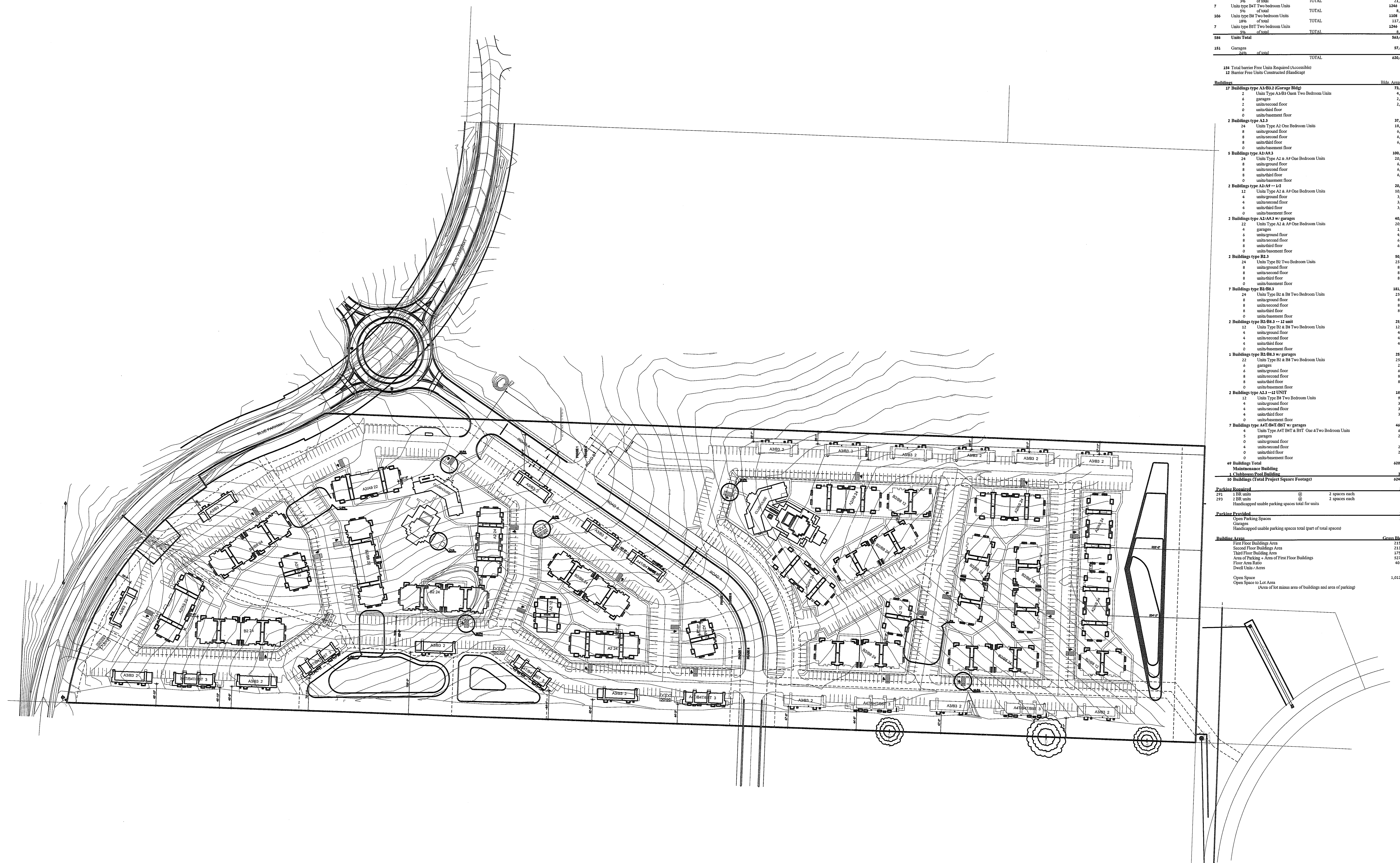
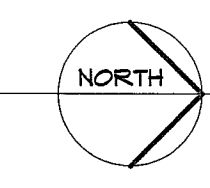


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**A SITE PLAN -- OVERALL**  
 1" = 100'-0"  
 0 12.5 25 50 100



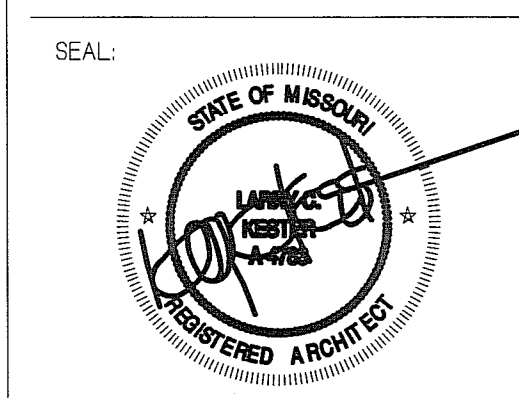
TABULATIONS		
Project Name:	Artisan Point	
Client:	Lee Summit, MO	
Date:	Case & Associates	
	August 3, 2018	
<b>Net Lot Area</b>	<b>35.36 Gross Acres</b>	<b>1,540,525 s.f.</b>
<b>Units</b>	<b>Unit Area</b>	<b>Unit Area</b>
168 Units type A1 One Bedroom Units		799 s.f.
276 of total	TOTAL	132,352 s.f.
17 Units type A3 One Bedroom Units		946 s.f.
396 of total	TOTAL	14,412 s.f.
14 Units type A4T One Bedroom Units		958 s.f.
996 of total	TOTAL	13,412 s.f.
92 Units type A9 One Bedroom Units		879 s.f.
1496 of total	TOTAL	80,868 s.f.
156 Units type B1 Two Bedroom Units		1650 s.f.
2796 of total	TOTAL	163,800 s.f.
17 Units type B3 Two Bedroom Units		1267 s.f.
396 of total	TOTAL	21,539 s.f.
7 Units type B4T Two Bedroom Units		1246 s.f.
596 of total	TOTAL	8,722 s.f.
206 Units type B4 Two Bedroom Units		1108 s.f.
1876 of total	TOTAL	137,448 s.f.
7 Units type B5T Two Bedroom Units		1246 s.f.
796 of total	TOTAL	8,722 s.f.
<b>184 Units Total</b>		<b>563,489 s.f.</b>
<b>151 Garages</b>		<b>97,613 s.f.</b>
<b>151 of total</b>		<b>97,613 s.f.</b>
<b>TOTAL</b>		<b>650,498 s.f.</b>
<b>154 Total Barrier Free Units Required (AccessBld)</b>		
<b>12 Barrier Free Units Constructed (Standings)</b>		
<b>Buildings</b>		
<b>17 Buildings type A1-B1.2 (Garage Bldg)</b>		<b>73,514 s.f.</b>
2 Units Type A1-B1 One Bedroom Units		4,342 s.f.
6 garages		2,109 s.f.
2 units/ground floor		2,233 s.f.
0 units/second floor		0 s.f.
0 units/basement floor		0 s.f.
<b>2 Buildings type A2.3</b>		<b>37,872 s.f.</b>
24 Units Type A2 One Bedroom Units		18,936 s.f.
8 units/ground floor		6,312 s.f.
8 units/second floor		6,312 s.f.
8 units/third floor		6,312 s.f.
0 units/basement floor		0 s.f.
<b>5 Buildings type A2/A3</b>		<b>100,280 s.f.</b>
24 Units Type A2 & A3 One Bedroom Units		20,216 s.f.
8 units/ground floor		6,472 s.f.
8 units/second floor		6,472 s.f.
8 units/third floor		6,472 s.f.
0 units/basement floor		0 s.f.
<b>2 Buildings type A2/A3 -- 1/2</b>		<b>20,216 s.f.</b>
12 Units Type A2 & A3 One Bedroom Units		10,208 s.f.
4 units/ground floor		3,336 s.f.
4 units/second floor		3,336 s.f.
4 units/third floor		3,336 s.f.
0 units/basement floor		0 s.f.
<b>2 Buildings type A2/A3 w/ garages</b>		<b>40,032 s.f.</b>
22 Units Type A2 & A3 One Bedroom Units		20,216 s.f.
4 garages		1,758 s.f.
6 units/ground floor		4,934 s.f.
8 units/second floor		6,472 s.f.
8 units/third floor		6,472 s.f.
0 units/basement floor		0 s.f.
<b>2 Buildings type B2.3</b>		<b>50,400 s.f.</b>
24 Units Type B2 Two Bedroom Units		25,200 s.f.
8 units/ground floor		8,400 s.f.
8 units/second floor		8,400 s.f.
8 units/third floor		8,400 s.f.
0 units/basement floor		0 s.f.
<b>7 Buildings type B2/B3</b>		<b>181,272 s.f.</b>
24 Units Type B2 & B3 Two Bedroom Units		25,996 s.f.
8 units/ground floor		8,632 s.f.
8 units/second floor		8,632 s.f.
8 units/third floor		8,632 s.f.
0 units/basement floor		0 s.f.
<b>2 Buildings type B2/B3 -- 1/2 unit</b>		<b>25,996 s.f.</b>
12 Units Type B2 & B3 Two Bedroom Units		12,948 s.f.
4 units/ground floor		4,316 s.f.
4 units/second floor		4,316 s.f.
4 units/third floor		4,316 s.f.
0 units/basement floor		0 s.f.
<b>1 Buildings type B2/B3 w/ garages</b>		<b>25,996 s.f.</b>
22 Units Type B2 & B3 Two Bedroom Units		25,996 s.f.
6 garages		2,216 s.f.
6 units/ground floor		4,618 s.f.
8 units/second floor		8,632 s.f.
8 units/third floor		8,632 s.f.
0 units/basement floor		0 s.f.
<b>2 Buildings type A2.3 -- 1/2 UNIT</b>		<b>18,936 s.f.</b>
12 Units Type B4 Two Bedroom Units		9,468 s.f.
4 units/ground floor		3,156 s.f.
4 units/second floor		3,156 s.f.
4 units/third floor		3,156 s.f.
0 units/basement floor		0 s.f.
<b>7 Buildings type A4T/B4T/B5T w/ garages</b>		<b>64,234 s.f.</b>
Units Type A4T/B4T/B5T One & Two Bedroom Units		64,234 s.f.
5 garages		2,204 s.f.
0 units/ground floor		0 s.f.
4 units/second floor		2,204 s.f.
0 units/third floor		0 s.f.
0 units/basement floor		0 s.f.
<b>49 Buildings Total</b>		<b>620,498 s.f.</b>
<b>Maintenance Building</b>		<b>750 s.f.</b>
<b>Clubhouse/Pool Building</b>		<b>1,533 s.f.</b>
<b>50 Buildings (Total Project Square Footage)</b>		<b>622,781 s.f.</b>
<b>Parking Required</b>		
274 1 BR units	@ 2 spaces each	548 spaces
279 2 BR units	@ 2 spaces each	558 spaces
Handicapped usable parking spaces total for units		23 spaces
<b>Parking Provided</b>		
Open Parking Spaces		1038 spaces
Garage		151 spaces
Handicapped usable parking spaces total (part of total spaces)		24 spaces
<b>Building Areas</b>		
First Floor Building Area		215,972 s.f.
Second Floor Building Area		213,877 s.f.
Third Floor Building Area		175,916 s.f.
Area of Parking - Area of First Floor Buildings		527,372 s.f.
Floor Area Ratio		40.54%
Dwell Unit / Acres		17 DU/A
Open Space		1,021,953 s.f.
Open Space to Lot Area (Area of lot minus area of buildings and area of parking)		66 %

REVISIONS

# Artisan Point at Lees Summit

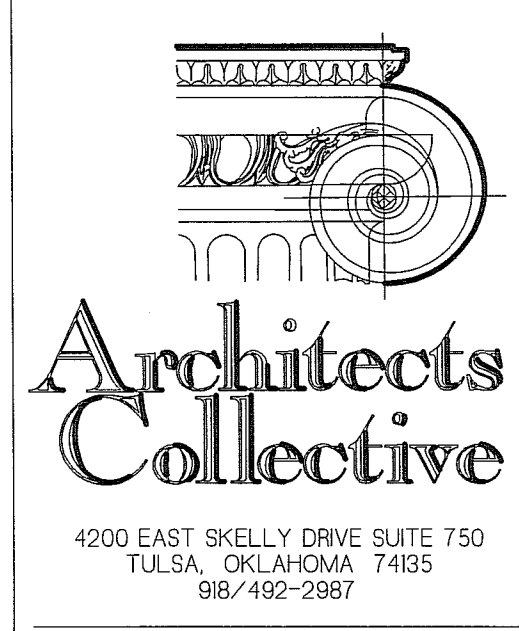
Lee Summit, Missouri  
Case Development Services

PROJECT: LOCATION: CLIENT:



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PROJECT NUMBER: DATE: 05/03/18

SHEET TITLE: **SITE PLAN**

SHEET NUMBER: **P**

Project: LEE SUMMIT Phase1 Date: 7/27/2018

City: Lee Summit MO  
Clubhouse: Area: 0 s.f.

