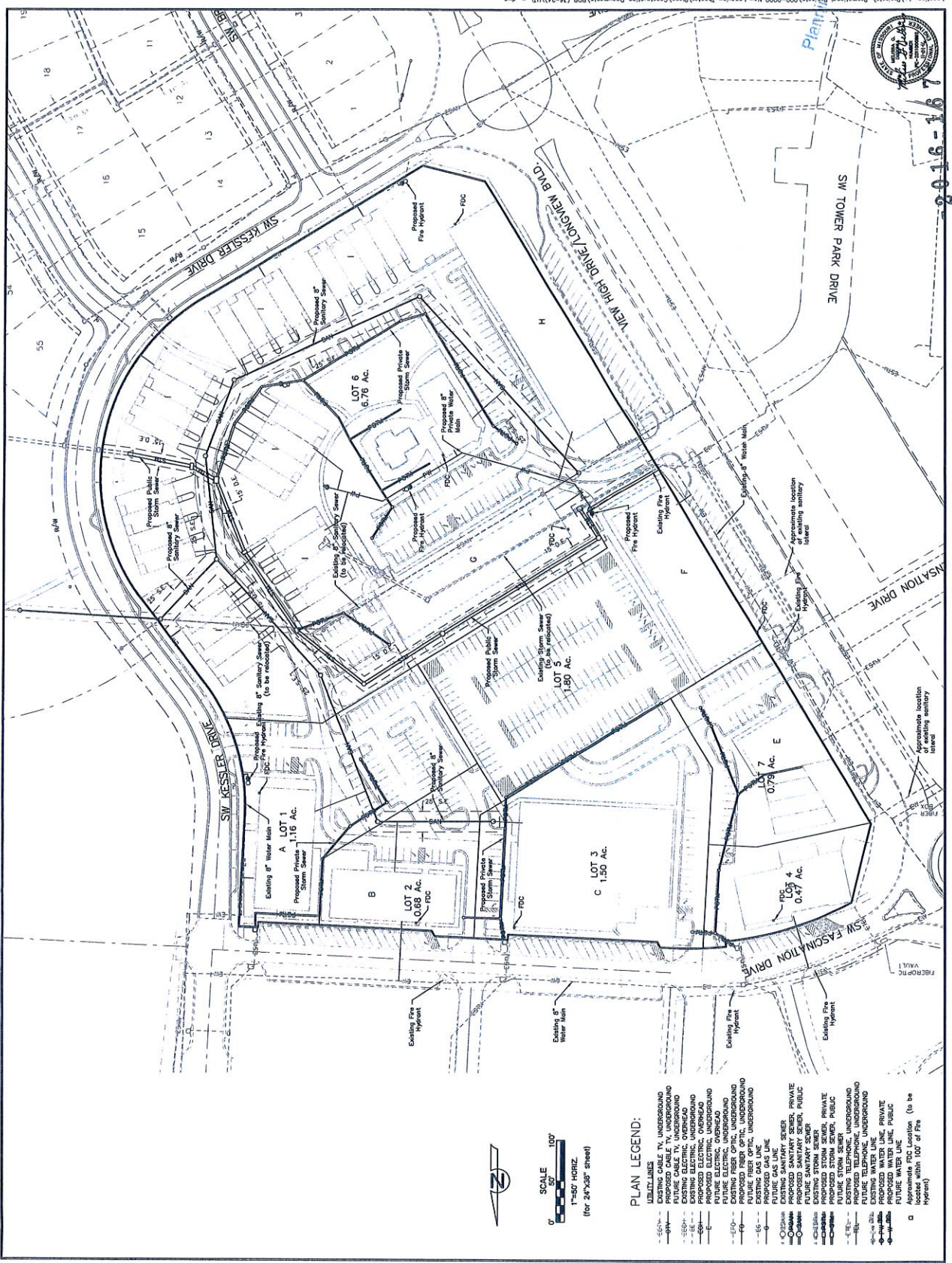
NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEES SUMMIT, MISSOURI

BOX Real Estate
 Development
 REAL ESTATE
 BOX REAL ESTATE
 DEVELOPMENT
 1100 N. BURNETT SUITE 100
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 PH: 314.597.4339

SCHEDULE
 DATE: 11/16/16
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]

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UTILITY PLAN
 CONFLUENCE PROJECT NO. 16032C
 C-02



16-167

NLV - PHASE II
LONGVIEW BLVD AND FASCINATION DR
LEES SUMMIT, MISSOURI

BOX Real Estate Development

OWNER
BOXER DEVELOPMENT
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ST. LOUIS, MISSOURI 63143-1434
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NO.	DATE	REVISION/DESCRIPTION
1	11/18/16	PRELIMINARY DEVELOPMENT PLAN
2	11/18/16	CONSTRUCTION
3	11/18/16	REVISIONS
4	11/18/16	CONSTRUCTION

SCHEDULE

CONSTRUCTION

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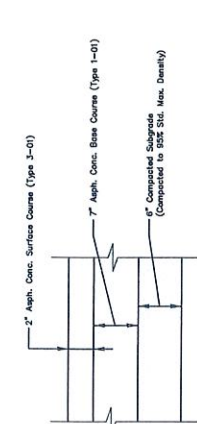
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CONSTRUCTION

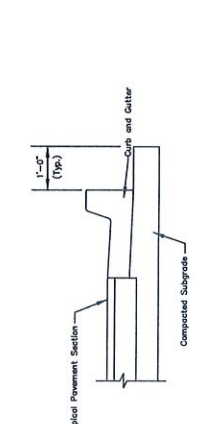
DETAIL SHEET

C-05

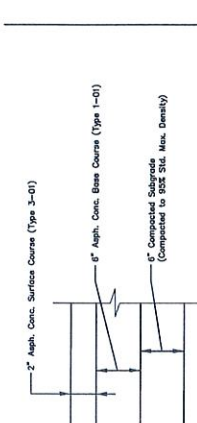
CONFLUENCE PROJECT NO: 160320C



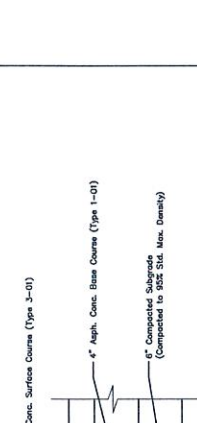
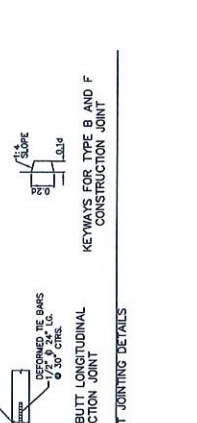
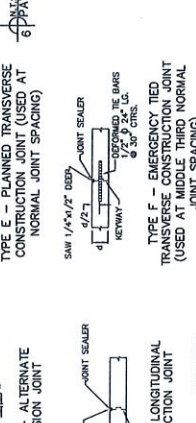
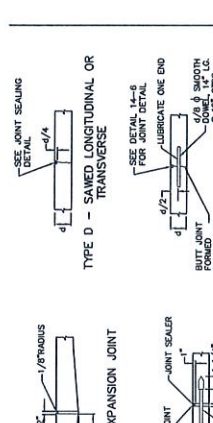
5 HEAVY DUTY ASPHALT PAVEMENT SECTION



