

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN LOCATED GENERALLY AT THE SOUTHEAST CORNER OF SE RANSON RD AND SE OLDHAM PKWY IN DISTRICT CP-2, PROPOSED LEE'S SUMMIT SENIOR LIVING FACILITY IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, OF THE UNIFIED DEVELOPMENT ORDINANCE OF LEE'S SUMMIT CODE OF ORDINANCES, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2019-017, submitted by O'Reilly Development Co., requesting approval of a preliminary development plan in District CP-2 (Planned Community Commercial District) on land located generally at the southeast corner of SE Ranson Rd and SE Oldham Pkwy was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on March 14, 2019, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on April 2, 2019, and approved a motion for a second ordinance reading to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District CP-2 on the following described property:

Section 10, Township 47 North, Range 31 West, in Lee's Summit, Jackson County, Missouri, being described as follows:

*All that part of the Southwest Quarter of Section 10, Township 47 North, Range 31 West, in the City of Lee's Summit, Jackson County, Missouri, described as follows:*

*COMMENCING at the Northwest corner of the Southwest Quarter of Section 10, Township 47 North, Range 31 West, said point also lying on the centerline of Westbound U.S. Route 50 right of way, as established in MoDOT Job No. J4P1191, dated 12/14/98; thence South 87 degrees 49 minutes 47 seconds East, along the North line of said Southwest Quarter, and along said centerline, a distance of 1938.21 feet to a point; thence South 02 degrees 10 minutes 13 seconds West, departing said North line and said centerline, a distance of 246.56 feet to a point on the South line of said U.S. Route 50 right of way, as established in said MoDOT Job No. J4P1191, dated 12/14/98, the POINT OF BEGINNING;*

*thence South 87 degrees 48 minutes 47 seconds East, along said South line, a distance of 375.44 feet to a point; thence South 82 degrees 16 minutes 26 seconds East, continuing along said South line, a distance of 72.52 feet to a point; thence North 79 degrees 54 minutes 16 seconds East, continuing along said South line, a distance of 94.02 feet to a point; thence South 87 degrees 48 minutes 47 seconds East, continuing along said South line, a distance of 162.49 feet to a point on the East line of said Southwest Quarter; thence South 02 degrees 13 minutes 14 seconds West, departing said South line, along said East line, a distance of 769.10 feet to the Northeast corner of Princeton Heights 3rd Plat, a subdivision in the City of Lee's Summit, Jackson County, Missouri; thence North 87 degrees 51 minutes 04 seconds West, departing said East line, along the North line of said Princeton Heights 3rd Plat, and along the North line of Princeton Heights 2nd Plat, a subdivision in the City of Lee's Summit, Jackson County, Missouri, a distance of 701.97 feet to a point; thence North 02 degrees 13 minutes 14 seconds East, departing said North lines, a distance of 756.57 feet to the POINT OF BEGINNING, containing 533,062 Square Feet or 12.2374 Acres, more or less.*

SECTION 2. That the following conditions of approval apply:

1. A modification to the high impact buffer along the eastern boundary, to allow the existing tree mass to serve as a buffer.
2. A modification to the maximum building height of 40 feet in the CP-2 zoning district, to allow a total building height of approximately 41.6 feet.
3. The developer shall execute a mutually satisfactory development agreement with the City, which addresses, at a minimum, any required offsite water, sanitary and road improvements. No building permits shall be issued for any structure in the development until written proof is provided to the City that the development agreement has been recorded in the Jackson County Recorder's Office.
4. Development shall be in accordance with the preliminary development plan date stamped February 19, 2019, inclusive of the road improvements along SE Oldham Pkwy and extension of SE Princeton Drive.

SECTION 3. That development shall be in accordance with the preliminary development plan, date stamped February 19, 2019:

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 9<sup>th</sup> day of April, 2019.

  
\_\_\_\_\_  
Mayor William A. Baird

ATTEST:

  
\_\_\_\_\_  
City Clerk *Trisha Fowler Arcuri*

APPROVED by the Mayor of said city this 11<sup>th</sup> day of April, 2019.

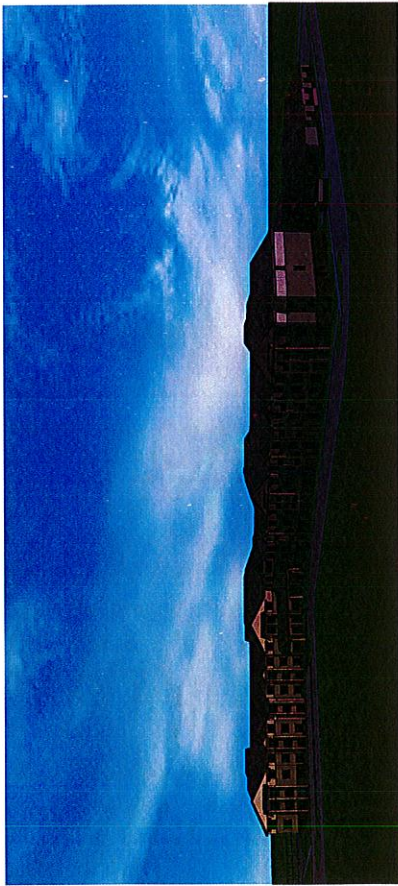
  
\_\_\_\_\_  
Mayor William A. Baird

ATTEST:

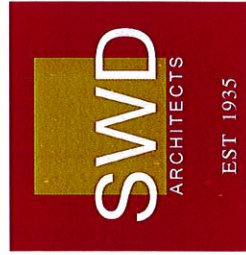
  
\_\_\_\_\_  
City Clerk *Trisha Fowler Arcuri*

APPROVED AS TO FORM:

  
\_\_\_\_\_  
City Attorney *Brian Head*



PRELIMINARY DEVELOPMENT PLAN  
**LEE'S SUMMIT SENIOR COMMUNITY**  
 S.E. OLDHAM PARKWAY & S.E. PRINCETON DRIVE  
 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



STARK WILSON DUNCAN ARCHITECTS INC  
 315 NICHOLS ROAD STE 228 - KANSAS CITY, MO 64112 - T 816.531.1698 F 816.532.1978

**SHEET LIST**

- G10 PRELIMINARY DEVELOPMENT PLAN
- G20 PRELIMINARY GRADING PLAN
- G40 PRELIMINARY STORMWATER PLAN
- G10 PRELIMINARY LANDSCAPE PLAN
- G10 DETAILS
- G11 DETAILS - PAVED PLOTTING PLAN
- A10 BUILDING ELEVATIONS - INTERDEPENDENT LIVING
- A11 BUILDING ELEVATIONS - WALKWAY
- A12 BUILDING ELEVATIONS - DETAIL
- A13 SITE DETAILS
- PH1 SITE PLAN PHOTOGRAPHS

**PROJECT TEAM**

**ARCHITECT**  
 STARK WILSON DUNCAN ARCHITECTS INC  
 315 NICHOLS RD. SUITE 228  
 KANSAS CITY, MISSOURI 64112  
 816.531.1698

**CIVIL**  
 OLSSON  
 559 E. ST. LOUIS ST.  
 SPRINGFIELD, MO 65806  
 417.882.8822

**STRUCTURAL**  
 BOSS & CAMERON S. CO.  
 4133 BELLEVUE  
 KANSAS CITY, MO 64111  
 816.531.4144

**MECHANICAL/ELECTRICAL/PLUMBING**  
 HOSS & BROWN ENGINEERS  
 1000 N. GARDNER  
 LEONIA, MI 48244  
 913.352.5690

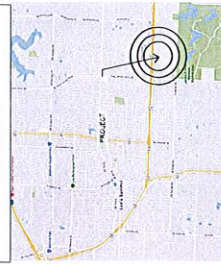
**OWNER**  
 CRELLI DEVELOPMENT CO.  
 265 N. HANCOCK AVE. #100  
 SPRINGFIELD, MO 65815  
 417.893.6006