Lot Area = 724,683 s.f. 16.87 acres

Land Area = 0 s.f. 0.00 acres

Pond Area = 0 s.f. 0.00 acres

Unit Mix:

96	Unit Type:	A2	@	789	S.F.	=	75,744	S.F.
32	Unit Type:	A9	@	879	S.F.	=	28,128	S.F.
84	Unit Type:	B2	@	1,050	S.F.	=	88,200	S.F.
34	Unit Type:	B8	@	1,108	S.F.	=	37,672	S.F.
8	Unit Type:	A3	@	966	S.F.	=	7,728	S.F.
8	Unit Type:	B3	@	1,267	S.F.	=	10,136	S.F.
10	Unit Type:	A4T	@	958	S.F.	=	9,580	S.F.
5	Unit Type:	B4T	@	1,246	S.F.	=	6,230	S.F.
5	Unit Type:	B5T	@	1,246	S.F.	=	6,230	S.F.
282	Total Units							
		APT		269,648	S.F.			
		Club		0	S.F.			
		Total		269,648	S.F.			

Garages: 88 of total units  
Carports: of total units

499 Open parking spaces  
587 Total Parking (open + garages)  
564 Minimum Parking Required

REVISIONS

# Artisan Point at Lees Summit

PROJECT: Lee Summit, Missouri  
LOCATION: Lee Summit, Missouri  
CLIENT: Case Development Services

SEAL:



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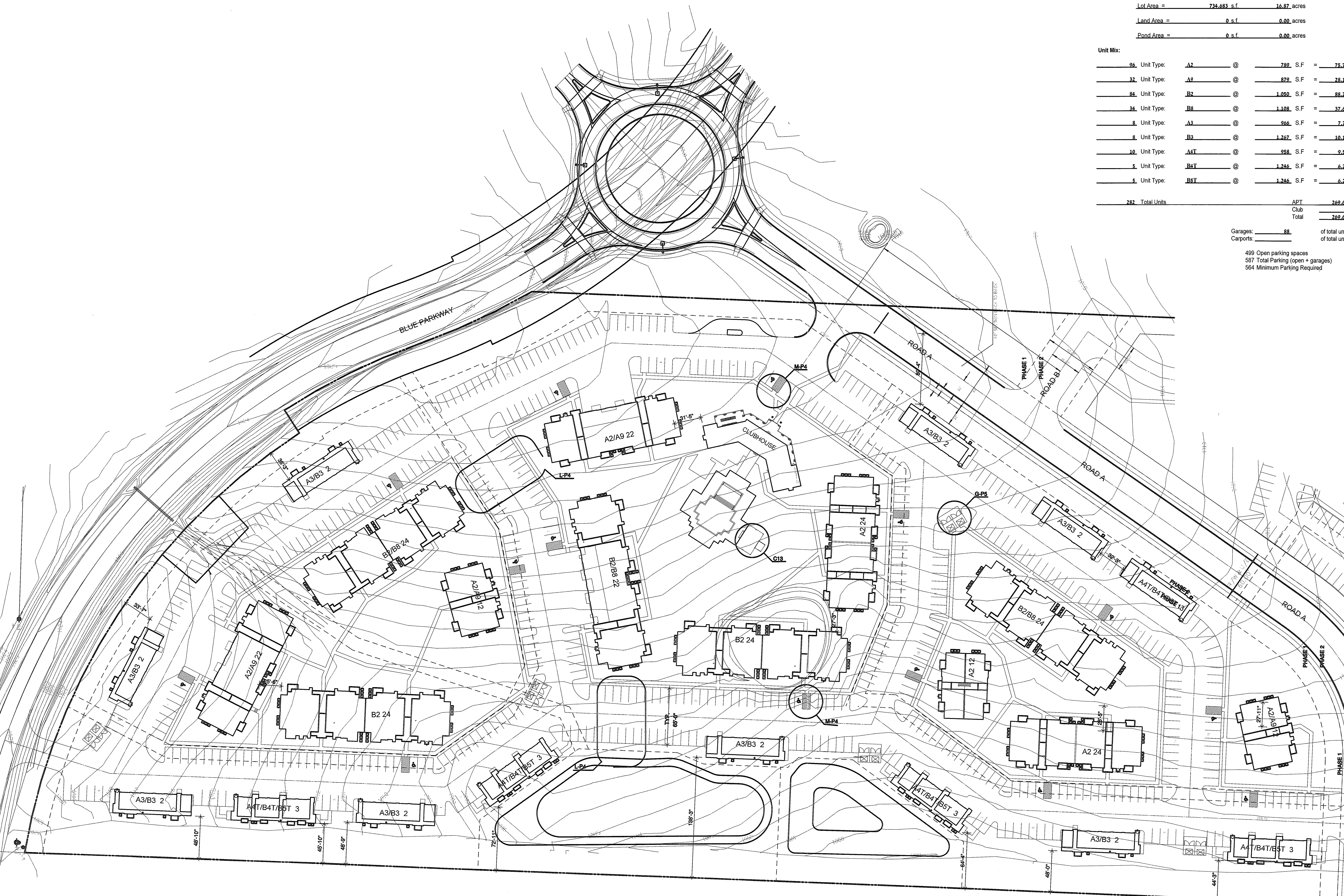
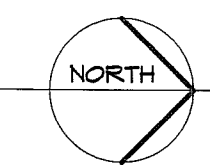
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DATE: 05/09/18

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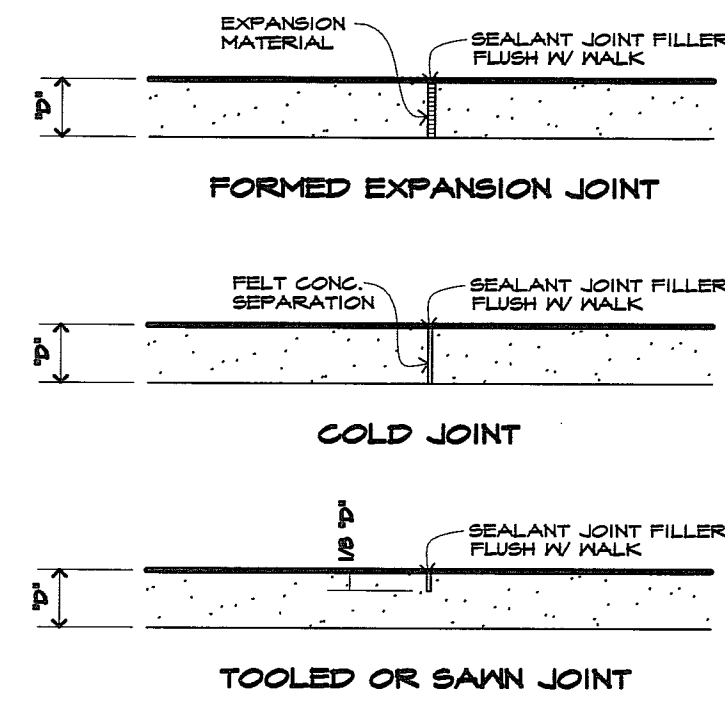
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**P.1**

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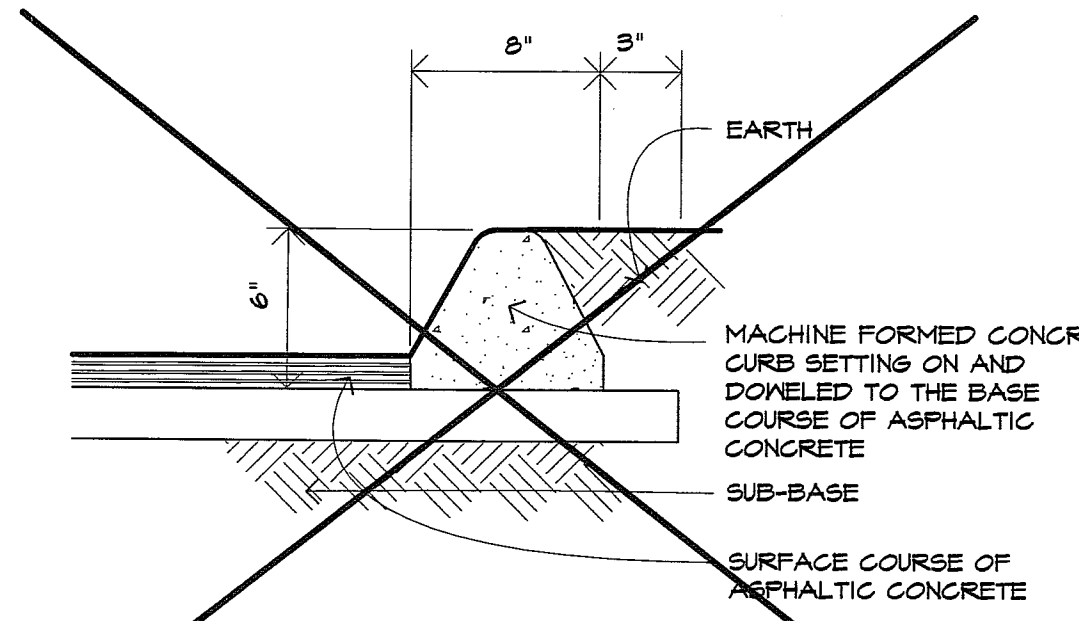
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0 12.5 25 50 100