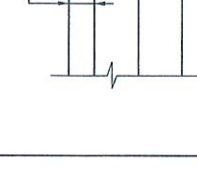
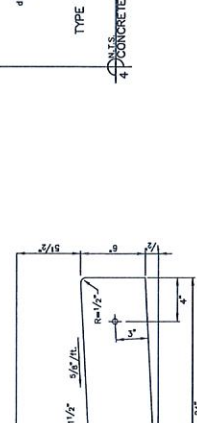
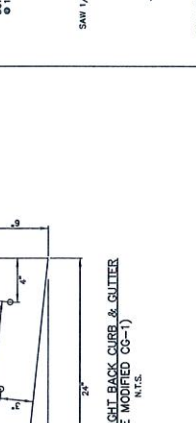
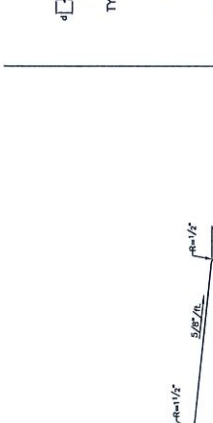
6 PAVING DETAIL



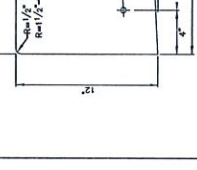
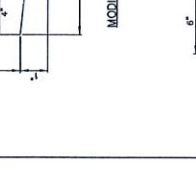
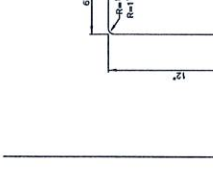
3 STANDARD DUTY ASPHALT PAVEMENT SECTION



1 LIGHT DUTY ASPHALT PAVEMENT SECTION



2 CURB & GUTTER



CURB & GUTTER NOTES:
1. CURBS SHALL BE PLACED AT RADII OF 10' OR GREATER. CURBS SHALL BE PLACED AT 10' INTERVALS. THESE DOMES SHALL BE GREASED AND LUBRICATED AT 10' INTERVALS. THESE JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB.
2. 2" DEEP CONSTRUCTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB.
3. FIX DOMES WITH BAR CHAIRS OR EQUAL. THE BAR CHAIRS SHALL BE INSTALLED AT 10' INTERVALS.
4. OPERSEES SPECIFIED IN PLANS AND PROJECT MANUAL FOR CURB CONSTRUCTION SHALL BE USED FOR CURB CONSTRUCTION.
5. DEPTH OF CURB SHALL BE MINIMUM OF 8" THROUGH THE HANDICAP ACCESS RAMP.

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NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEES SUMMIT, MISSOURI

BOX Real Estate Development
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 PH: 913.726.8881

SCHEDULE

DATE	DESCRIPTION
1	PRELIMINARY LAYOUT
2	FINAL LAYOUT
3	CONSTRUCTION
4	COMPLETION

PRELIMINARY LANDSCAPE PLAN
 COMPLIANCE PRODUCT NO. 100333C

LANDSCAPE REQUIREMENTS

- STREET PLANTINGS**
 (PER LEES SUMMIT DEVELOPMENT 14)
 • SW FASCINATION DRIVE (8'x10')
 REQUIRED TREES (1 PER 20 FT)
 PROVIDED SHRUBS (1 PER 20 FT)
 PROVIDED TREES (1 PER 20 FT)
 PROVIDED SHRUBS (1 PER 20 FT)
 PROVIDED TREES (1 PER 20 FT)
 PROVIDED SHRUBS (1 PER 20 FT)
 PROVIDED TREES (1 PER 20 FT)
- LANDSCAPED OPEN SPACE**
 (PER LEES SUMMIT DEVELOPMENT 14)
 • REQUIRED TREES (1 PER 20 FT)
 PROVIDED SHRUBS (1 PER 20 FT)
 PROVIDED TREES (1 PER 20 FT)
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 PROVIDED TREES (1 PER 20 FT)
 PROVIDED SHRUBS (1 PER 20 FT)
 PROVIDED TREES (1 PER 20 FT)
- LANDSCAPED OPEN SPACE**
 (PER LEES SUMMIT DEVELOPMENT 14)
 • REQUIRED TREES (1 PER 20 FT)
 PROVIDED SHRUBS (1 PER 20 FT)
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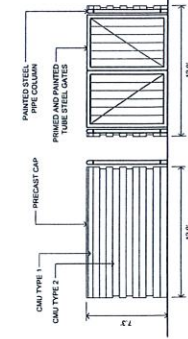
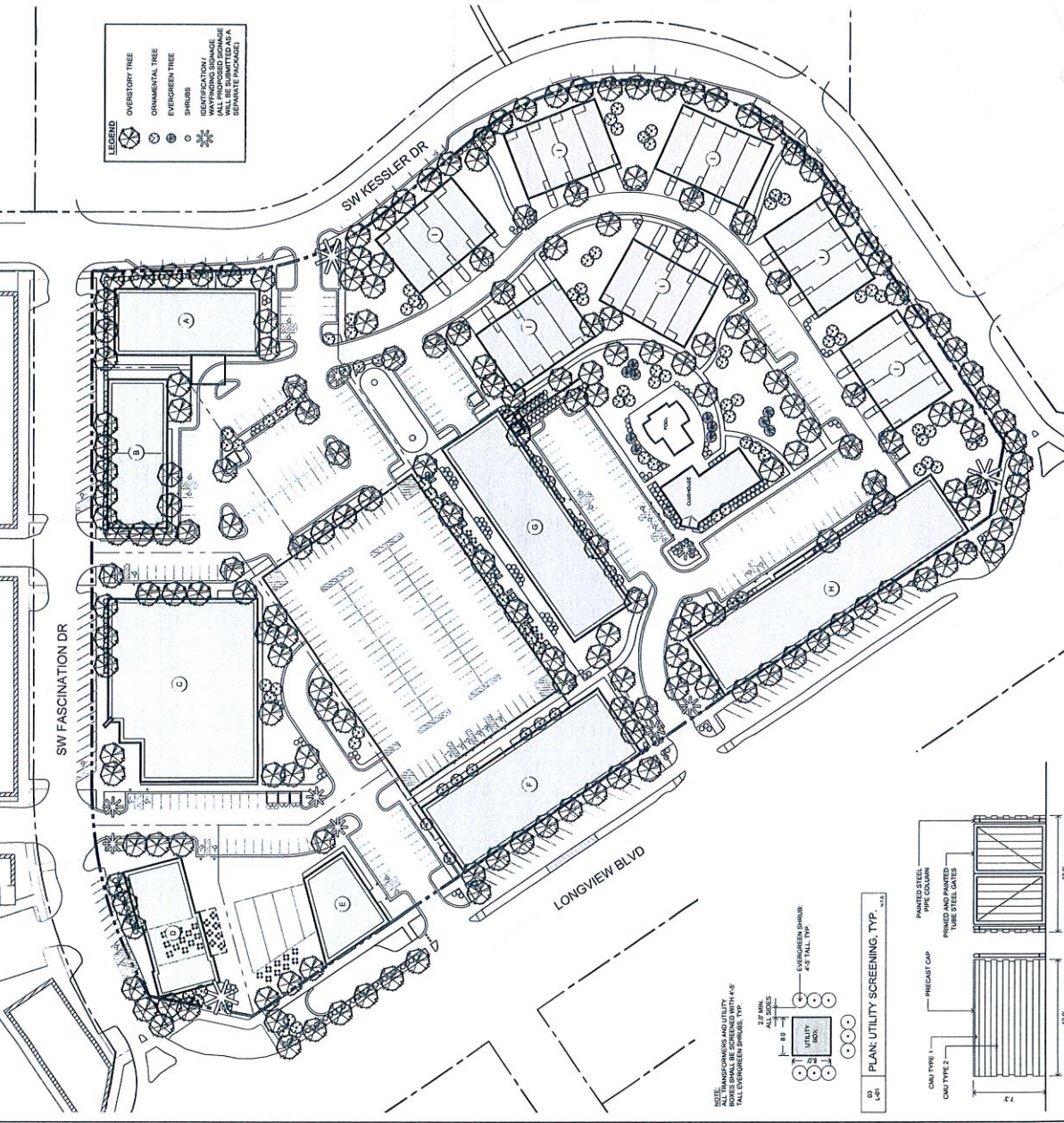
- PLANTING NOTES:**
- 500' ALL AREAS WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS, OR CURBS SHALL BE LANDSCAPED AS NOTED.
 - PLANTING SHALL BE PERFORMED WITHIN THE SPECIFIED BANK MARCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3".
 - KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, AND 200-1992, OR MOST RECENT EDITION.
 - PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE TO COMPLETE THE WORK AS SHOWN. QUANTITIES, CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS SHOWN.
 - ALL LANDSCAPE AREAS SHALL BE PERMANENTLY IRRIGATED. IRRIGATION SHALL BE DESIGNED TO MEET CITY REQUIREMENTS.