**MANAGEMENT COMPANY**  
 ARROW SENIOR LIVING  
 1000 N. GARDNER  
 ST. CHARLES, MO 63301  
 636.724.1786

**GENERAL PROJECT NOTES**

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE MISSOURI STATE BUILDING CODE, 2015 IBC WITH LOCAL AMENDMENTS.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE ELECTRICAL CODE, 2017 NEC WITH LOCAL AMENDMENTS.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE PLUMBING CODE, 2015 IPC WITH LOCAL AMENDMENTS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE MECHANICAL CODE, 2015 IMC WITH LOCAL AMENDMENTS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE LANDSCAPE ARCHITECTURE CODE, 2015 LSCA WITH LOCAL AMENDMENTS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE FIRE AND LIFE SAFETY CODE, 2015 LSCA WITH LOCAL AMENDMENTS.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE HEALTH CARE FACILITY CONSTRUCTION CODE, 2015 HCFC WITH LOCAL AMENDMENTS.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE SENIOR HOUSING CONSTRUCTION CODE, 2015 SHCC WITH LOCAL AMENDMENTS.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE SENIOR HOUSING DESIGN AND CONSTRUCTION CODE, 2015 SHDC WITH LOCAL AMENDMENTS.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE SENIOR HOUSING ACCESSIBILITY AND USABILITY CODE, 2015 SHUA WITH LOCAL AMENDMENTS.
11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE SENIOR HOUSING DESIGN AND CONSTRUCTION CODE, 2015 SHDC WITH LOCAL AMENDMENTS.
12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE SENIOR HOUSING ACCESSIBILITY AND USABILITY CODE, 2015 SHUA WITH LOCAL AMENDMENTS.
13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE SENIOR HOUSING DESIGN AND CONSTRUCTION CODE, 2015 SHDC WITH LOCAL AMENDMENTS.
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17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE SENIOR HOUSING DESIGN AND CONSTRUCTION CODE, 2015 SHDC WITH LOCAL AMENDMENTS.
18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE SENIOR HOUSING ACCESSIBILITY AND USABILITY CODE, 2015 SHUA WITH LOCAL AMENDMENTS.
19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE SENIOR HOUSING DESIGN AND CONSTRUCTION CODE, 2015 SHDC WITH LOCAL AMENDMENTS.
20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MISSOURI STATE SENIOR HOUSING ACCESSIBILITY AND USABILITY CODE, 2015 SHUA WITH LOCAL AMENDMENTS.

**ISSUE DATE:**  
 2/19/19



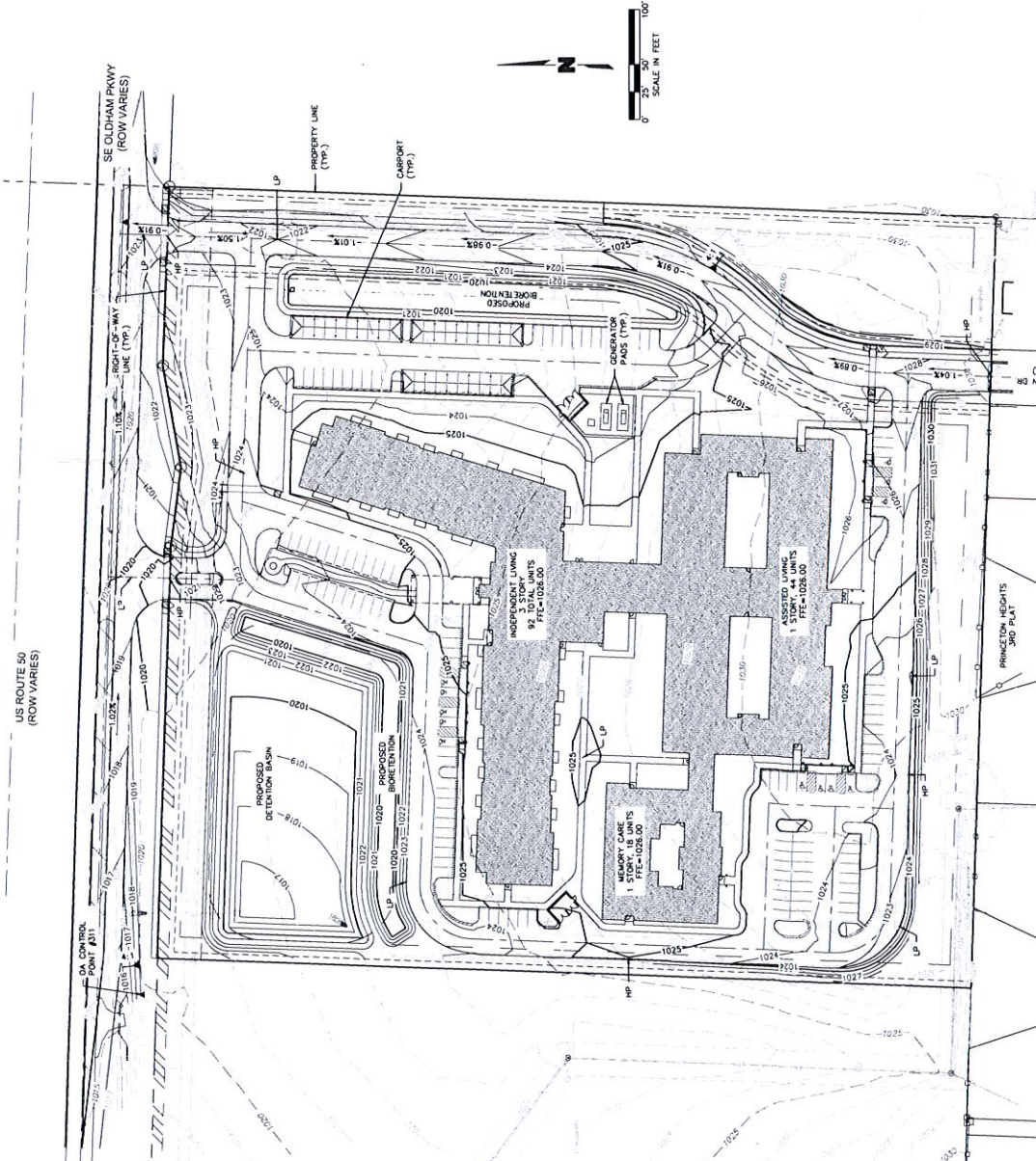
LOCATION MAP





### GRADING NOTES:

1. ALL ELEVATIONS ARE TO NORTH AMERICAN VERTICAL DATUM (N.A. V.D. 1988).
2. ALL UNFINISHED AREAS TO BE CONSTRUCTED SHALL BE FINISHED WITH 4" COMPACTED GRANULAR FILL TO BE PLACED AS FILL MATERIAL ON ALL UNFINISHED AREAS. IF STOCKPILE IS IN PLACE FOR MORE THAN 14 DAYS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE STOCKPILE FROM WEATHER DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE STOCKPILE FROM WEATHER DAMAGE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEES SUMMIT, MISSOURI, AND THE MISSOURI DEPARTMENT OF TRANSPORTATION (MoDOT) FOR ANY EXISTING UTILITIES LOCATED ON-SITE OR OTHERWISE DAMAGED BY THE NEW CONSTRUCTION.
4. CONTRACTOR SHALL USE CAUTION AROUND ANY EXISTING UTILITIES LOCATED ON-SITE OR OTHERWISE DAMAGED BY THE NEW CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEES SUMMIT, MISSOURI, AND THE MISSOURI DEPARTMENT OF TRANSPORTATION (MoDOT) FOR ANY EXISTING UTILITIES LOCATED ON-SITE OR OTHERWISE DAMAGED BY THE NEW CONSTRUCTION.
6. CONTRACTOR SHALL ADDRESS ANY GRADING RECOMMENDATIONS IDENTIFIED IN THE PRELIMINARY GRADING PLAN AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEES SUMMIT, MISSOURI, AND THE MISSOURI DEPARTMENT OF TRANSPORTATION (MoDOT) FOR ANY EXISTING UTILITIES LOCATED ON-SITE OR OTHERWISE DAMAGED BY THE NEW CONSTRUCTION.
7. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES, PIPES AND STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES OR STRUCTURES LOCATED AT THE WORKSITE PRIOR TO THE START OF ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY OWNER IN ADVANCE OF ANY EXCAVATION FOR THE MARK-OUT OF THE LOCATION OF UTILITIES AND NOTIFICATION OF COMMENCEMENT OF WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEES SUMMIT, MISSOURI, AND THE MISSOURI DEPARTMENT OF TRANSPORTATION (MoDOT) FOR ANY EXISTING UTILITIES LOCATED ON-SITE OR OTHERWISE DAMAGED BY THE NEW CONSTRUCTION.
9. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEES SUMMIT, MISSOURI, AND THE MISSOURI DEPARTMENT OF TRANSPORTATION (MoDOT) FOR ANY EXISTING UTILITIES LOCATED ON-SITE OR OTHERWISE DAMAGED BY THE NEW CONSTRUCTION.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SEDIMENT CONTROL BARRIERS FOR A PERIOD OF 1 YEAR OR UNTIL THEY ARE RELEASED FROM THIS RESPONSIBILITY BY THE ENGINEER, WHICHEVER PERIOD IS SHORTER.
11. ALL ITEMS REMOVED SHALL BE DEPOSITED OFF SITE BY THE CONTRACTOR AS PER CITY OF LEES SUMMIT REQUIREMENTS.
12. IN ALL LOCATIONS WHERE NEW PAVEMENT IS TO BE INSTALLED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEES SUMMIT, MISSOURI, AND THE MISSOURI DEPARTMENT OF TRANSPORTATION (MoDOT) FOR ANY EXISTING UTILITIES LOCATED ON-SITE OR OTHERWISE DAMAGED BY THE NEW CONSTRUCTION.
13. ALL SIDEWALKS SHALL BE ADA ACCESSIBLE WITH RUNNING SLOPE BEING NO STEEPER THAN 1:20. ALL SIDEWALKS SHALL BE FINISHED WITH 4" COMPACTED GRANULAR FILL TO BE PLACED AS FILL MATERIAL ON ALL UNFINISHED AREAS. IF STOCKPILE IS IN PLACE FOR MORE THAN 14 DAYS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE STOCKPILE FROM WEATHER DAMAGE.
14. CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN OR STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.
15. ALL FINISH GRADES AROUND BUILDING SHALL BE 6" BELOW FINISH FLOOR UNLESS SPECIFIED OTHERWISE. CONTRACTOR SHALL FINISH GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.