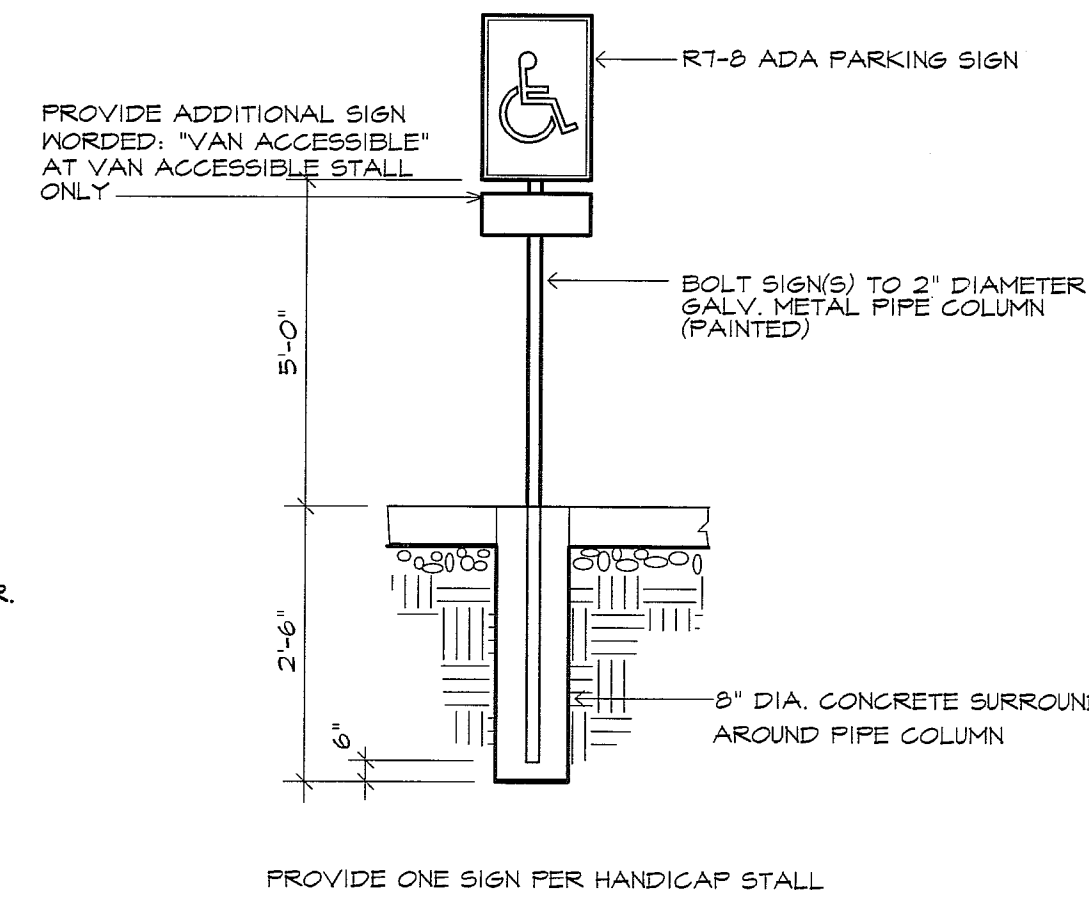




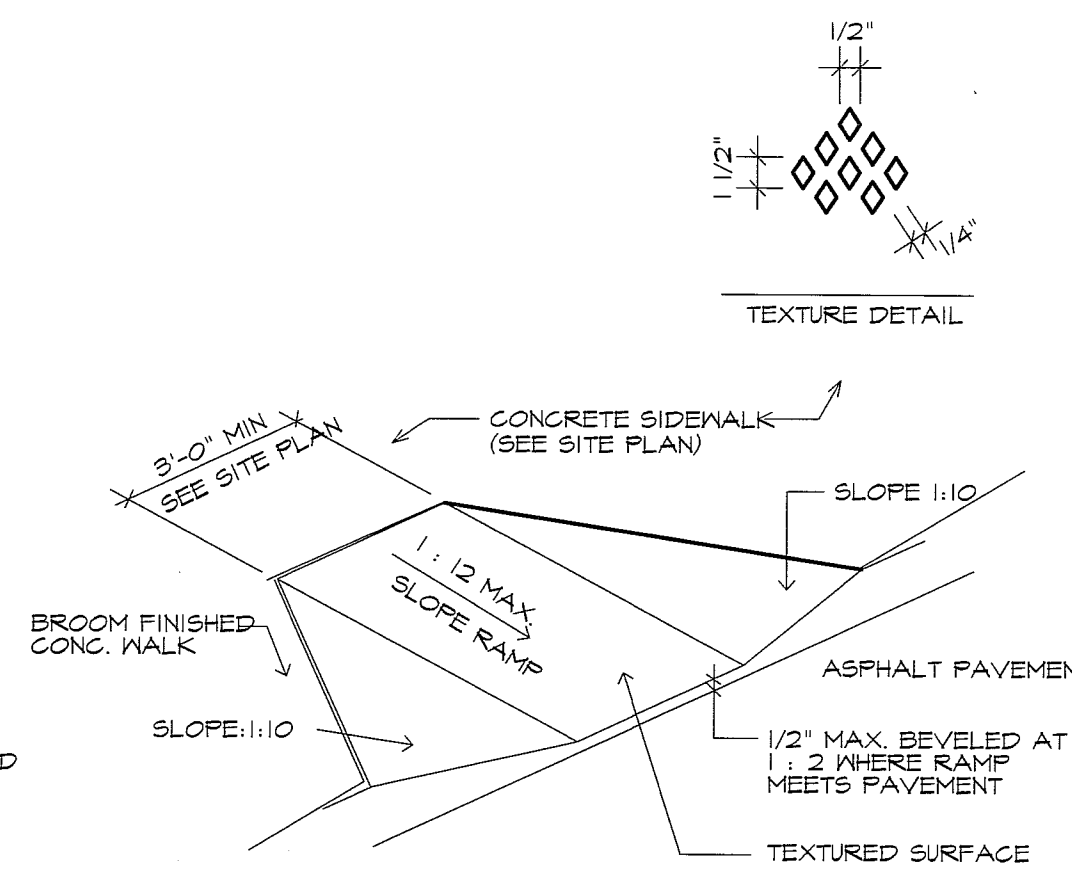
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NOT TO SCALE



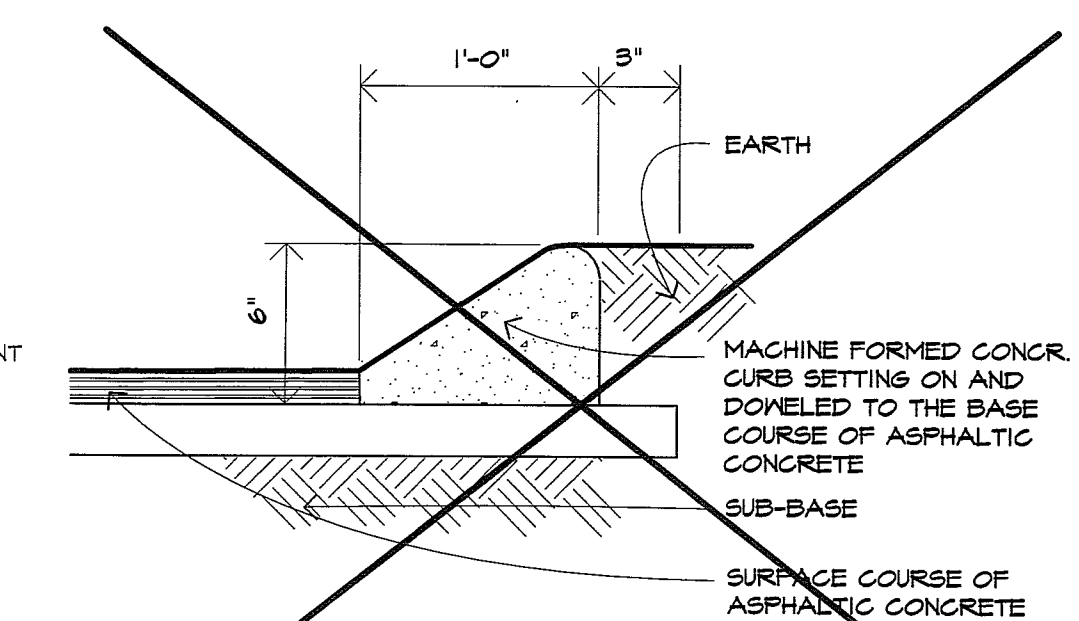
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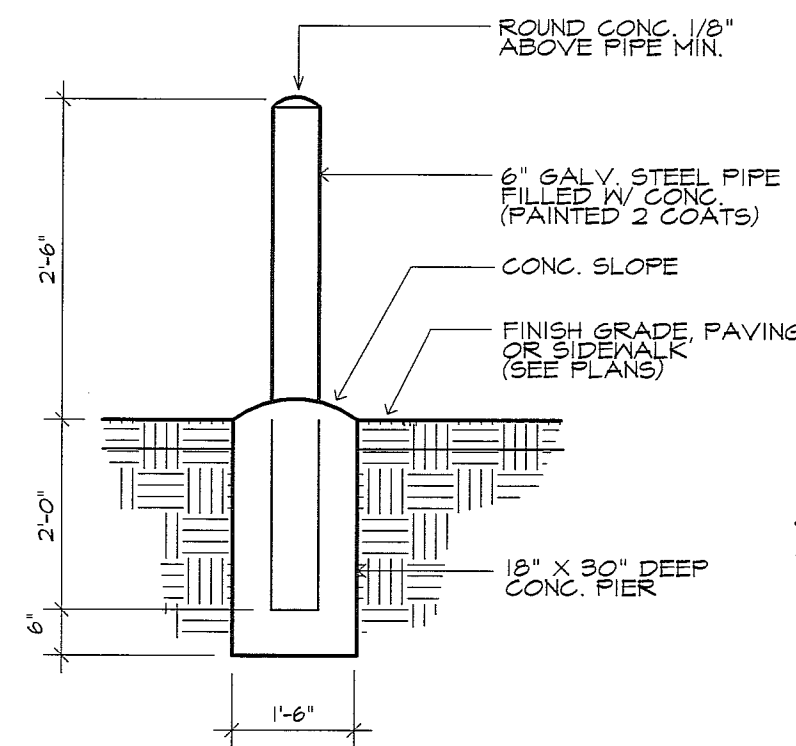
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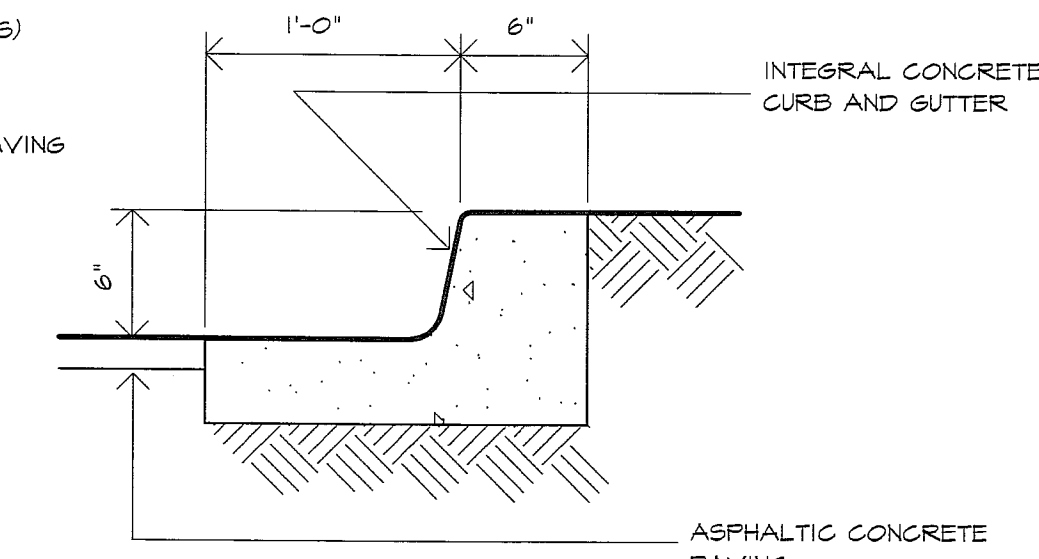
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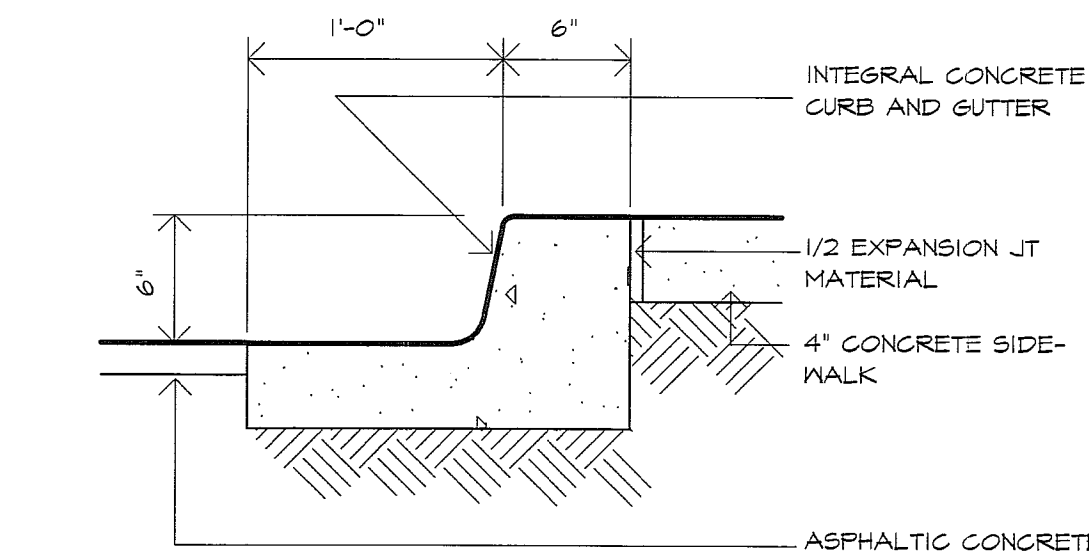
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NOT TO SCALE