MASTER PLANT SCHEDULE

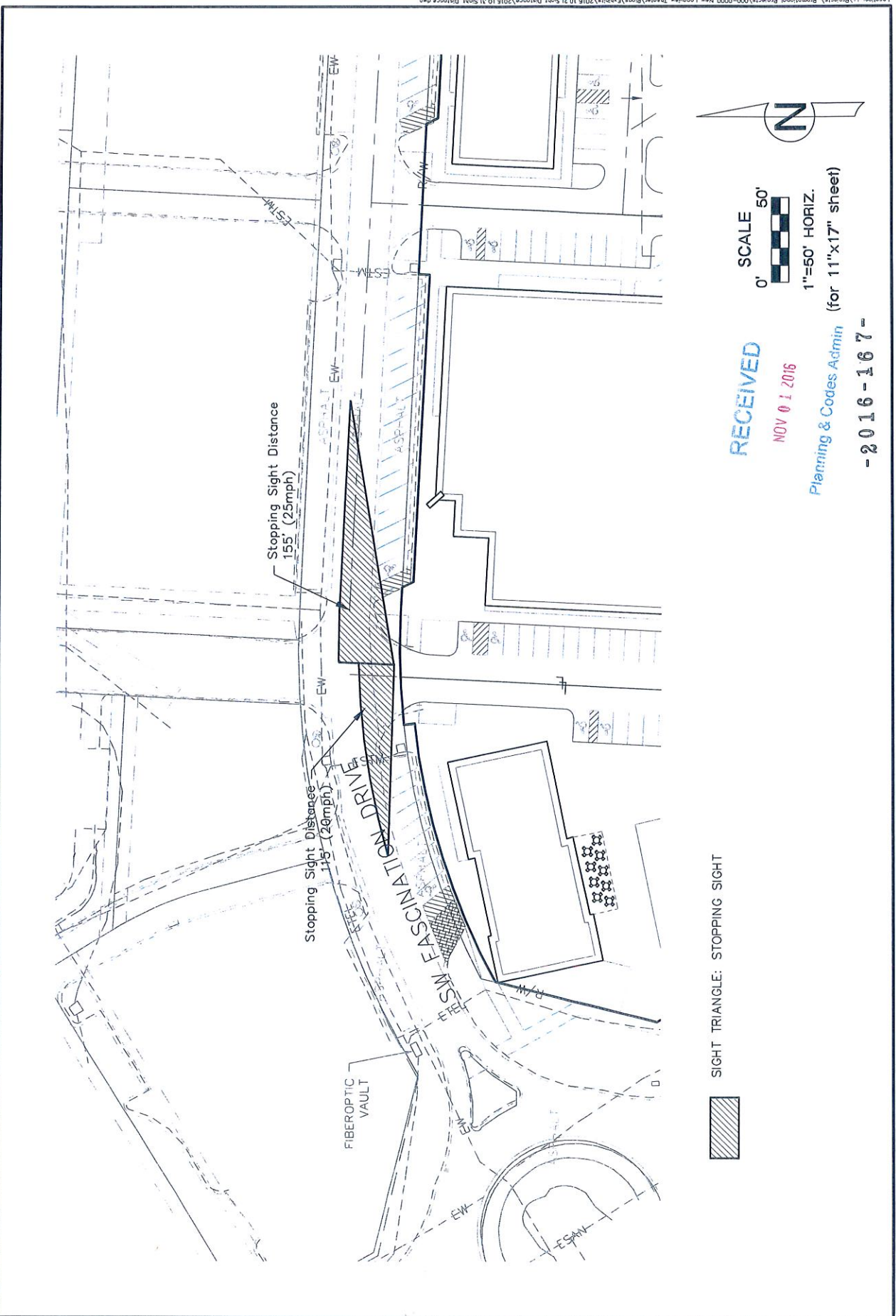
IDENTICAL NAME	COMMON NAME	SIZE	ROOT
OVERSTORY TREE	OVERSTORY TREES	12" CAL.	18" DB
ORNA MENTAL TREE	ORNA MENTAL TREES	12" CAL.	18" DB
EVERGREEN TREE	EVERGREEN TREES	12" CAL.	18" DB
SHRUBS	SHRUBS	12" CAL.	18" DB
DECIDUOUS SHRUBS	DECIDUOUS SHRUBS	12" CAL.	18" DB
EVERGREEN SHRUBS	EVERGREEN SHRUBS	12" CAL.	18" DB

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FILE NUMBER: S:\11\PROJECTS\2015\10333C - New England Commercial Master Plan\10333C\01 - LANDSCAPE PLAN\Drawn By: MC Created By: CC



SCALE 50'
 0' 50'
 1"=50' HORIZ.