### LEGEND

1080	EXISTING CONTOUR
TC=1080.00	PROPOSED CONTOUR
TL=1080.00	TOP OF CURB
TP=1080.00	TOP OF SIDEWALK
GP=1080.00	TOP OF PAVEMENT
GR=1080.00	FINISHED GROUND
MR=1080.00	TOP OF MANHOLE
TI=1080.00	TOP OF INLET
TB=1080.00	TOP OF BASIN
TI=1080.00	TOP OF JUNCTION BOX
LF=1080.00	LOW FINISHED GROUND
HFC=1080.00	HIGH FINISHED GROUND
	SWALE
	TRIDE LINE
HP	HIGH POINT
LP	LOW POINT
	PULL CURB (TYPE C-1, B-1)
	STRAIGHT CURB (TYPE C-1)
	STRAIGHT CURB (TYPE C-1)
	SPECIALTY RAMP - SLOPE @ 8.33%
	WALK

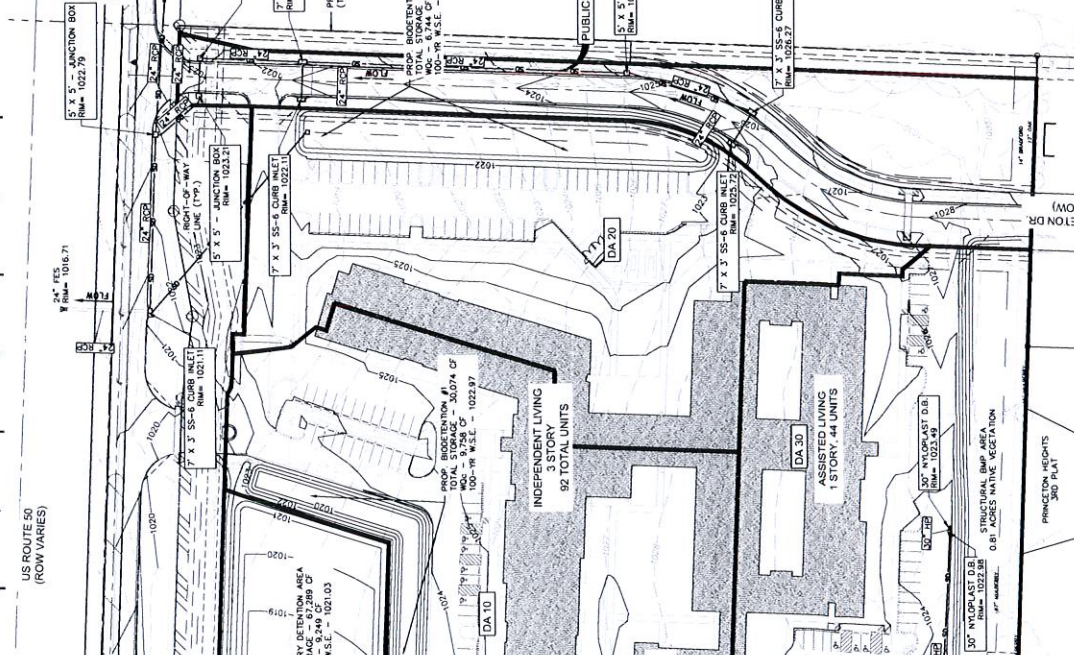
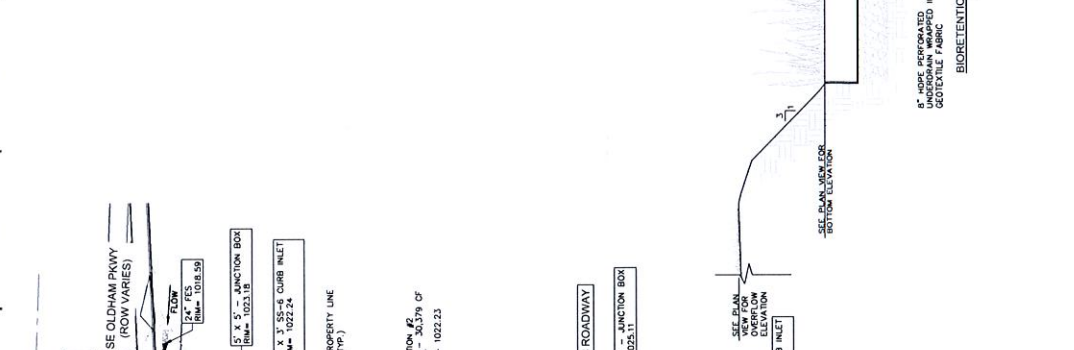
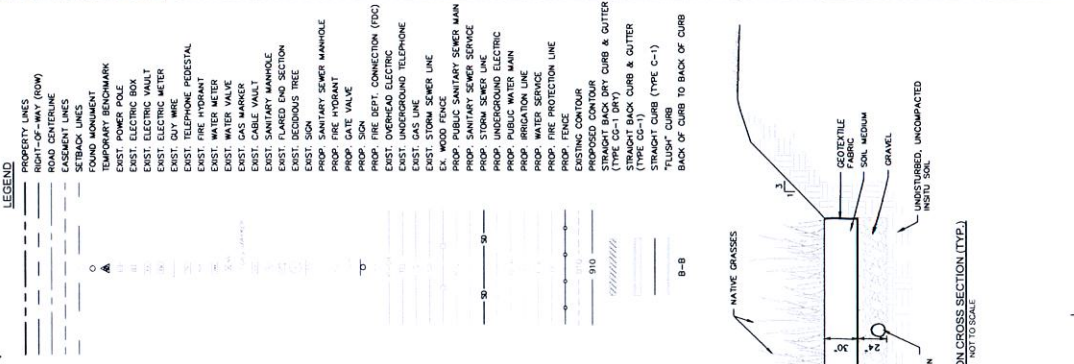
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 Phone: 816.488.1500 Fax: 816.488.1505  
 www.olsson.com

PROJECT NO.: XXXX  
 C3.0  
 PRELIMINARY GRADING PLAN  
 ISSUE DATE: 2019 JANUARY 17  
 REVISIONS:  
 CITY COMMENTS - CHANGE

**SWD ARCHITECTS**  
 EST. 1935  
 ARCHITECTURAL CORPORATION  
 OF AUTHORITY NO. 00073

LEES SUMMIT SENIOR LIVING COMMUNITY  
 SE OLDAH PARKWAY  
 LEES SUMMIT, MISSOURI  
 STARK WILSON DUNCAN ARCHITECTS INC  
 315 NICHOLS RD, STE 278 • LEES SUMMIT, MO 64077 • 816.531.8581 FAX 816.531.1978