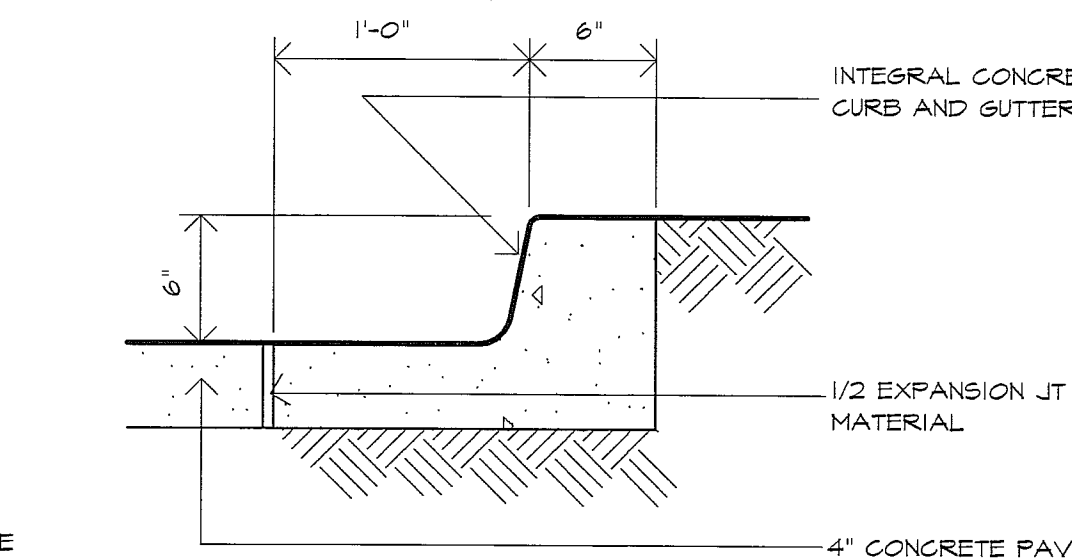
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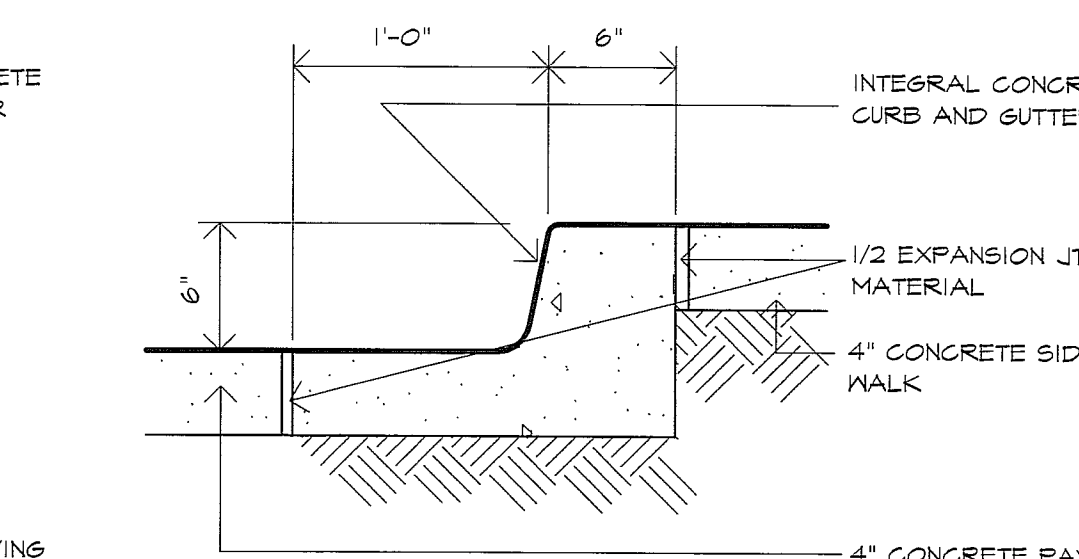
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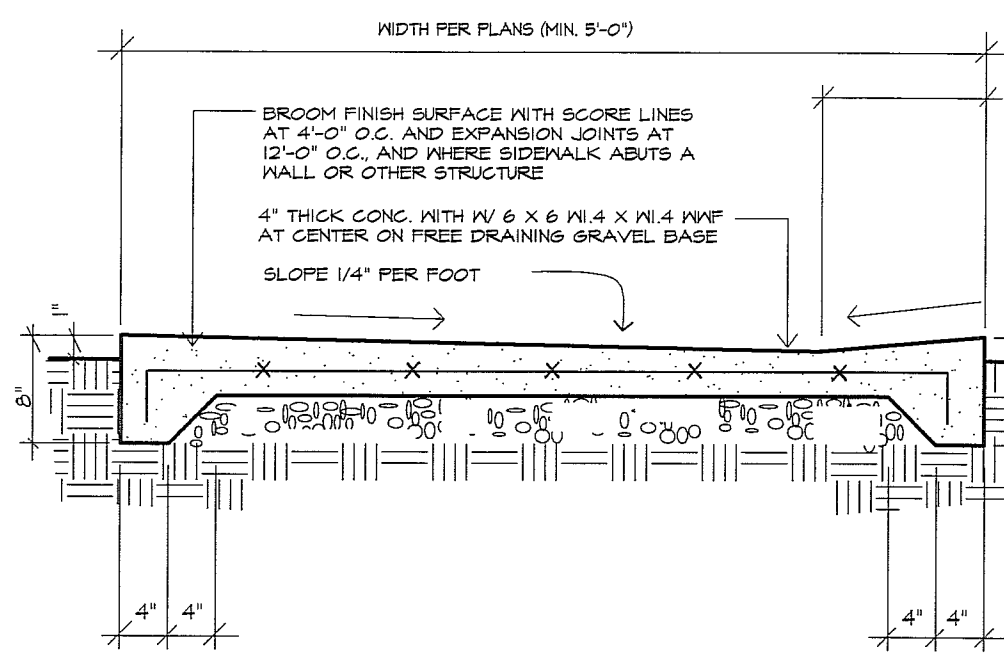
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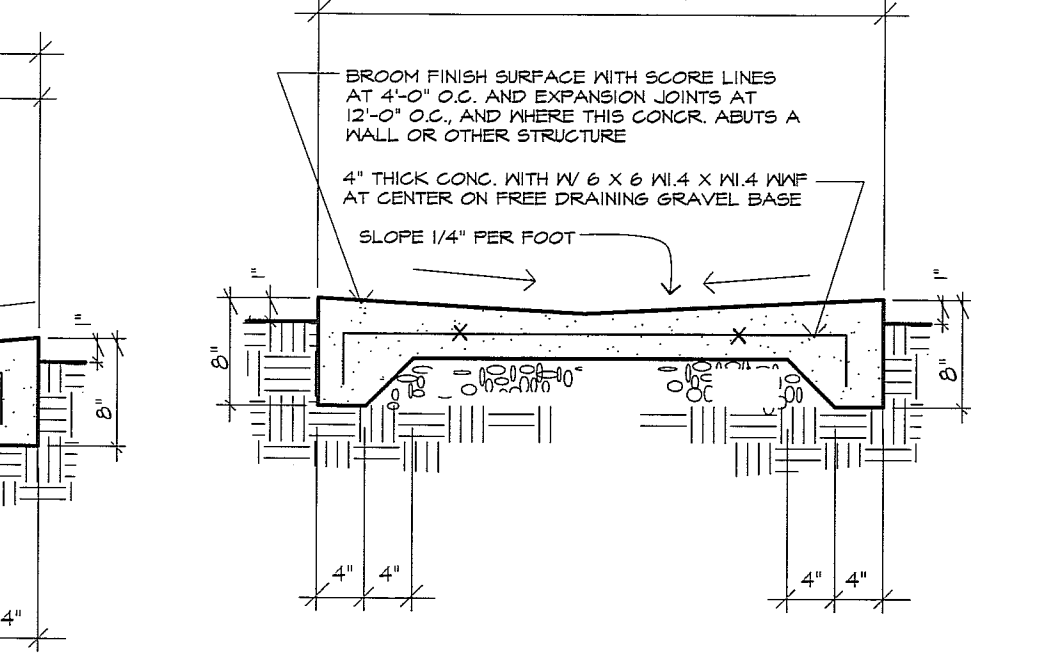
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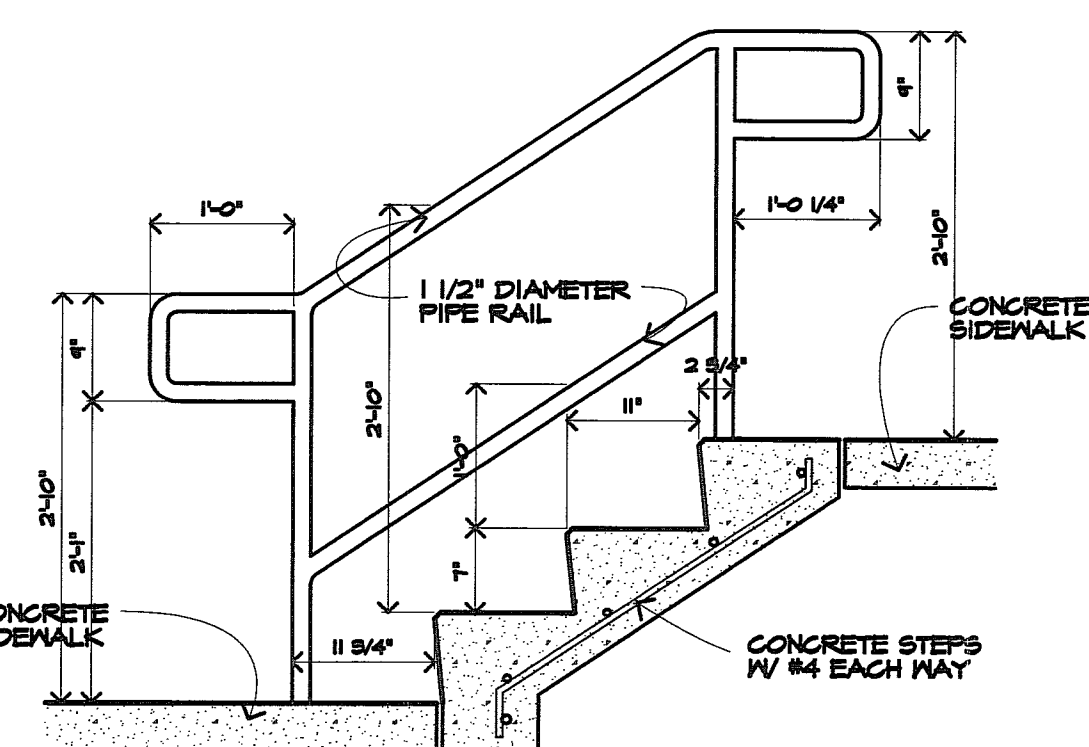
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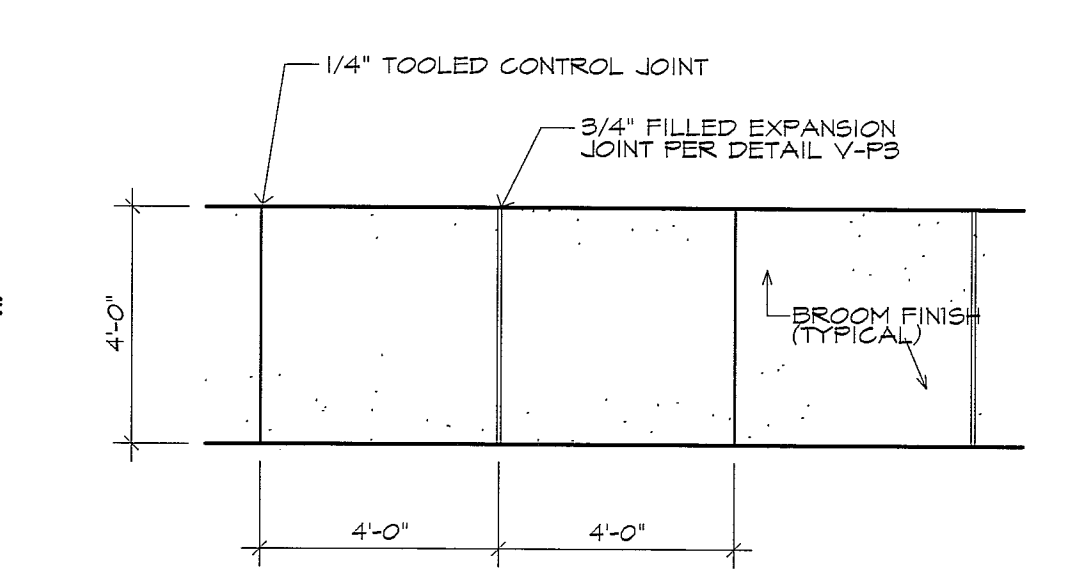
**T SIDEWALK SECTION**  
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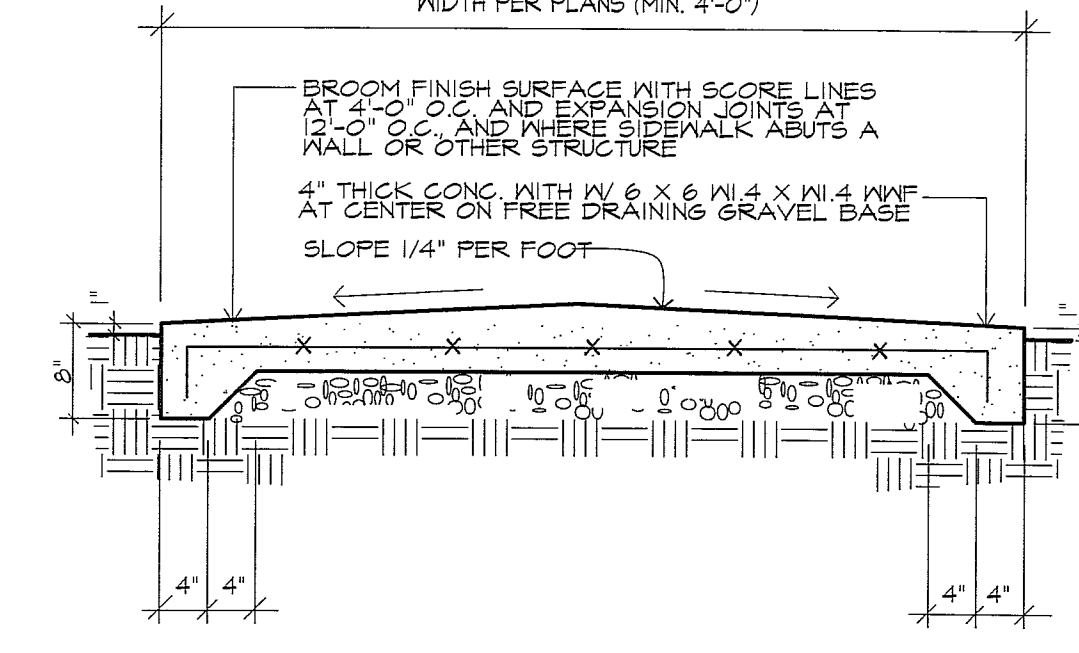
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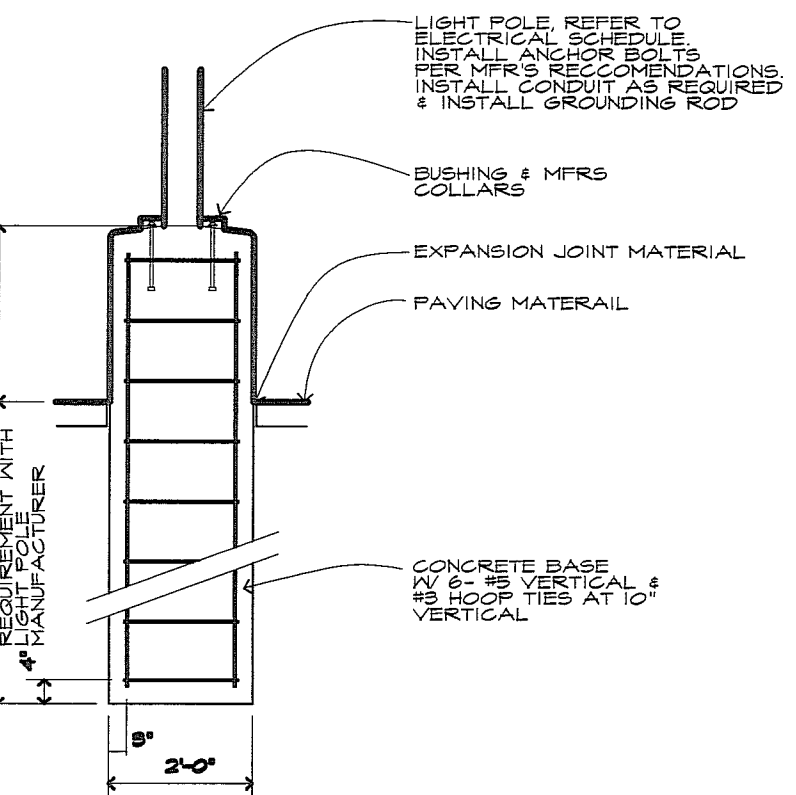
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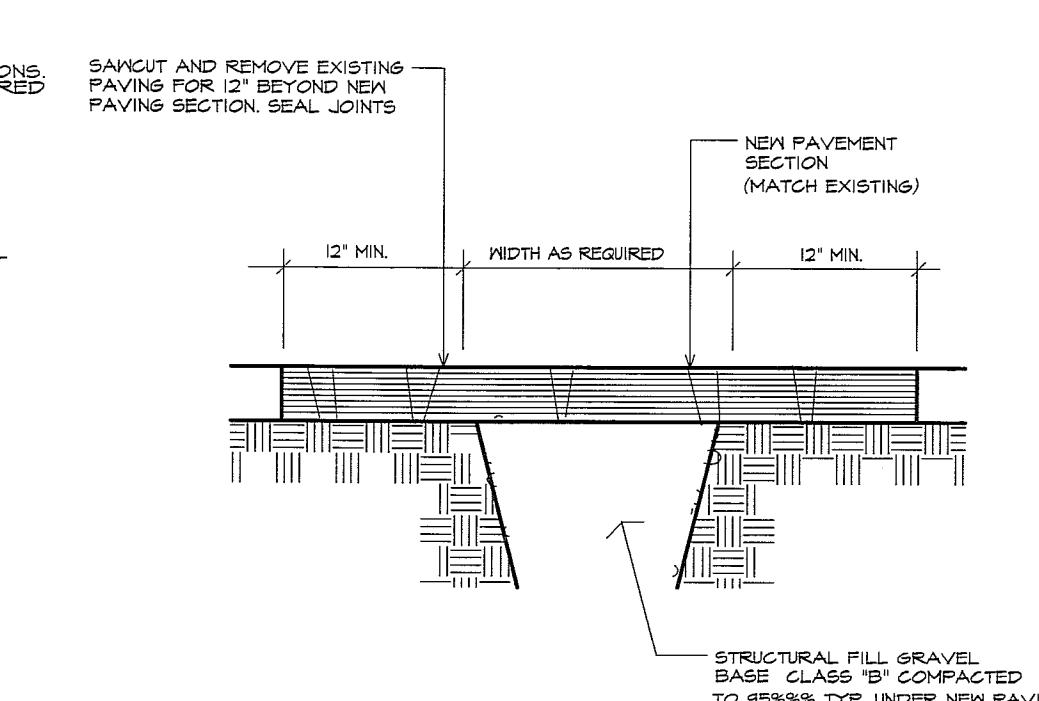
**F CONCRETE SIDEWALK PLAN**  
NOT TO SCALE