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SCALE 50'
0'



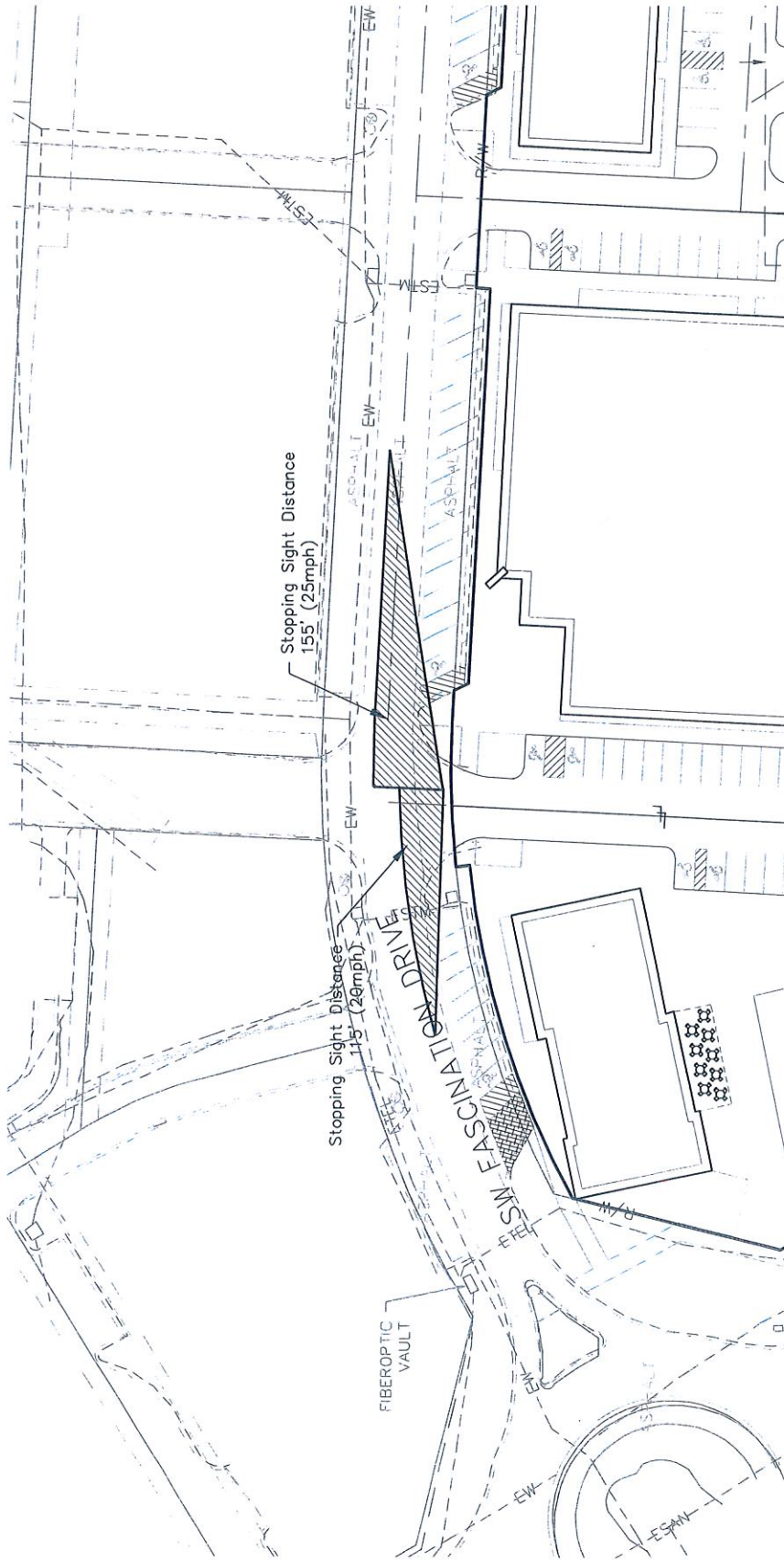
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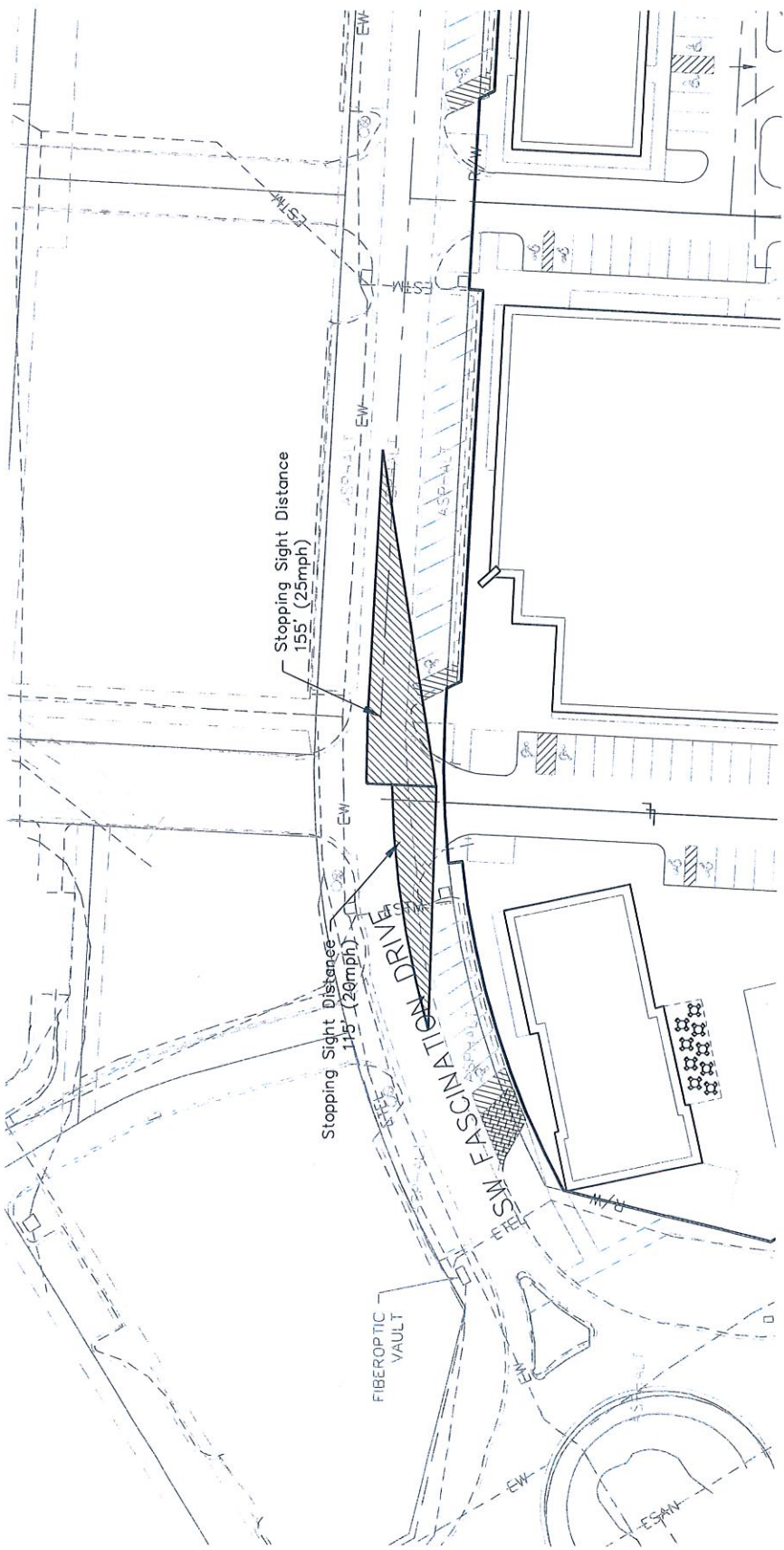
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SIGHT TRIANGLE: STOPPING SIGHT