**MISOURI REGISTERED PROFESSIONAL ENGINEER**  
 STATE OF MISSOURI  
 No. 012128  
 JOHN A. FRY  
 1111 N. W. 10TH ST.  
 LEES SUMMIT, MO 64081  
 816.488.1500  
 www.olsson.com



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1111 N. Lincoln St., Suite 100, Lincoln, MO 64601  
TEL: 417-266-0000 FAX: 417-266-0001  
www.olsson.com

DRAINAGE AREAS RATIONAL METHOD CALCULATIONS

AREA	Drainage Area (Ac)	Runoff Coefficient	Runoff	Time of Concentration (hr)	24-Hour 10-Year 15-Minute Peak Flow (cfs)	24-Hour 2-Year 15-Minute Peak Flow (cfs)	24-Hour 100-Year 15-Minute Peak Flow (cfs)	10-Year 15-Minute Peak Flow (cfs)	100-Year 15-Minute Peak Flow (cfs)
DA 40	2.33	0.79	1.84	5.00	5.81	8.35	12.6	12.63	20.78
DA 20	1.16	0.79	0.92	5.00	5.81	8.35	12.6	12.63	20.78
DA 30	1.16	0.79	0.92	5.00	5.81	8.35	12.6	12.63	20.78
DA 30 TO STORMWATER	3.07	0.56	1.72	5.00	5.81	8.35	12.6	12.63	20.78
PUBLIC ROADWAY	1.44	0.61	0.88	5.00	5.81	8.35	12.6	12.63	20.78

DATE: 1/17/2019 10:11:50 AM  
DRAWN: J. WILSON  
CHECKED: J. WILSON  
PROJECT: LEES SUMMIT SENIOR LIVING COMMUNITY  
SHEET: C.F.S.T.M. #1450







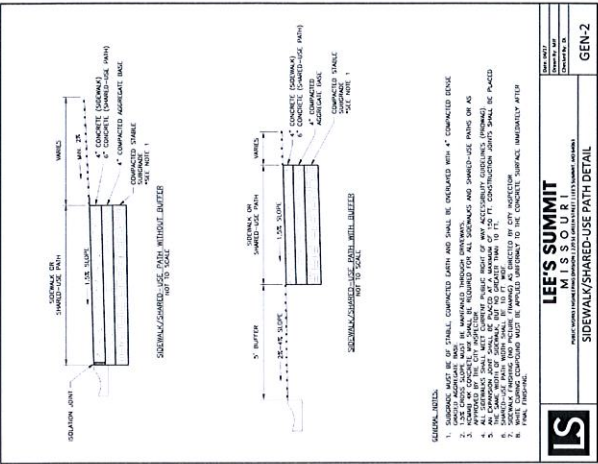
DETAILS

ISSUE DATE:  
2019 JANUARY 17

REVISIONS:  
△ CITY COMMENTS - COMMO

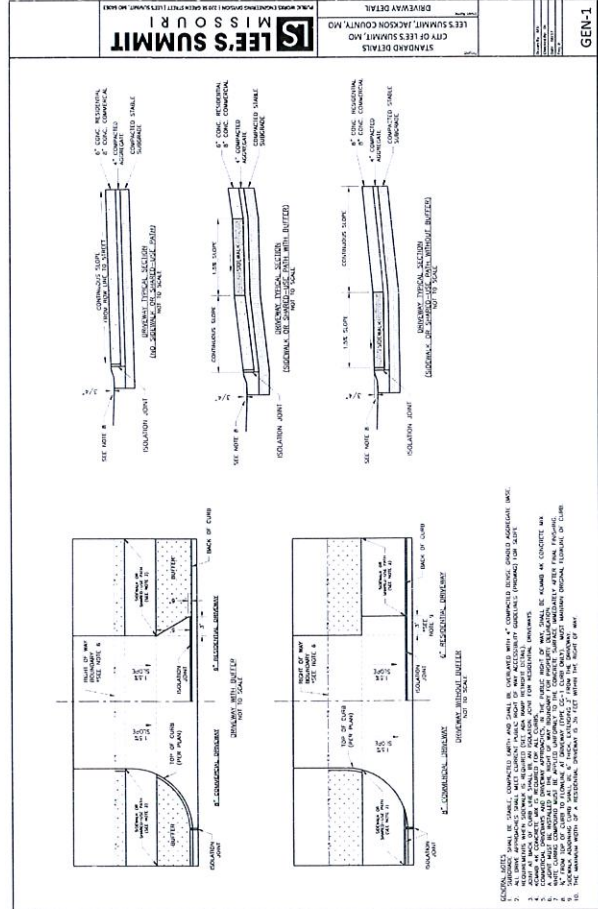
PROJECT NO.: XXXX

C6.0

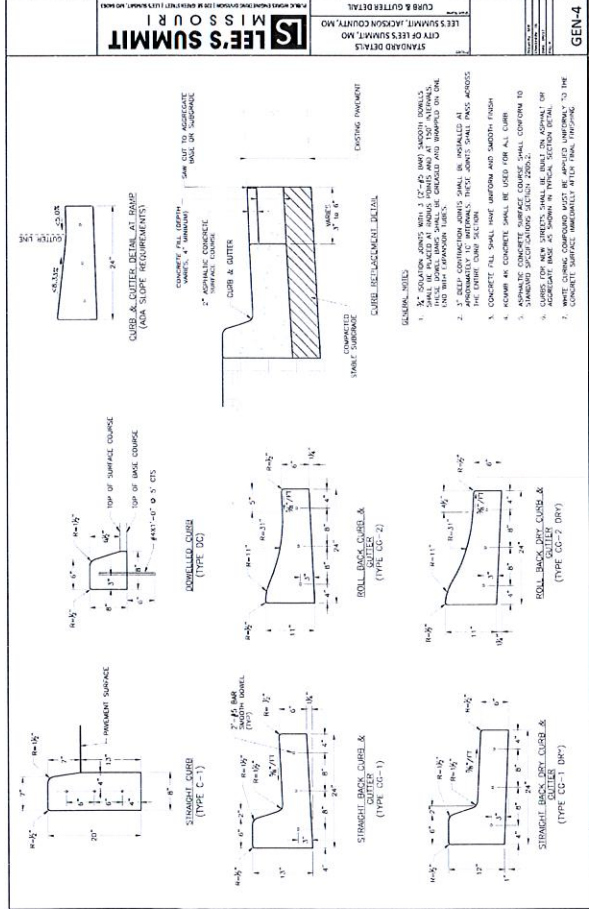


LEES SUMMIT  
MISSOURI  
SIDEWALK/SHARED-USE PATH DETAIL

DATE: 01/17/19  
DRAWN BY: JAJ  
CHECKED BY: JAJ



GEN-1  
STANDARD DETAILS  
CITY OF LEES SUMMIT, MO  
LEES SUMMIT, JACKSON COUNTY, MO  
MISSOURI



GEN-4  
STANDARD DETAILS  
CITY OF LEES SUMMIT, MO  
LEES SUMMIT, JACKSON COUNTY, MO  
MISSOURI

TABLE E-2: MINIMUM ANNUAL PAVEMENT THICKNESS

Classification	Subgrade Type	Subgrade Strength (psi)		Subgrade Depth (ft)	Subgrade Type	Subgrade Depth (ft)
		Min	Max			
A	A	2	4	6	C	6
		3	5	8		
B	B	2	3.5	8	D	9
		3	4.5	10		
C	C	2	3.5	12	E	9
		3	4.5	14		
D	D	2	3.5	12	F	9
		3	4.5	14		


TABLE E-3: MINIMUM PAVEMENT THICKNESS

Type	Pavement	Min. Thickness (in)	Subgrade	Min. Thickness (in)
Concrete	Concrete	8	C	9
		8		D
Asphalt	Asphalt	4	C	4
		4		D

(1) Subgrade Strength and Pavement Thickness may be replaced by approved geogrid and/or aggregate base.