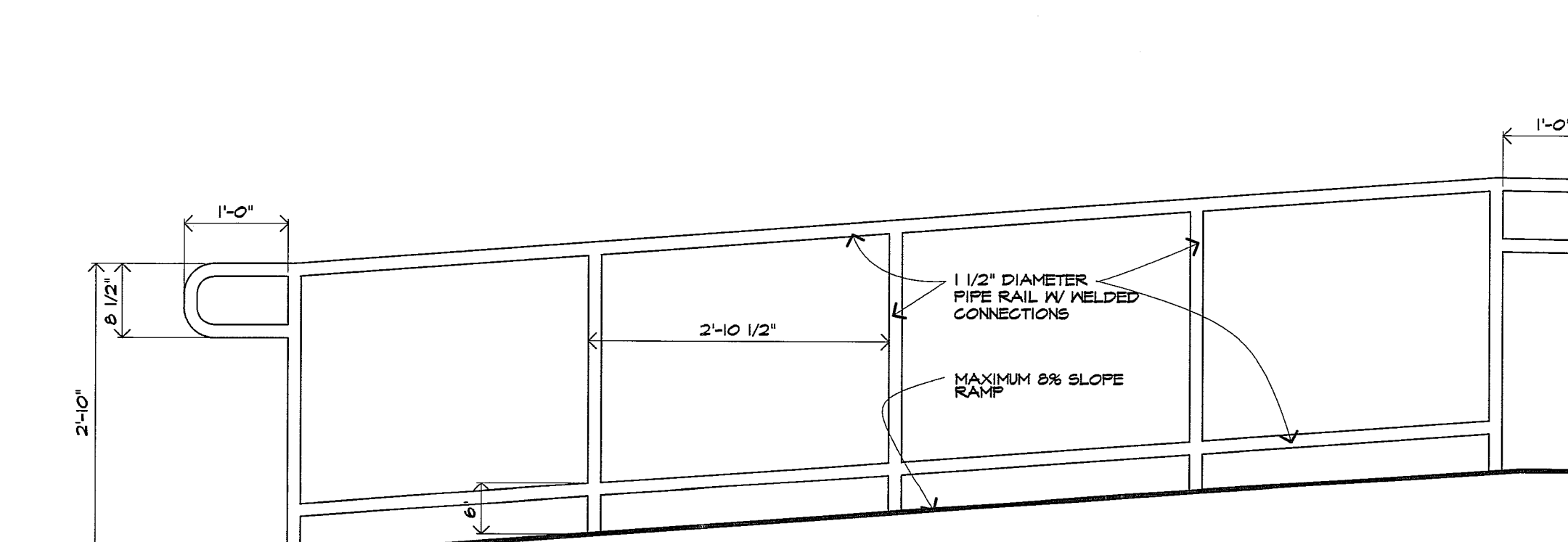
**B SIDEWALK SECTION**  
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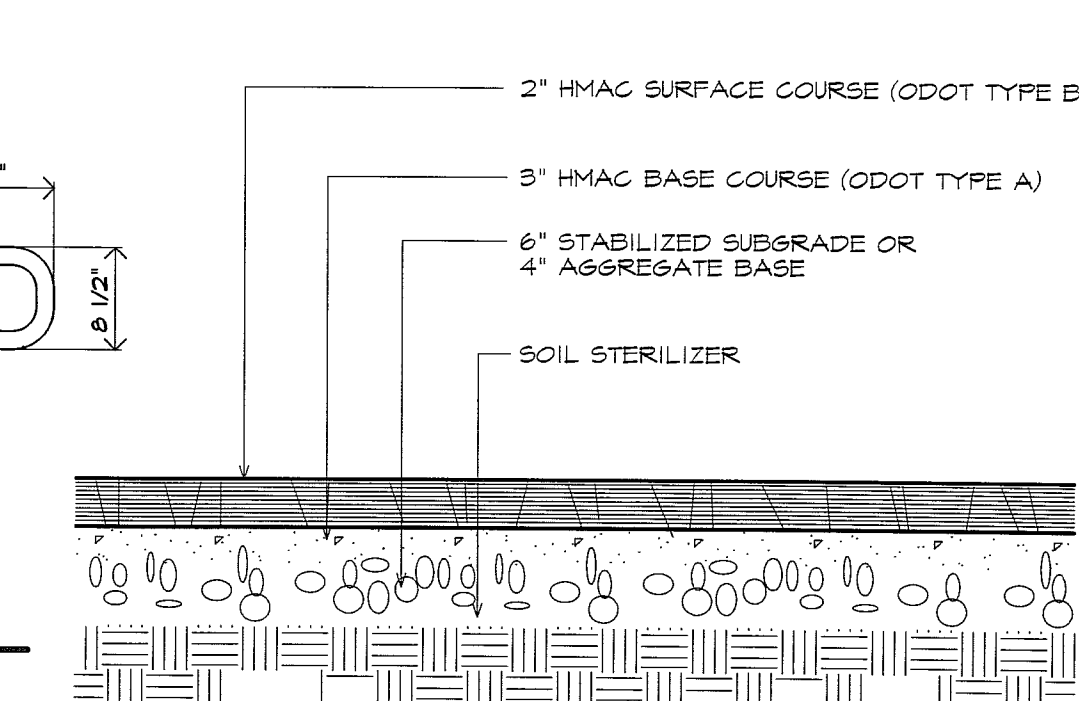
**S LIGHT POLE BASE**  
3/8"=1'-0"



**N PAVEMENT PATCH**  
NOT TO SCALE



**E HANDRAIL DETAIL**  
NOT TO SCALE



**A STD PAVEMENT SECTION**  
NOT TO SCALE

NOTE:  
1. SEE CIVIL PLANS FOR LOCATIONS OF HEAVY DUTY PAVEMENT SECTION

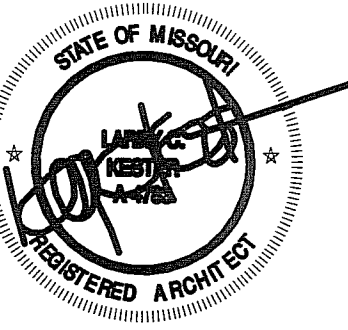
REVISIONS

**Artisan Point**  
at Lees Summit

Lee Summit, Missouri  
Case Development Services

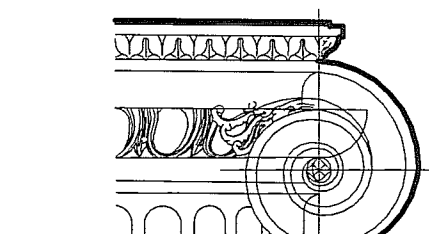
PROJECT: LOCATION: CLIENT:

SEAL:



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**Architects Collective**  
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TULSA, OKLAHOMA 74135  
918/492-2987

PROJECT NUMBER: DATE: 03/03/18

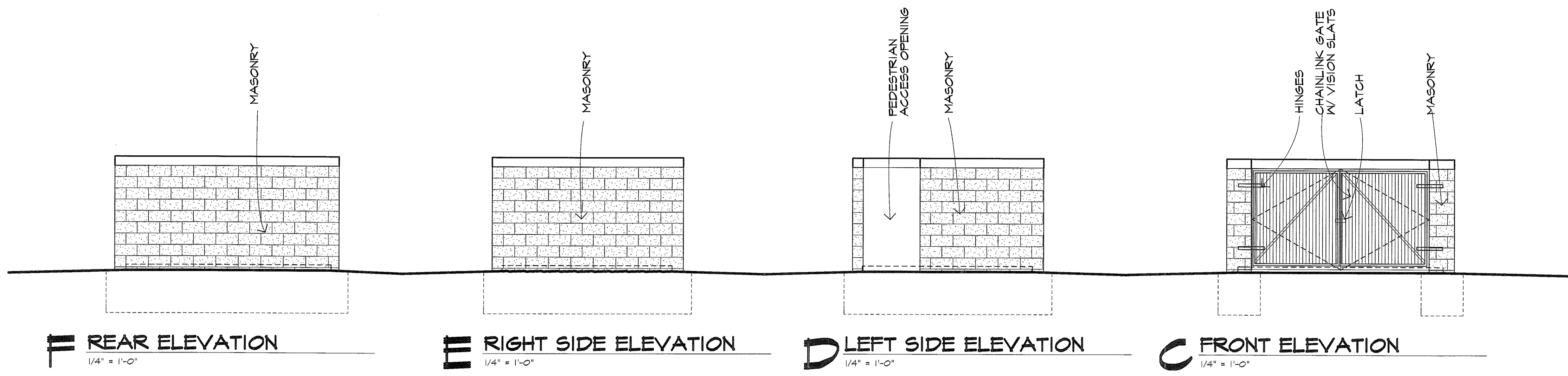
SHEET TITLE: SITE DETAILS

SHEET NUMBER: 03

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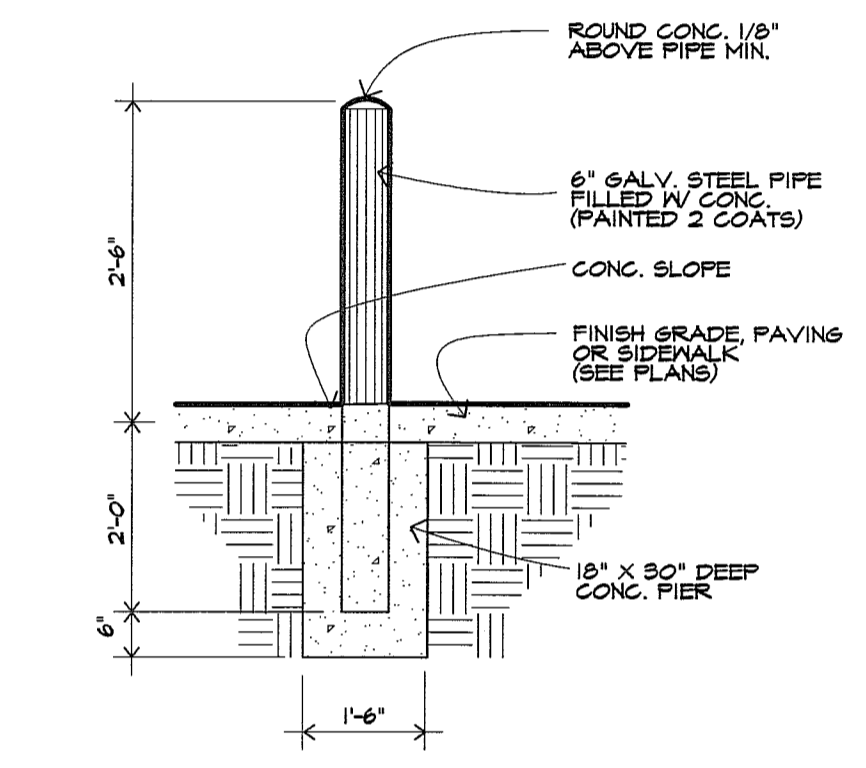


**REAR ELEVATION**  
1/4" = 1'-0"

**RIGHT SIDE ELEVATION**  
1/4" = 1'-0"

**LEFT SIDE ELEVATION**  
1/4" = 1'-0"

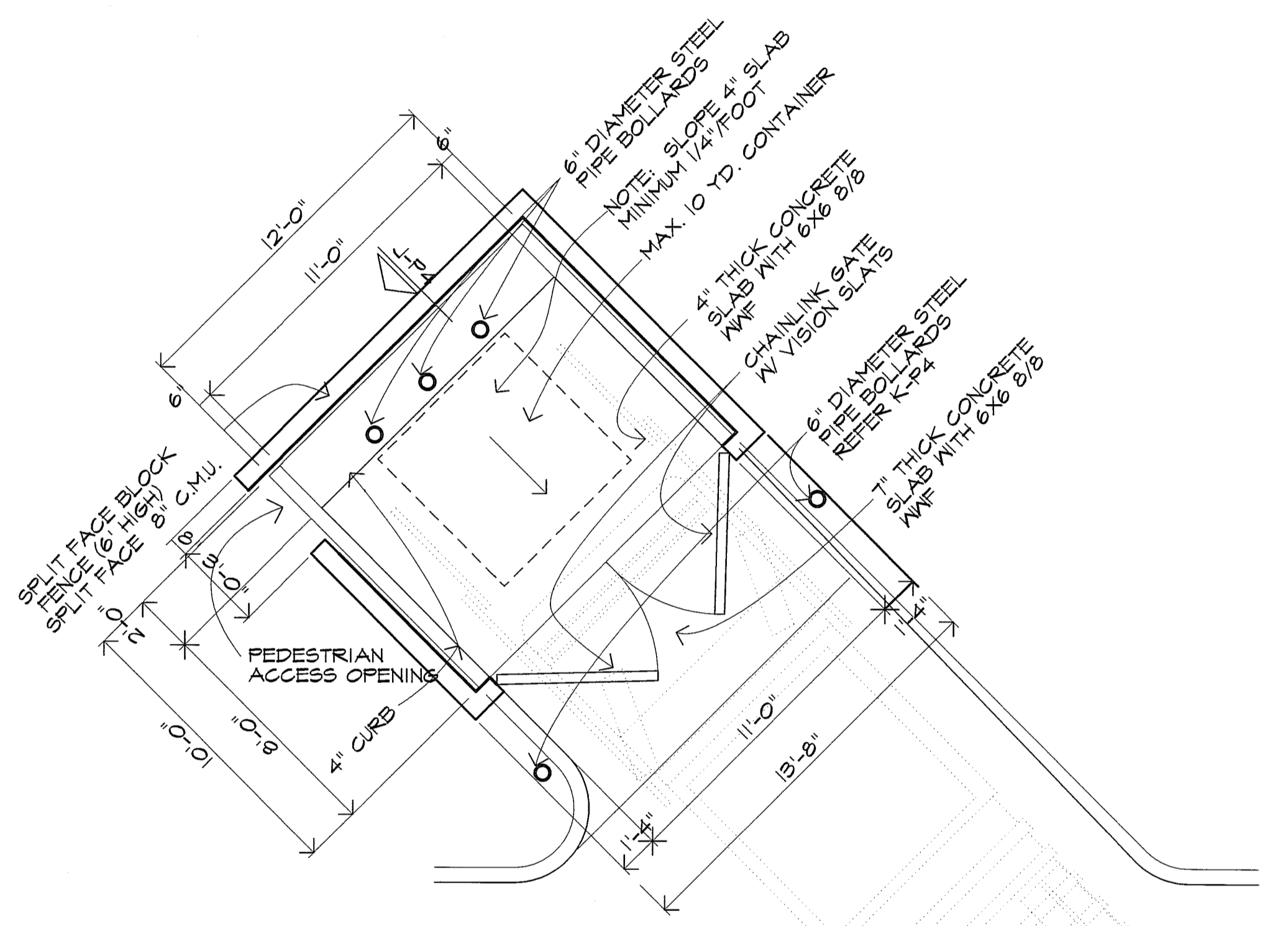
**FRONT ELEVATION**  
1/4" = 1'-0"