SCALE 50'
0'

1"=50' HORIZ.

(for 11"x17" sheet)

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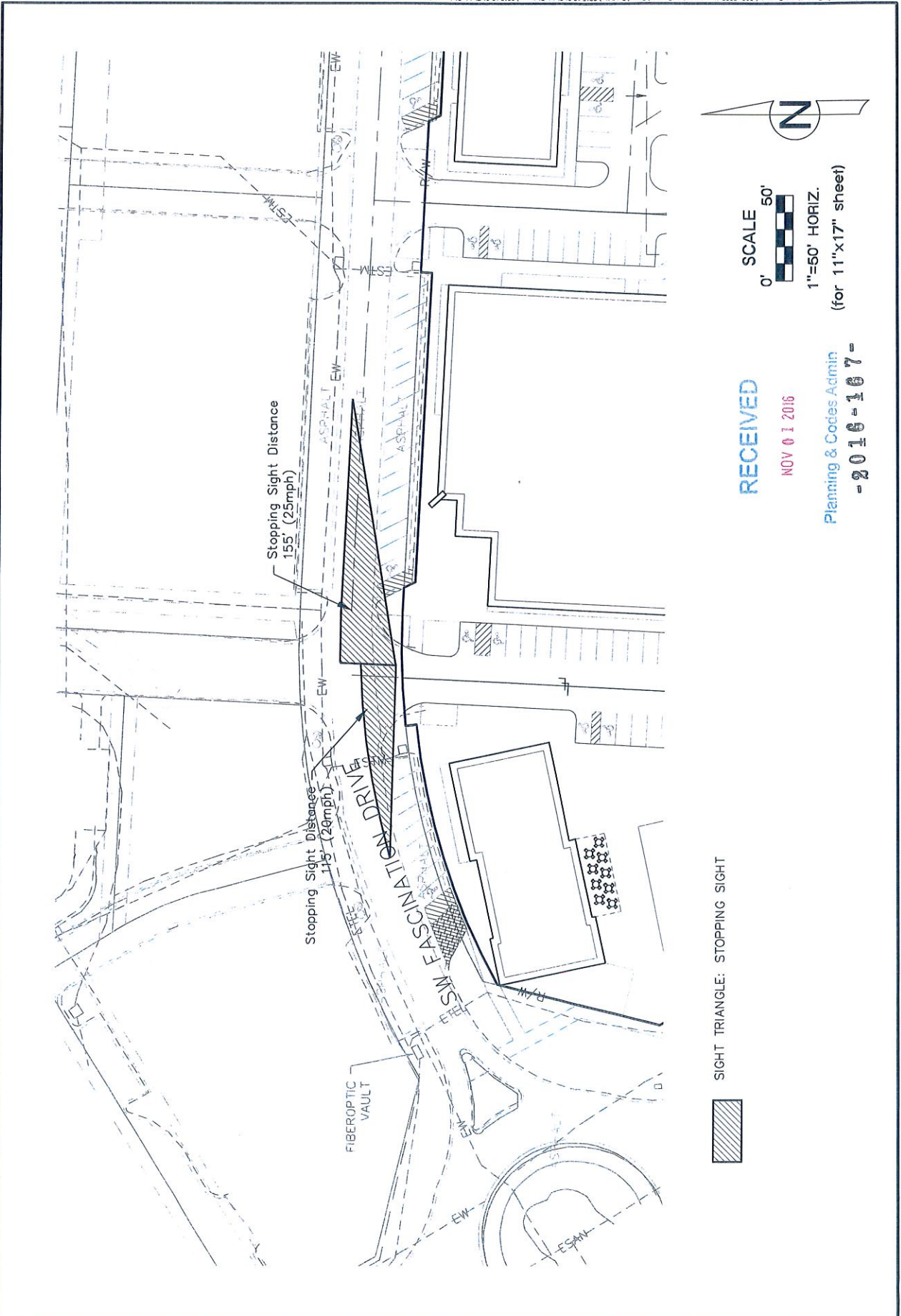
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SIGHT TRIANGLE: STOPPING SIGHT



L:\Projects\Promotional Projects\000-0000 New Longview Teacher\Plans\Exhibits\2016.10.21 Sight Distance\2016.10.21 Sight Distance.dwg



SCALE 50'
 0'
 1"=50' HORIZ.