1-800-465-ART-811  
www.art811.com

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Quantity Estimating and Takeoff Software  
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Lincoln, MO 64601  
Phone: 417-266-8855  
www.olisson.com



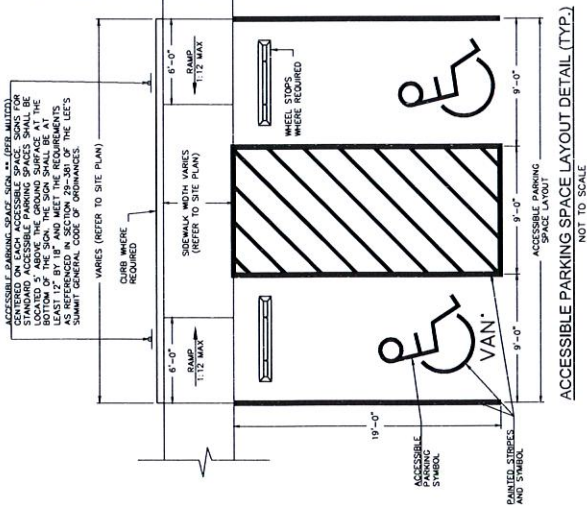
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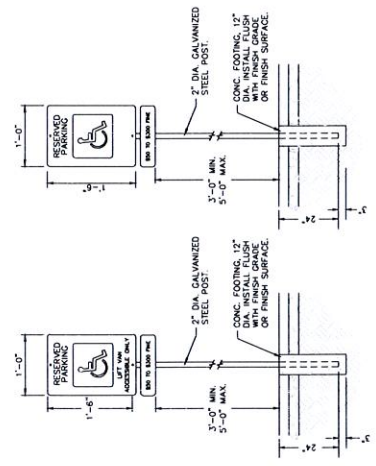
\* SEE SITE PLAN FOR "LIFT VAN ACCESSIBLE ONLY" STALL LOCATION

\*\* "LIFT VAN ACCESSIBLE ONLY" STALLS SHALL BE IDENTIFIED BY DESIGNATED STALL NOTED ON SITE PLAN

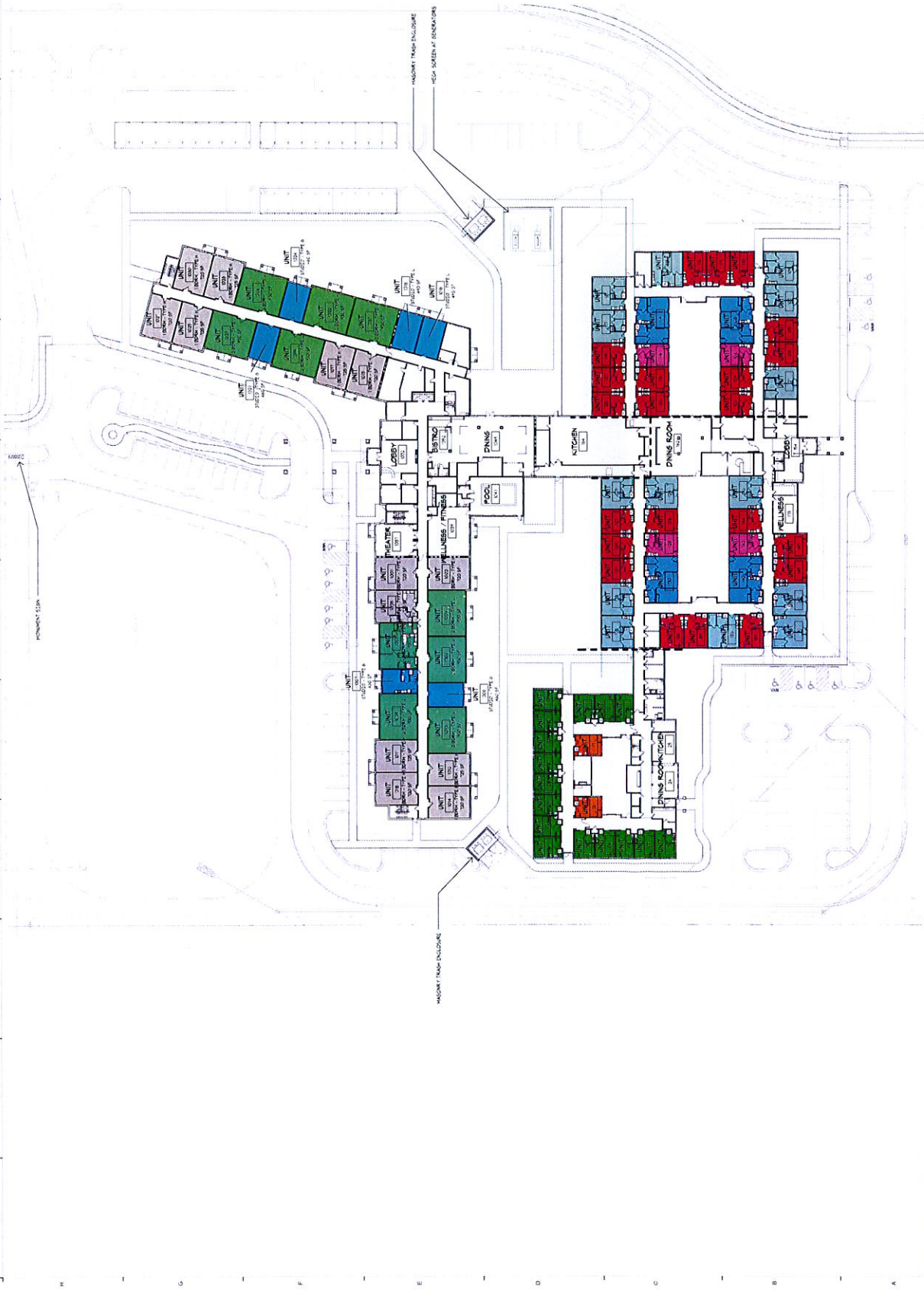


NOTE:  
EVERY PARKING SPACE REQUIRED SHALL BE IDENTIFIED BY A SIGN MOUNTED ON A POLE. THE SIGN SHALL BE AT LEAST 12" BY 18" IN AREA. THE SIGN SHALL BE IDENTIFIED BY THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS REFERENCED IN SECTION 28-381 OF THE LEE'S SUMMIT GENERAL CODE OF ORDINANCES.

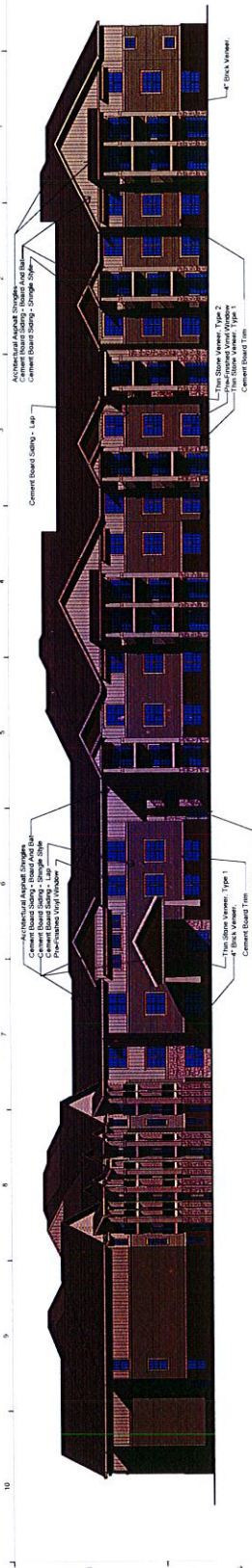
POLE MOUNTED LIFT VAN ACCESSIBLE SIGN  
NOT TO SCALE



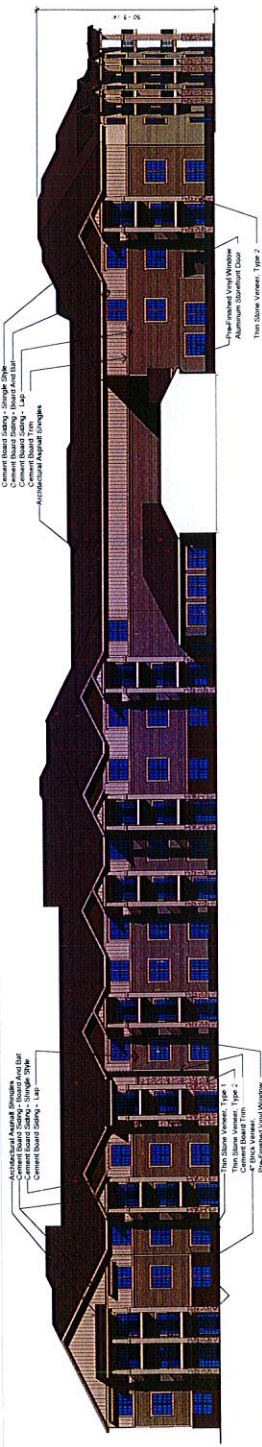
1 2 3 4 5 6 7 8 9 10



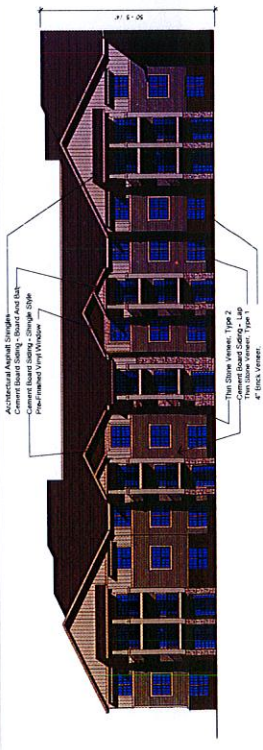
**A6** FIRST FLOOR PLAN  
1/32" = 1'-0"