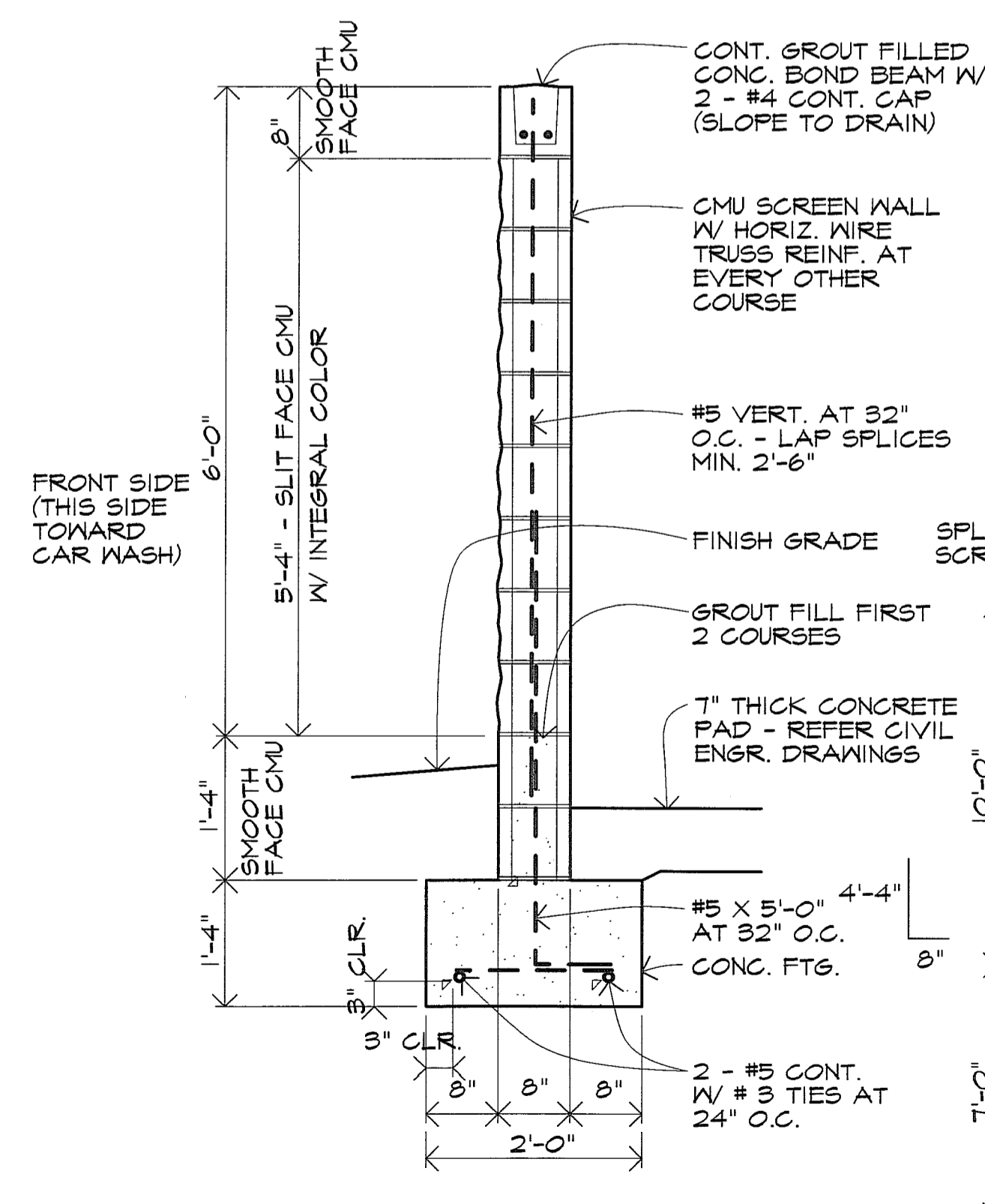
**BOLLARD DETAIL**  
NOT TO SCALE

**CONTAINERS (BASED UPON BFI)**

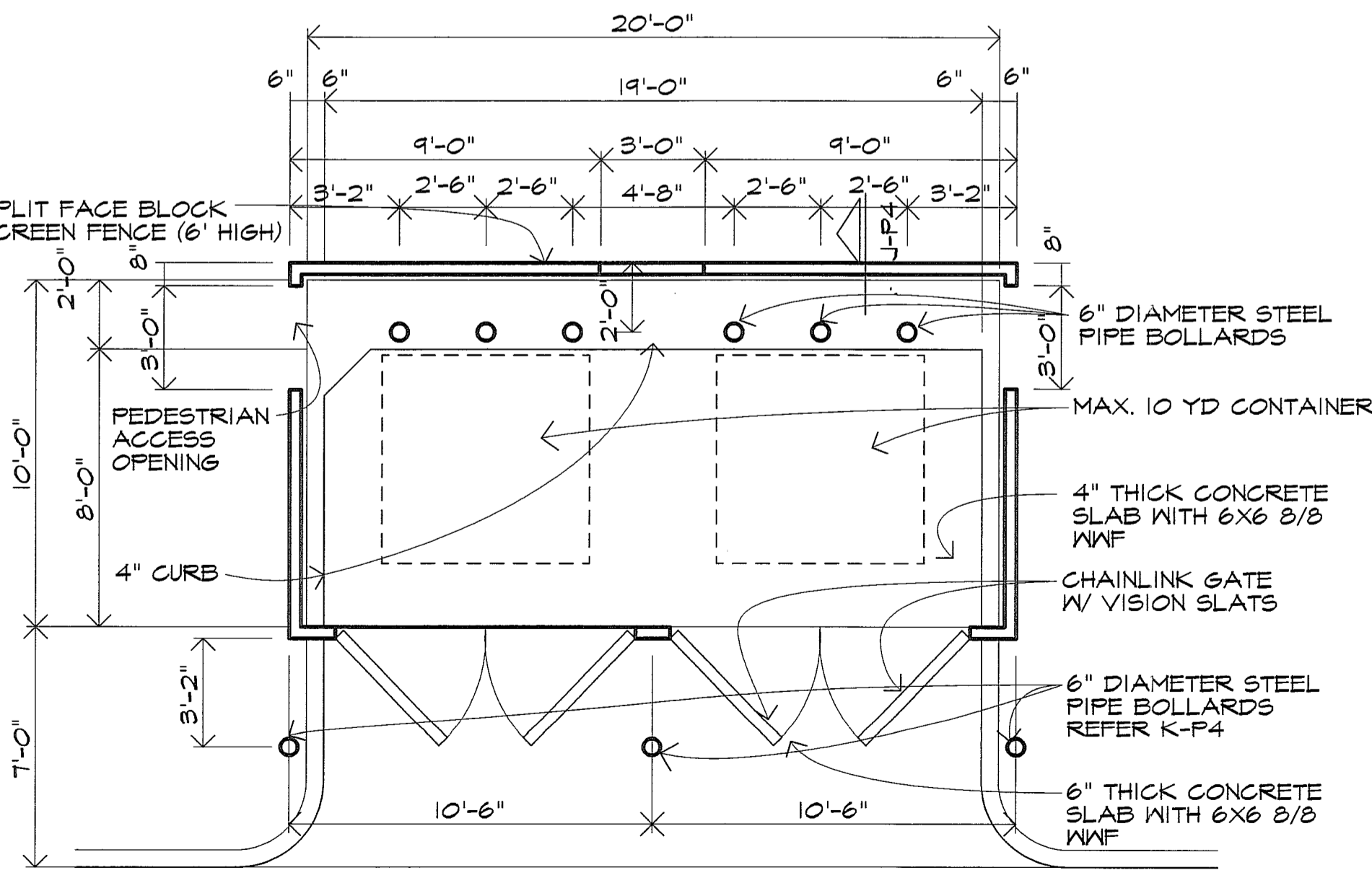
CONTAINER DESCRIPTION	LENGTH	WIDTH	HEIGHT
TWO YARD	6'-0"	3'-0"	3'-4-1/4"
THREE YARD	6'-0"	3'-6"	4'-0-1/2"
FOUR YARD (TOP LOADING)	6'-0"	4'-6"	4'-0-1/2"
FOUR YARD (APARTMENT)	6'-0"	3'-6"	5'-3"
FIVE YARD (TOP/END LOADING)	6'-0"	4'-6"	5'-0-3/4"
SIX YARD (LOW TOP/END LOADING)	6'-0"	5'-6"	5'-0"
SIX YARD (HIGH TOP/END LOADING)	6'-0"	4'-6"	6'-0-1/2"
EIGHT YARD (TOP/END LOADING)	6'-0"	5'-6"	6'-8"
TEN YARD (TOP/END LOADING)	6'-0"	6'-0"	7'-8"



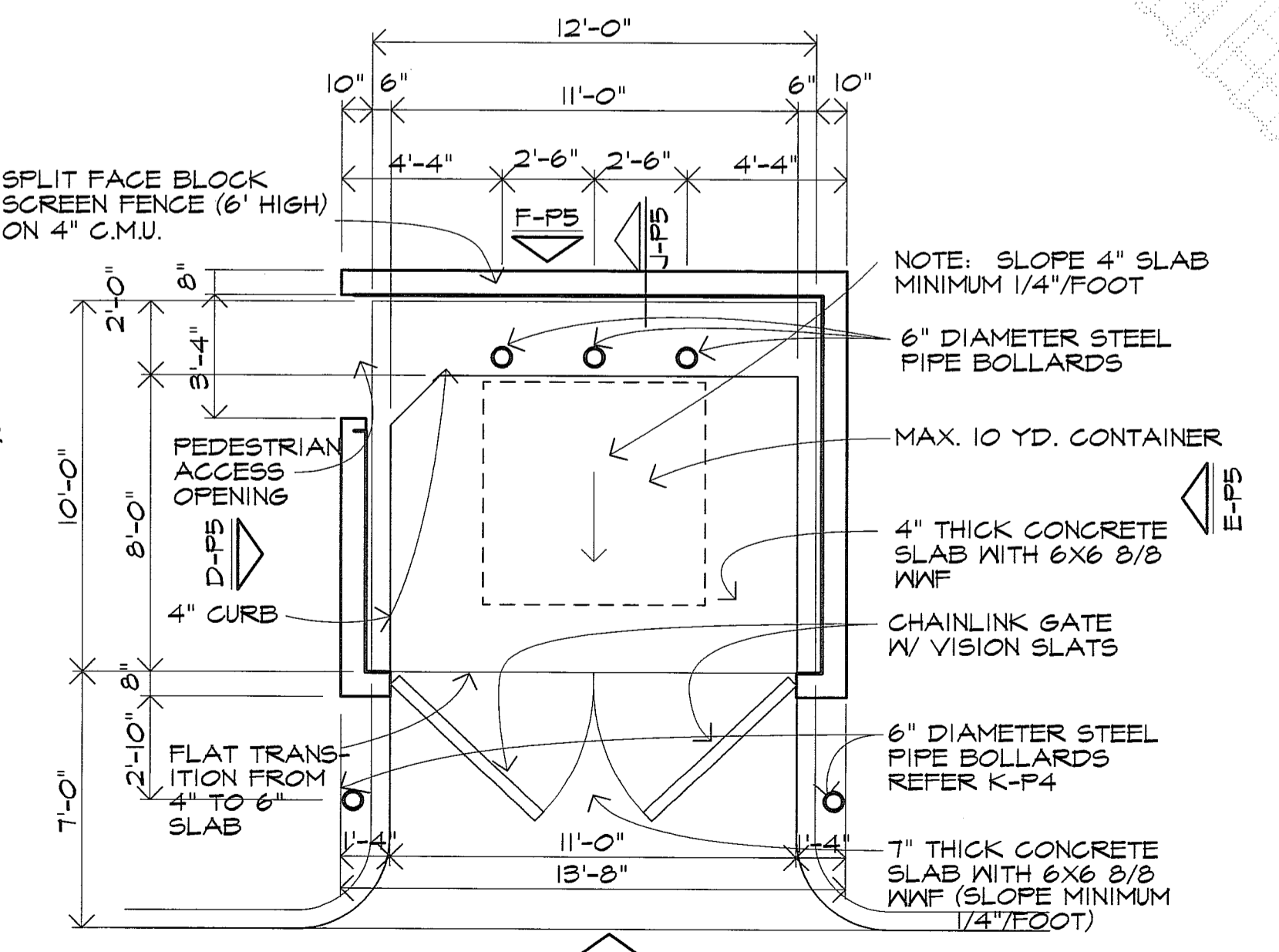
**B TRASH ENCLOSURE PLAN**  
1/4" = 1'-0"



**TRASH ENCLOSURE WALL**  
3/4" = 1'-0"



**G TRASH ENCLOSURE PLAN**  
1/4" = 1'-0"



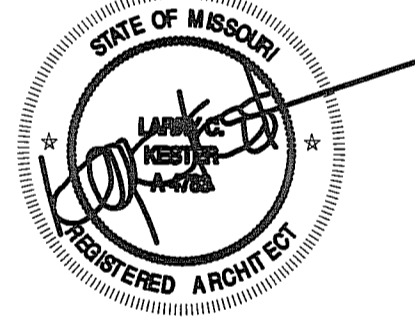
**A TRASH ENCLOSURE PLAN**  
1/4" = 1'-0"

# Artisan Point at Lees Summit

Lee Summit, Missouri  
Case Development Services

PROJECT:  
LOCATION:  
CLIENT:

SEAL:



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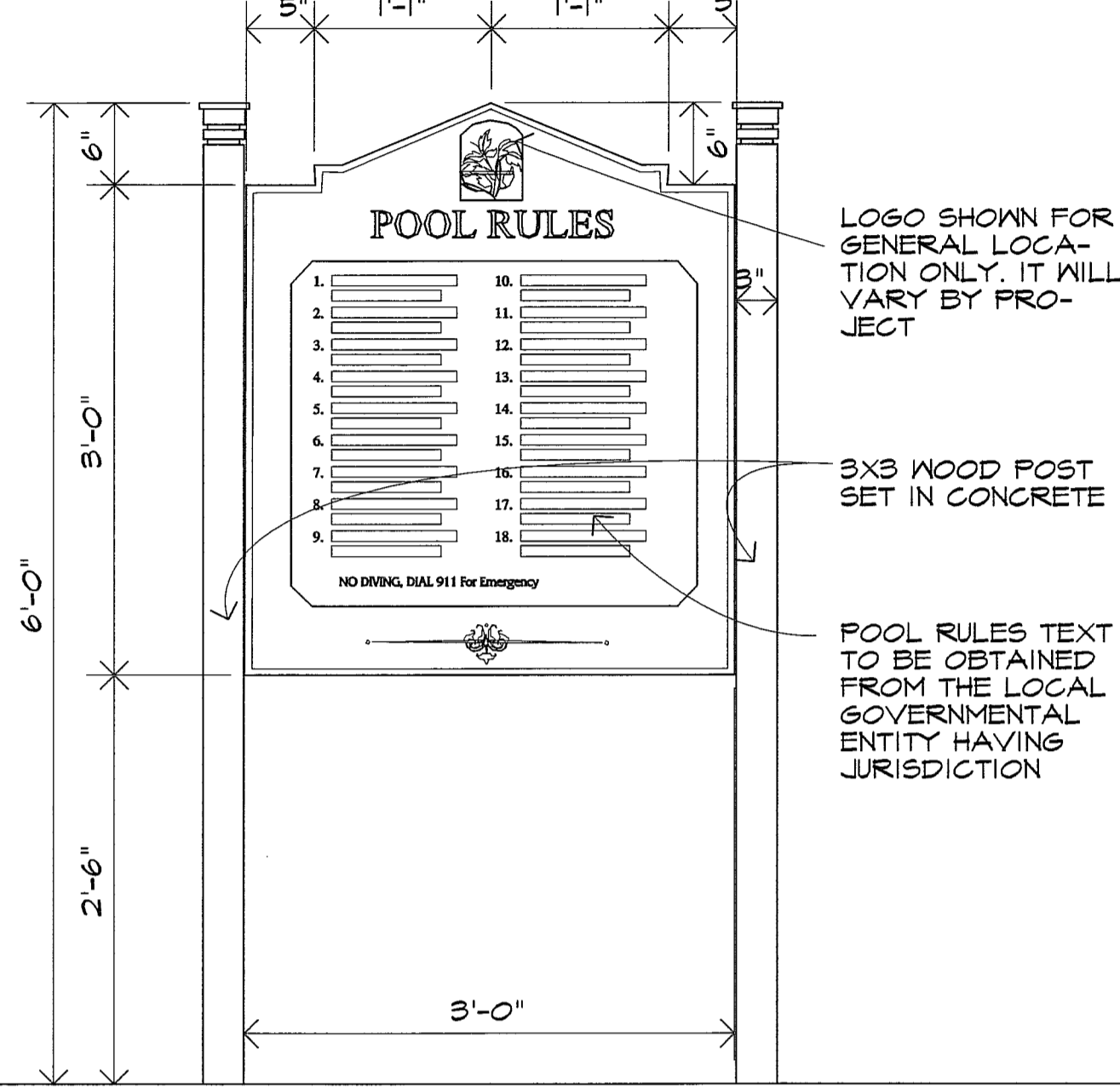
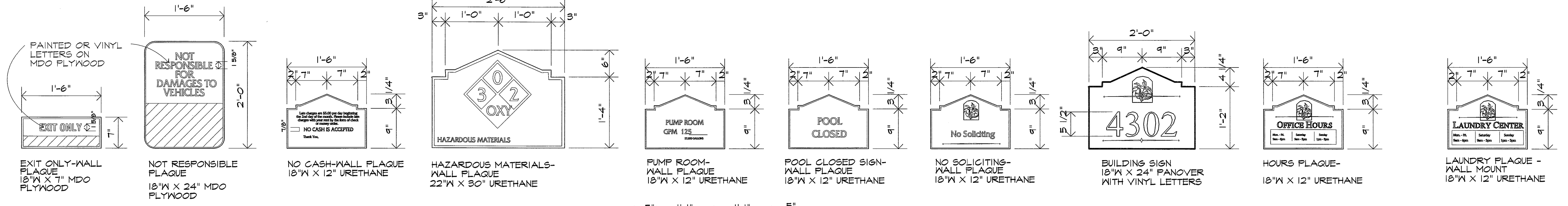