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SIGHT TRIANGLE: STOPPING SIGHT



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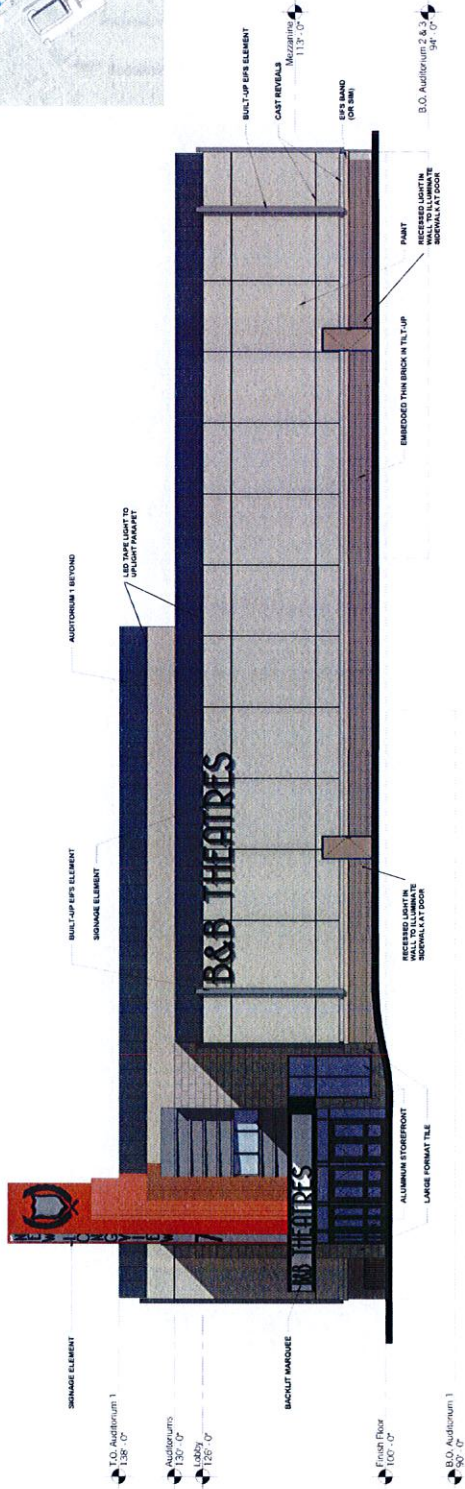
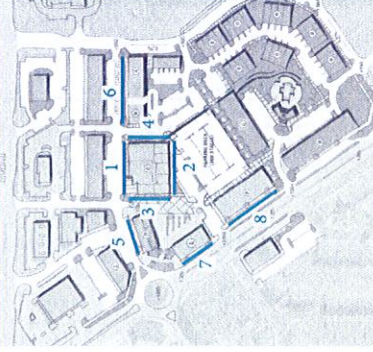
NO.	DATE	DESCRIPTION
1	10/15/15	PRELIMINARY
2	10/20/15	REVISED

CONFLUENCE ARCHITECTS, INC. 1400 SOUTH MAIN STREET, KANSAS CITY, MISSOURI 64105
 HOLLIS-MILLER ARCHITECTS 1000 WEST 10TH AVENUE, OVERLAND PARK, MISSOURI 66210
 ROSEMANN & ASSOCIATES 1000 WEST 10TH AVENUE, OVERLAND PARK, MISSOURI 66210
 OLSSON ASSOCIATES 1000 WEST 10TH AVENUE, NORTH KANSAS CITY, MISSOURI 64116

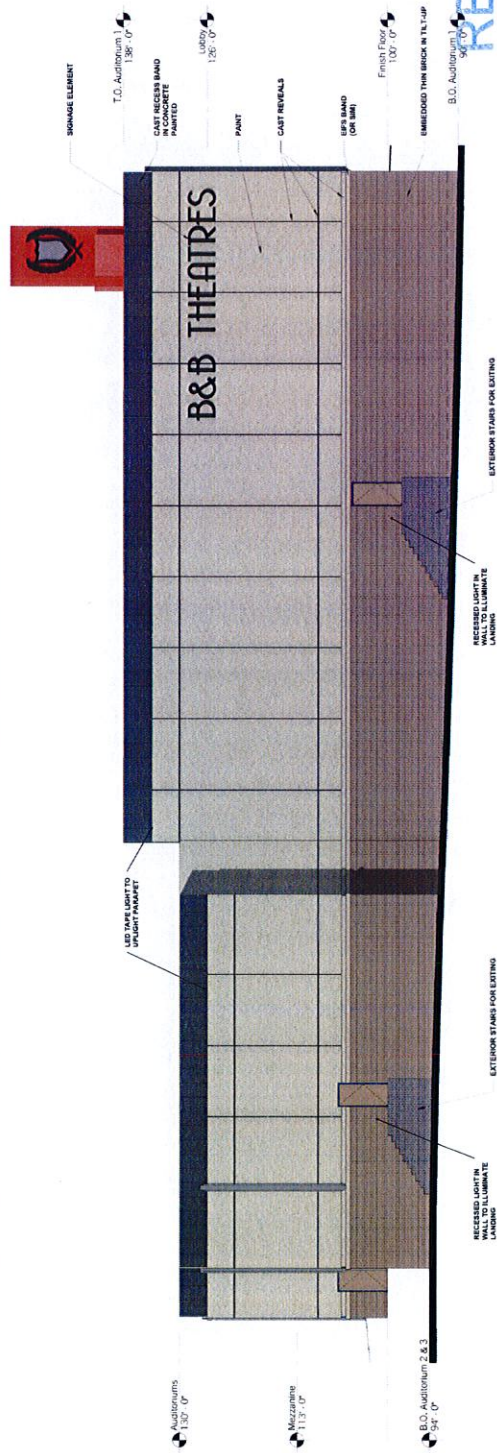
ELEVATIONS

CONFLUENCE PROJECT NO. 150320C

A-02



3. EXTERIOR ELEVATION - BUILDING C THEATER - WEST SCALE 1/8" = 1'-0"



4. EXTERIOR ELEVATION - BUILDING C THEATER - EAST SCALE 1/8" = 1'-0"

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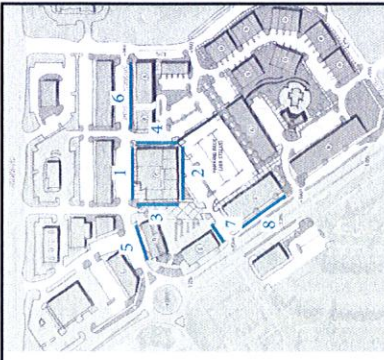
CONFLUENCE
 LANDSCAPE ARCHITECT / PLANNER
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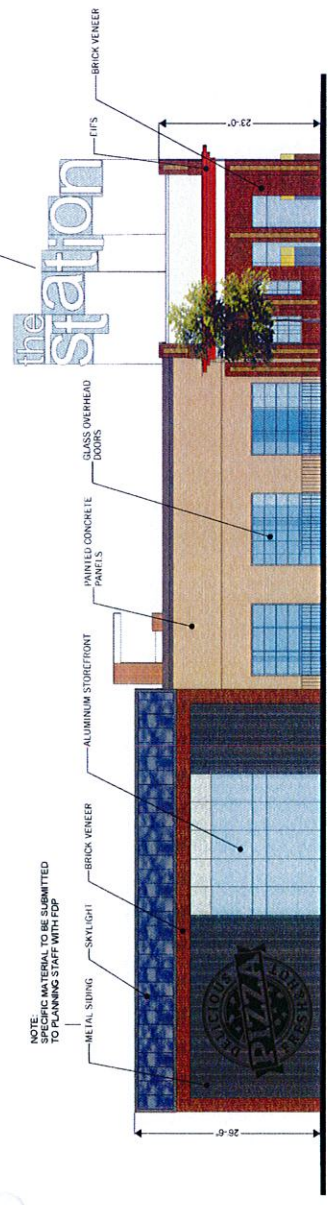
ARCHITECT (RESIDENTIAL)
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CIVIL ENGINEER
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NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEES SUMMIT, MISSOURI