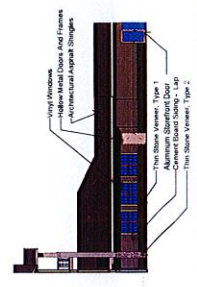
**G10** NORTH ELEVATION IL  
1/16" = 1'-0"



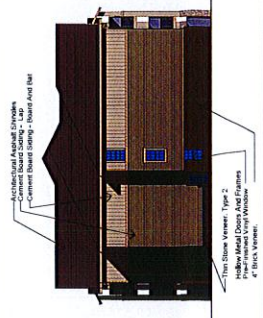
**E10** SOUTH ELEVATION IL  
1/16" = 1'-0"



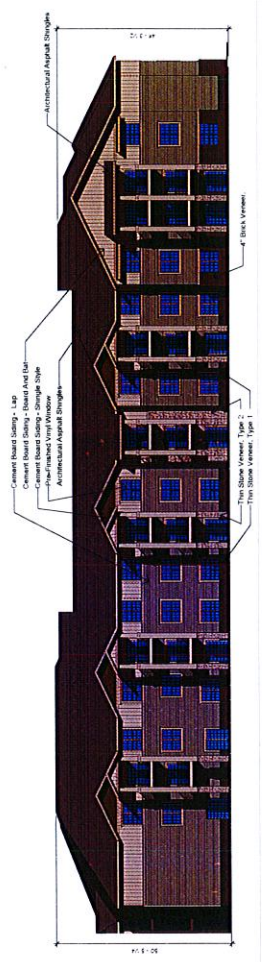
**C10** PARTIAL WEST ELEVATION - IL NORTH  
1/16" = 1'-0"



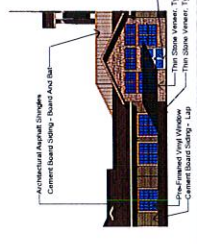
**C5** PARTIAL WEST ELEVATION - IL SOUTH  
1/16" = 1'-0"



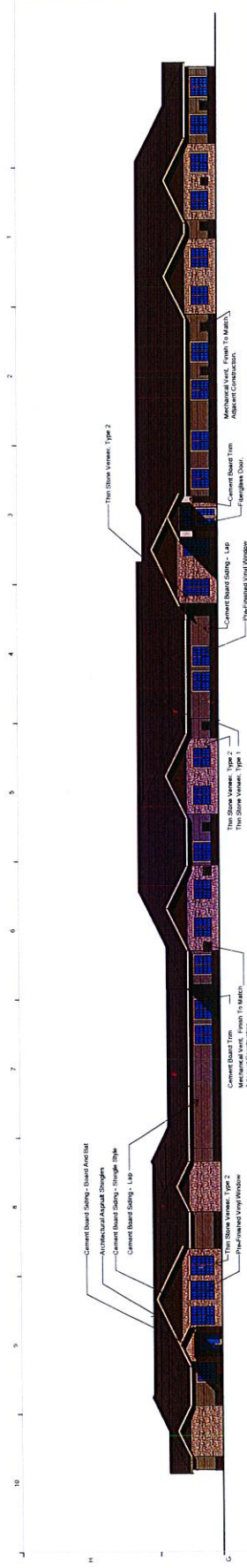
**C2** PARTIAL NORTH ELEVATION - IL  
1/16" = 1'-0"



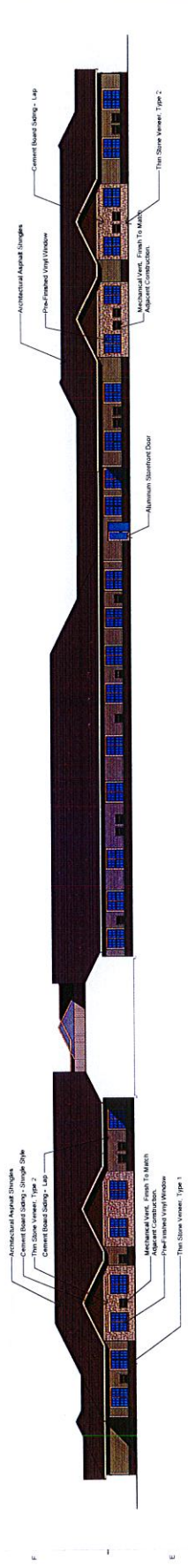
**A8** PARTIAL EAST ELEVATION - IL NORTH  
1/16" = 1'-0"



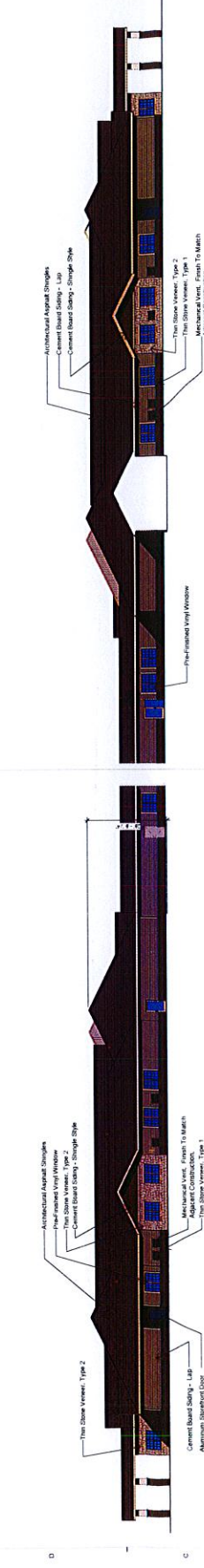
**A10** PARTIAL EAST ELEVATION - IL SOUTH  
1/16" = 1'-0"



**G10** MCAL SOUTH ELEVATION  
1/16" = 1'-0"



**E10** MCAL NORTH ELEVATION  
1/16" = 1'-0"



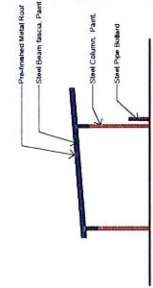
**C10** AL EAST ELEVATION  
1/16" = 1'-0"

**C5** AL WEST ELEVATION  
1/16" = 1'-0"

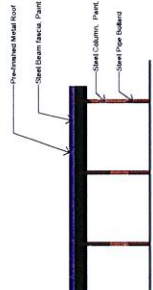


**A10** MC WEST ELEVATION  
1/16" = 1'-0"

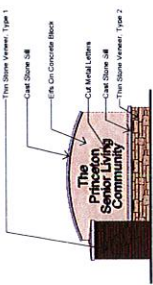
1 2 3 4 5 6 7 8 9 10



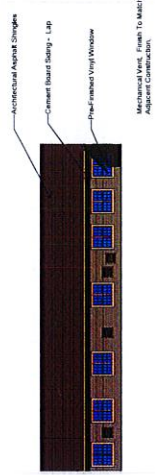
**G2** CARPORT ELEVATION - SIDE  
1/8" = 1'-0"



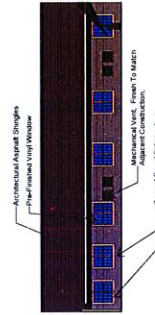
**G8** CARPORT ELEVATION - FRONT  
1/8" = 1'-0"