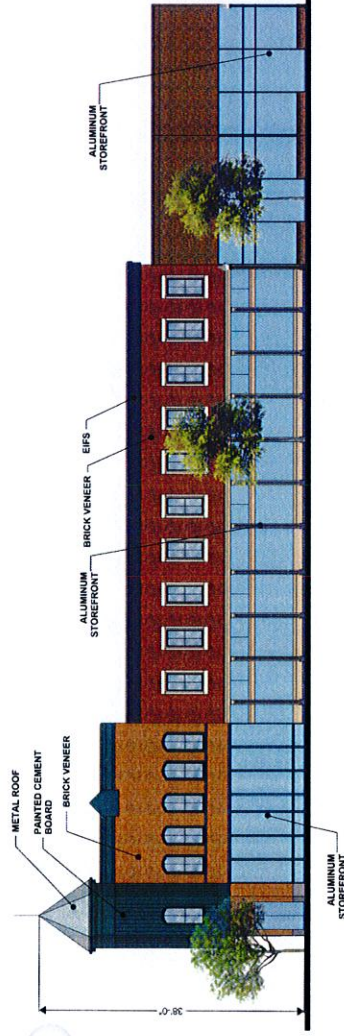


NOTE:
 LARGE ROOFTOP SIGNAGE SHOWN AS A PLACEHOLDER FOR
 FINAL SIGNAGE. FINAL SIGNAGE PLANS WILL BE SUBMITTED WITH FDP FOR ANY
 SIGNAGE THAT DOES NOT ADHERE TO THE PREVIOUSLY APPROVED
 2005 SIGNAGE CRITERIA BOOKLET.

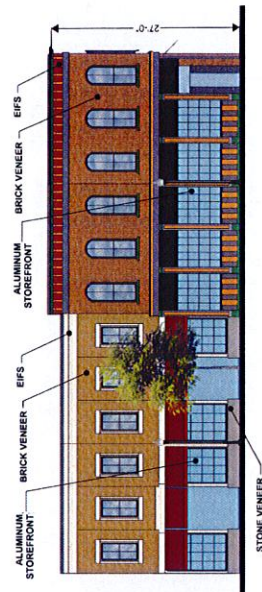


5. EXTERIOR ELEVATION - BUILDING D RESTAURANTS - NORTH SCALE 1/8" = 1' - 0"

NOTE:
 THIS IS A PLACEHOLDER FOR THE FINAL CONCEPT AND VEILS OF THE STREETSCAPE ONLY.
 SPECIFIC BUILDING DESIGN WILL BE SUBMITTED WITH FDP. SIDE AND REAR ELEVATIONS TO USE
 SIMILAR MATERIALS AS EXISTING COMMERCIAL BUILDINGS.



6. EXTERIOR ELEVATION - BUILDING A & B RETAIL AND OFFICE - NORTH SCALE 1/8" = 1' - 0"



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ELEVATIONS

CONFLUENCE PROJECT NO. 160303C

A-03

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2016-167
 Planning & Codes Admin

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 LONGVIEW BLVD AND FASCINATION DR
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BOX Real Estate Development

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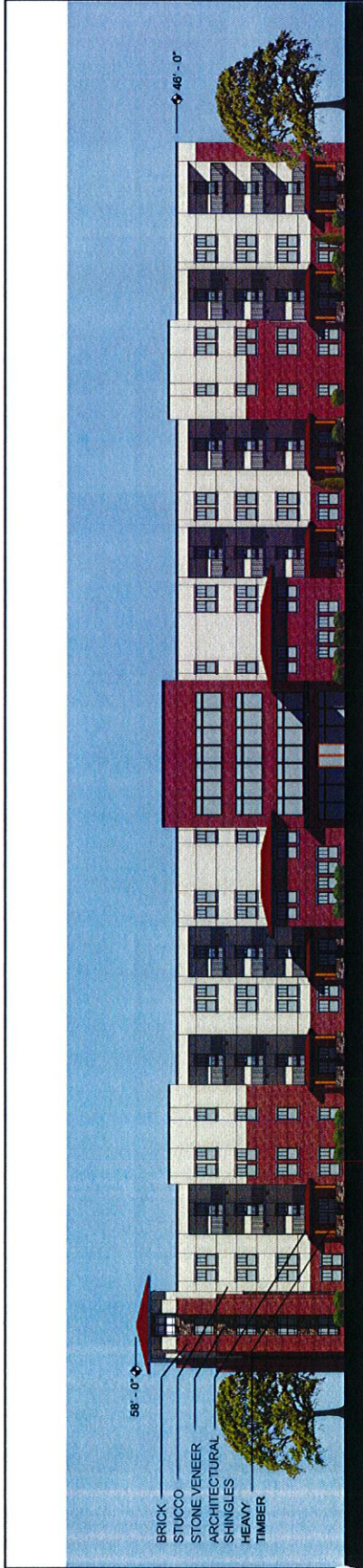
SCHEDULE	
DATE	DESCRIPTION
1	PRELIMINARY
2	FINAL
3	AS-BUILT

RESIDENTIAL ELEVATIONS

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COMPLIANCE PROJECT NO. 160320C