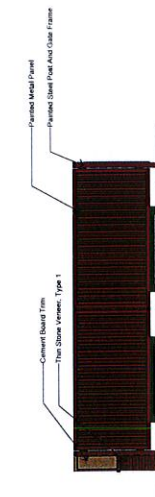
**G10** MONUMENT SIGN ELEVATION  
1/4" = 1'-0"



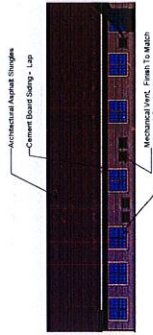
**E3** AL COURTYARD 1 - NORTH ELEVATION  
1/16" = 1'-0"



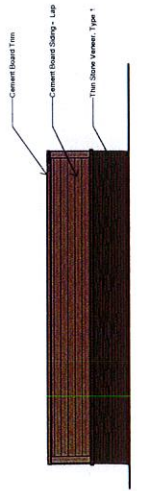
**E6** AL COURTYARD 2 - NORTH ELEVATION  
1/16" = 1'-0"



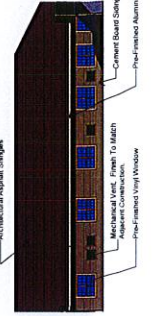
**E10** ELEVATION AT TRASH ENCLOSURE  
1/4" = 1'-0"



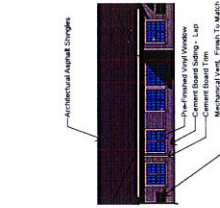
**C6** AL COURTYARD 1 - SOUTH ELEVATION  
1/16" = 1'-0"



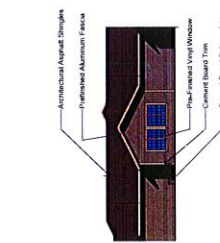
**C10** TRASH ENCLOSURE - BACK  
1/4" = 1'-0"



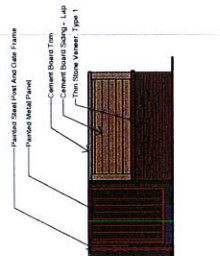
**C3** AL COURTYARD 2 - SOUTH ELEVATION  
1/16" = 1'-0"



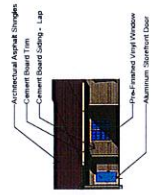
**A6** SOUTH ELEV - MC COURT  
1/16" = 1'-0"



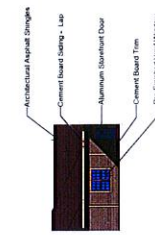
**A8** NORTH ELEV. - MC COURT  
1/16" = 1'-0"



**A10** TRASH ENCLOSURE - SIDE  
1/4" = 1'-0"

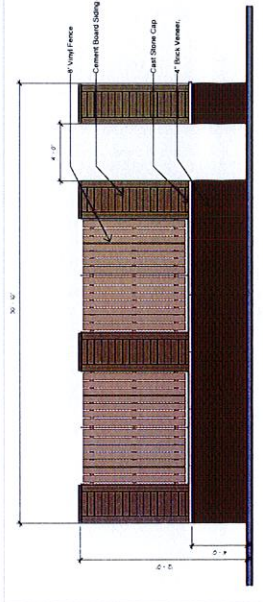


**A2** EAST ELEV - MC COURT  
1/16" = 1'-0"

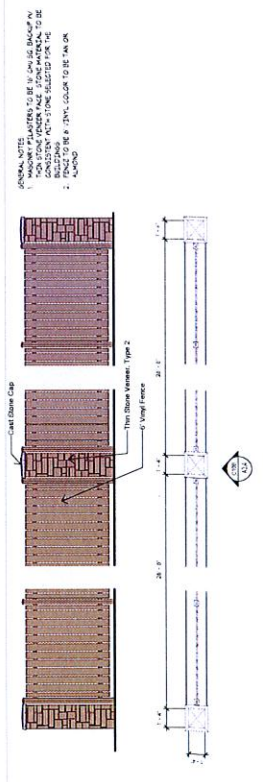


**A4** WEST ELEV - MC COURT  
1/16" = 1'-0"

**EXTERIOR FINISH LEGEND**



**C4** MECH SCREEN - SOUTH ELEVATION  
1/4" = 1'-0"



**A6** MECH SCREEN - EAST ELEVATION  
1/4" = 1'-0"



**C10** PLAN DETAIL AT FENCE  
1/4" = 1'-0"

MECHANICAL SCREEN AT SCREENINGS

MECHANICAL SCREENING SHALL BE 1/2" ON CONCRETE AND 1/4" ON BRICK VENEER. ALL SCREENING SHALL BE 1/2" ON CONCRETE AND 1/4" ON BRICK VENEER. ALL SCREENING SHALL BE 1/2" ON CONCRETE AND 1/4" ON BRICK VENEER. ALL SCREENING SHALL BE 1/2" ON CONCRETE AND 1/4" ON BRICK VENEER.

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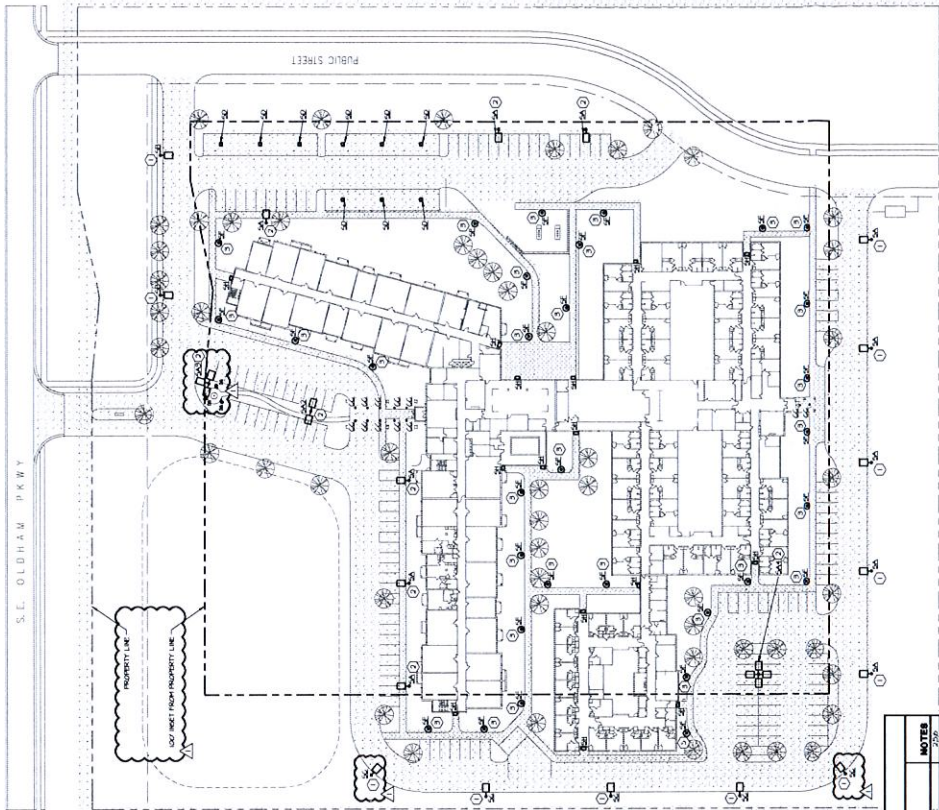




PHOTOMETRICS  
SITE PLAN

ISSUE DATE: 1/18/19  
REVISIONS:  
DESCRIPTION DATE  
CITY COMMENTS 02/01/19

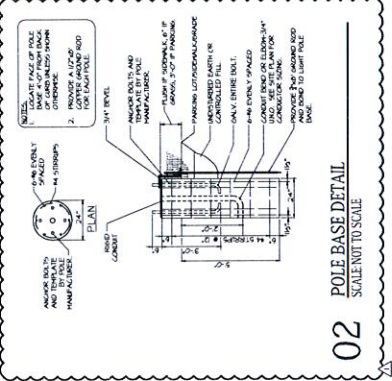
PROJECT NO. 1811  
**PHI.1.1**



**PHOTOMETRICS SITE PLAN**

SCALE: 1" = 50'-0"

**COPY PLAN NOTES:**  
1. PROVIDE 1/4" TALL POLE AND 6" TALL CONCRETE BASE WITH 3" DIA. REINFORCING BARS AND 1" ABOVE FINISHED GRADE.  
2. PROVIDE 3" DIA. REINFORCING BARS AND 1" ABOVE FINISHED GRADE.  
3. PROVIDE 6" TALL POLE AND 6" TALL CONCRETE BASE WITH 3" DIA. REINFORCING BARS AND 1" ABOVE FINISHED GRADE.



**LIGHT FIXTURE SCHEDULE - SITE LIGHTING**

MARK	MANUFACTURER	MODEL	TYPE	LAMP DATA	BALLAST TYPE	VOLTS	MOUNTING	TOTAL WATTS	DESCRIPTION	NOTES
001	OSRAM	OSRAM	LED	OSRAM	LED	120V	RECESSED	150	OSRAM LED DOWN LIGHT	1
002	OSRAM	OSRAM	LED	OSRAM	LED	120V	RECESSED	150	OSRAM LED DOWN LIGHT	2
003	OSRAM	OSRAM	LED	OSRAM	LED	120V	RECESSED	150	OSRAM LED DOWN LIGHT	3
004	OSRAM	OSRAM	LED	OSRAM	LED	120V	RECESSED	150	OSRAM LED DOWN LIGHT	4
005	OSRAM	OSRAM	LED	OSRAM	LED	120V	RECESSED	150	OSRAM LED DOWN LIGHT	5
006	OSRAM	OSRAM	LED	OSRAM	LED	120V	RECESSED	150	OSRAM LED DOWN LIGHT	6
007	OSRAM	OSRAM	LED	OSRAM	LED	120V	RECESSED	150	OSRAM LED DOWN LIGHT	7
008	OSRAM	OSRAM	LED	OSRAM	LED	120V	RECESSED	150	OSRAM LED DOWN LIGHT	8
009	OSRAM	OSRAM	LED	OSRAM	LED	120V	RECESSED	150	OSRAM LED DOWN LIGHT	9
010	OSRAM	OSRAM	LED	OSRAM	LED	120V	RECESSED	150	OSRAM LED DOWN LIGHT	10

1. PROVIDE 1/4" TALL POLE AND 6" TALL CONCRETE BASE WITH 3" DIA. REINFORCING BARS AND 1" ABOVE FINISHED GRADE.  
2. PROVIDE 3" DIA. REINFORCING BARS AND 1" ABOVE FINISHED GRADE.  
3. PROVIDE 6" TALL POLE AND 6" TALL CONCRETE BASE WITH 3" DIA. REINFORCING BARS AND 1" ABOVE FINISHED GRADE.

**GENERAL NOTES:**  
A. PROVIDE ALL REQUIRED ACCESSORIES FOR COMPLETE INSTALLATION.  
B. CONTRACTOR SHALL VERIFY FINISH WITH ARCHITECT PRIOR TO ORDERING ALL FIXTURES.  
C. NOT ALL FIXTURES MAY APPEAR ON THE PLAN.

7071 West 130th Street, Suite 200  
Overland Park, KS 66213-1750  
Tel: 913.881.1174  
Fax: 913.881.1174

Lot Summary Table

Lot #	Area (Ac)	Area (Sq Ft)
Lot 1	455.466 S.F.	10,429.7 AC
Lot 2	30,129 S.F.	0.6916 AC
SE Princeton Drive R/W	47,527 S.F.	1.0911 AC
Total	533,062 S.F.	12,237.4 AC

SE of Road George Forks  
Section 10, 14, 17N, 47W  
U.S. Route 50  
Scale: 1" = 200'

U.S. Route 50  
Right of Way  
1/2" = 100'

U.S. Route 50  
Right of Way  
1/2" = 100'

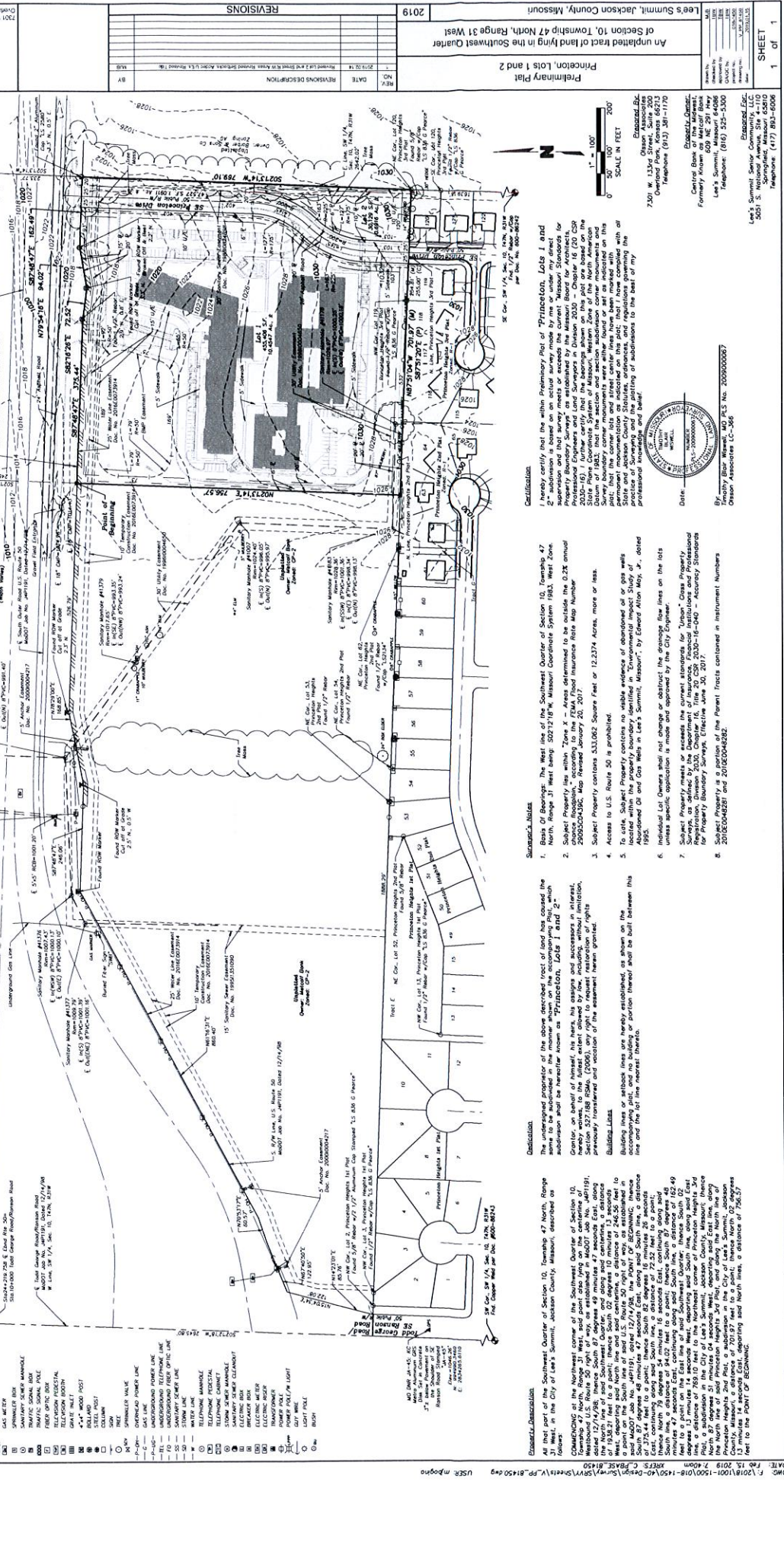
U.S. Route 50  
Right of Way  
1/2" = 100'

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Right of Way  
1/2" = 100'

U.S. Route 50  
Right of Way  
1/2" = 100'



REVISIONS

NO.	DATE	REVISION DESCRIPTION
1	2/12/19	ISSUED FOR PERMITTING
2	2/12/19	ISSUED FOR PERMITTING

Lee's Summit, Jackson County, Missouri  
An unplatted tract of land lying in the Southwest Quarter of Section 10, Township 10, Range 31 West  
Princeton, Lots 1 and 2  
Preliminary Plat

Scale: 1" = 100'  
North Arrow

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Edward A. May, Jr.  
Professional Engineer  
No. 000-08772

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PL#2019-017- PRELIMINARY DEVELOPMENT PLAN &  
PL#2019-018 - SPECIAL USE PERMIT  
LEE'S SUMMIT SENIOR LIVING COMMUNITY  
O'REILLY DEVELOPMENT COMPANY, APPL.