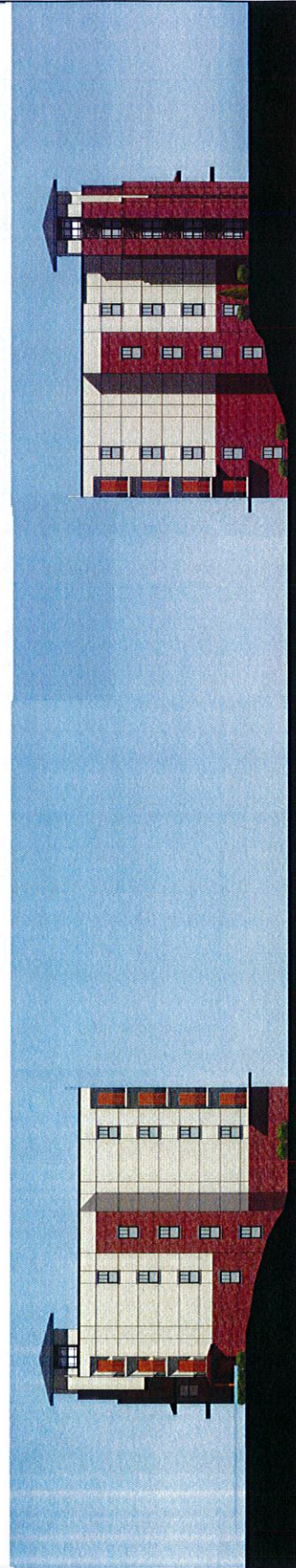
A-05



LONGVIEW BLVD. ELEVATION



BACK ELEVATION



SIDE ELEVATION

OCT 4 2016

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BOX Real Estate Development

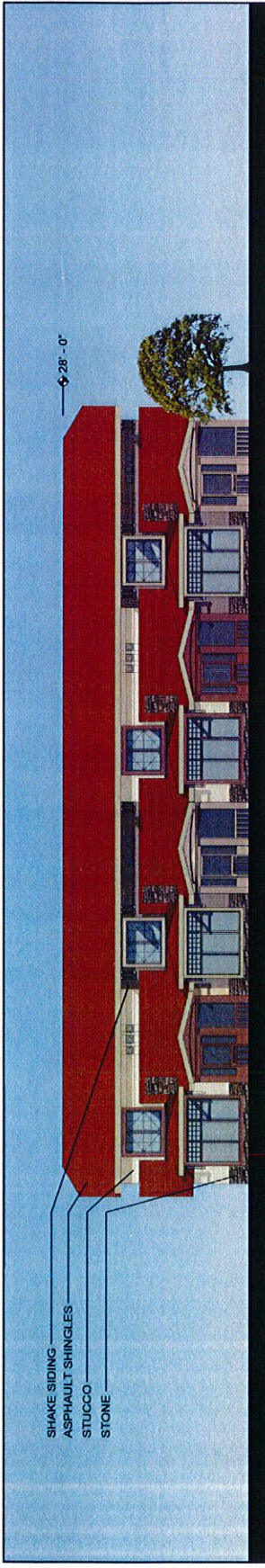
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SCHEDULE	
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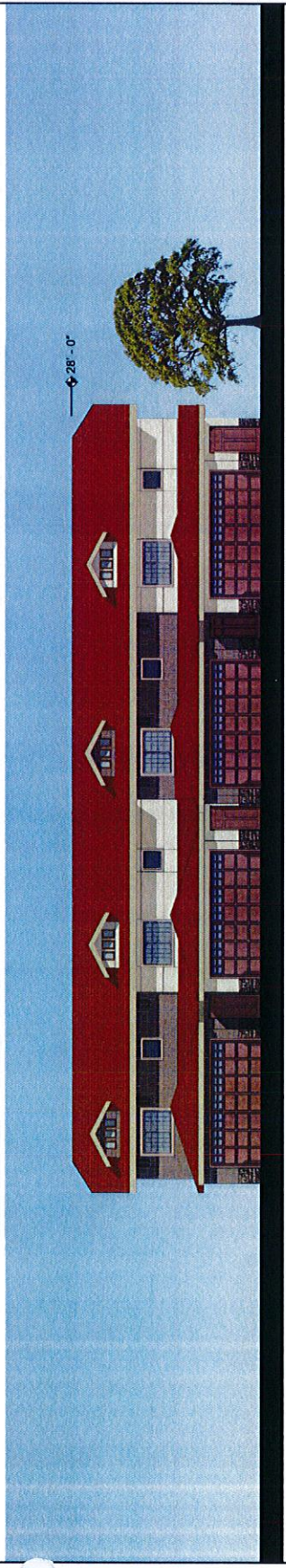
RESIDENTIAL ELEVATIONS

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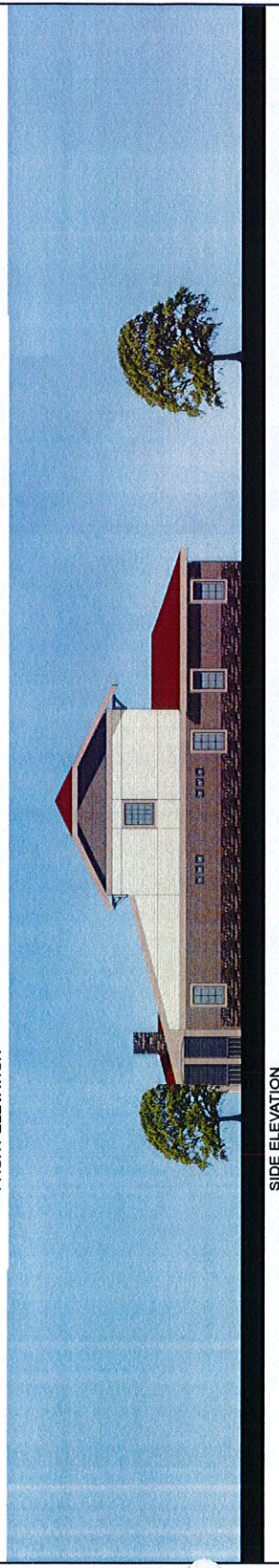
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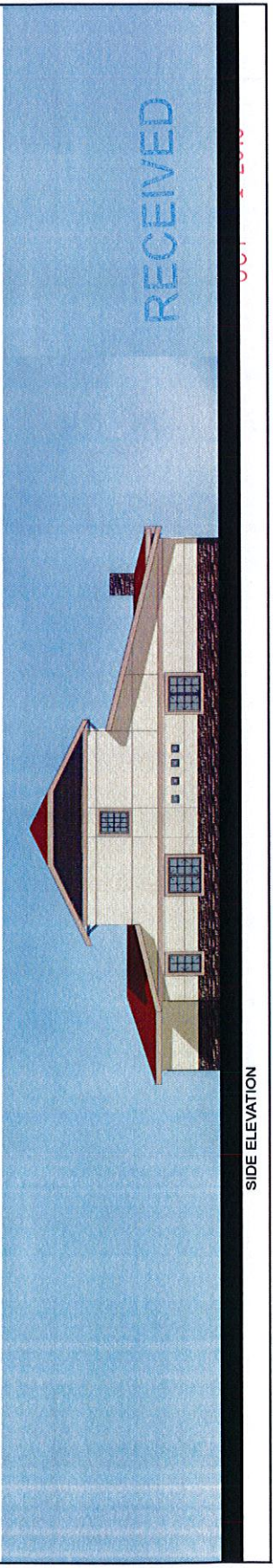
SW KESSLER DRIVE ELEVATION



FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION

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