4200 EAST SKELLY DRIVE SUITE 750  
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918/492-2987

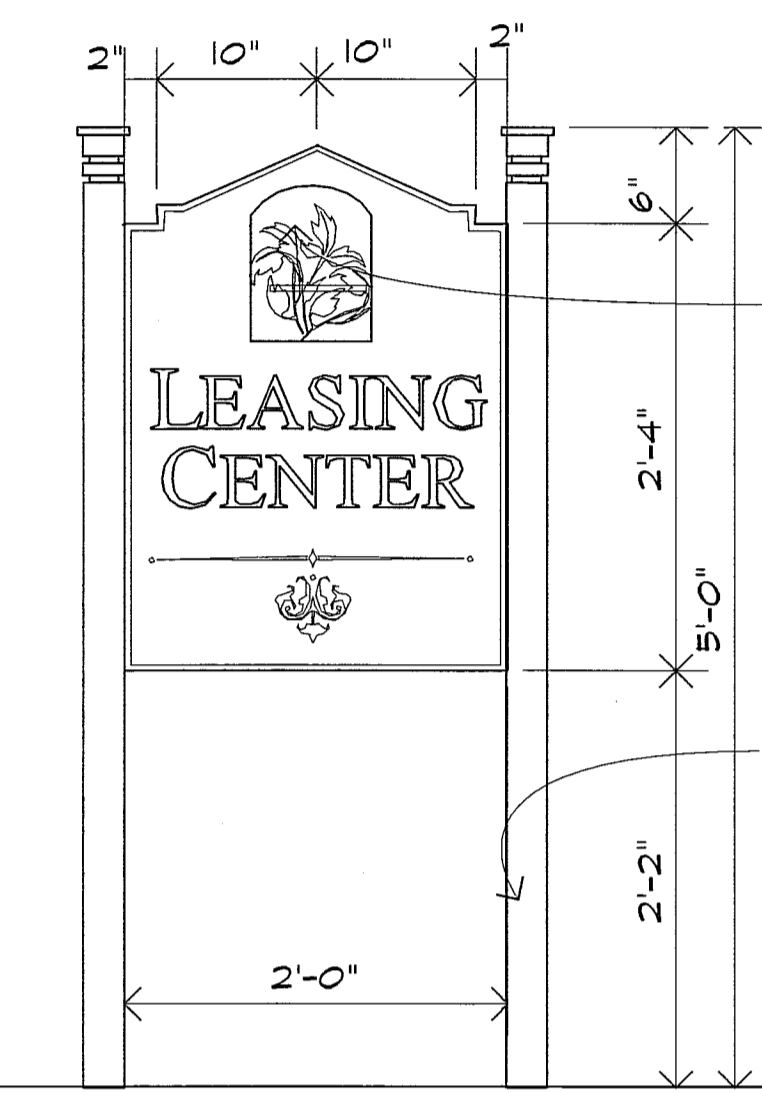
PROJECT NUMBER:  
DATE: 05/03/18

SHEET TITLE:  
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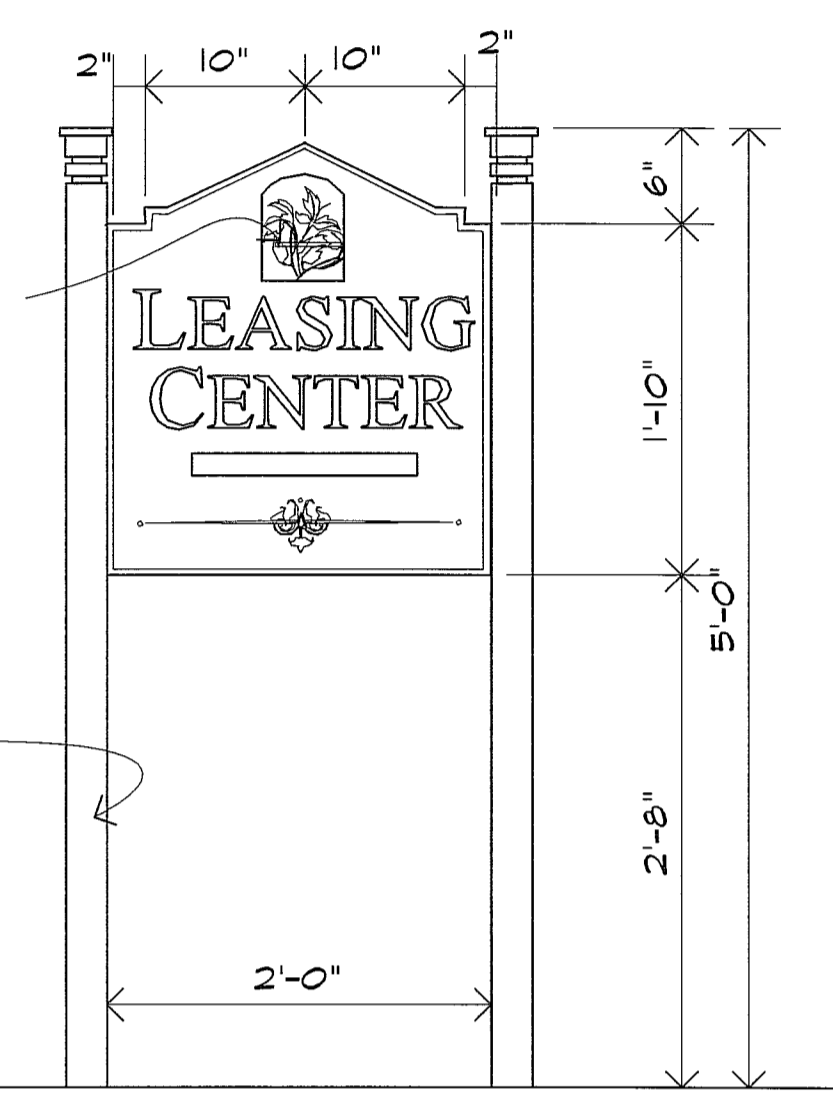
SHEET NUMBER:



**F BLDG. SIGNS**  
N.T.S.



**E LAUNDRY**  
N.T.S.



POOL RULES ON POSTS  
36" W X 48" URETHANE

OFFICE I.D. SIGN ON POSTS  
24" X 30" REV. BLASTED URETHANE

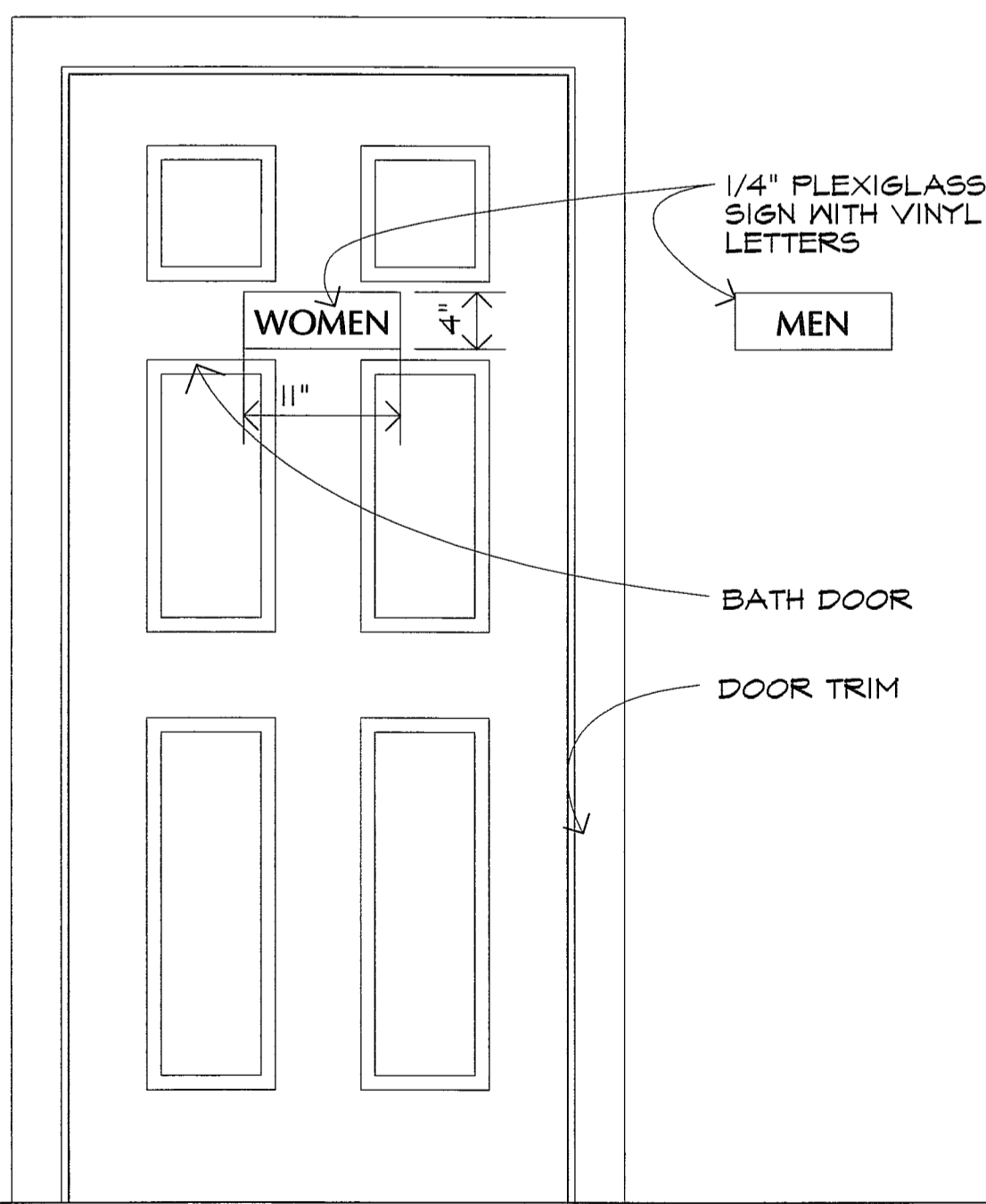
DIRECTIONAL - D/F  
24" X 24" URETHANE ON POSTS

**H POOL**  
N.T.S.

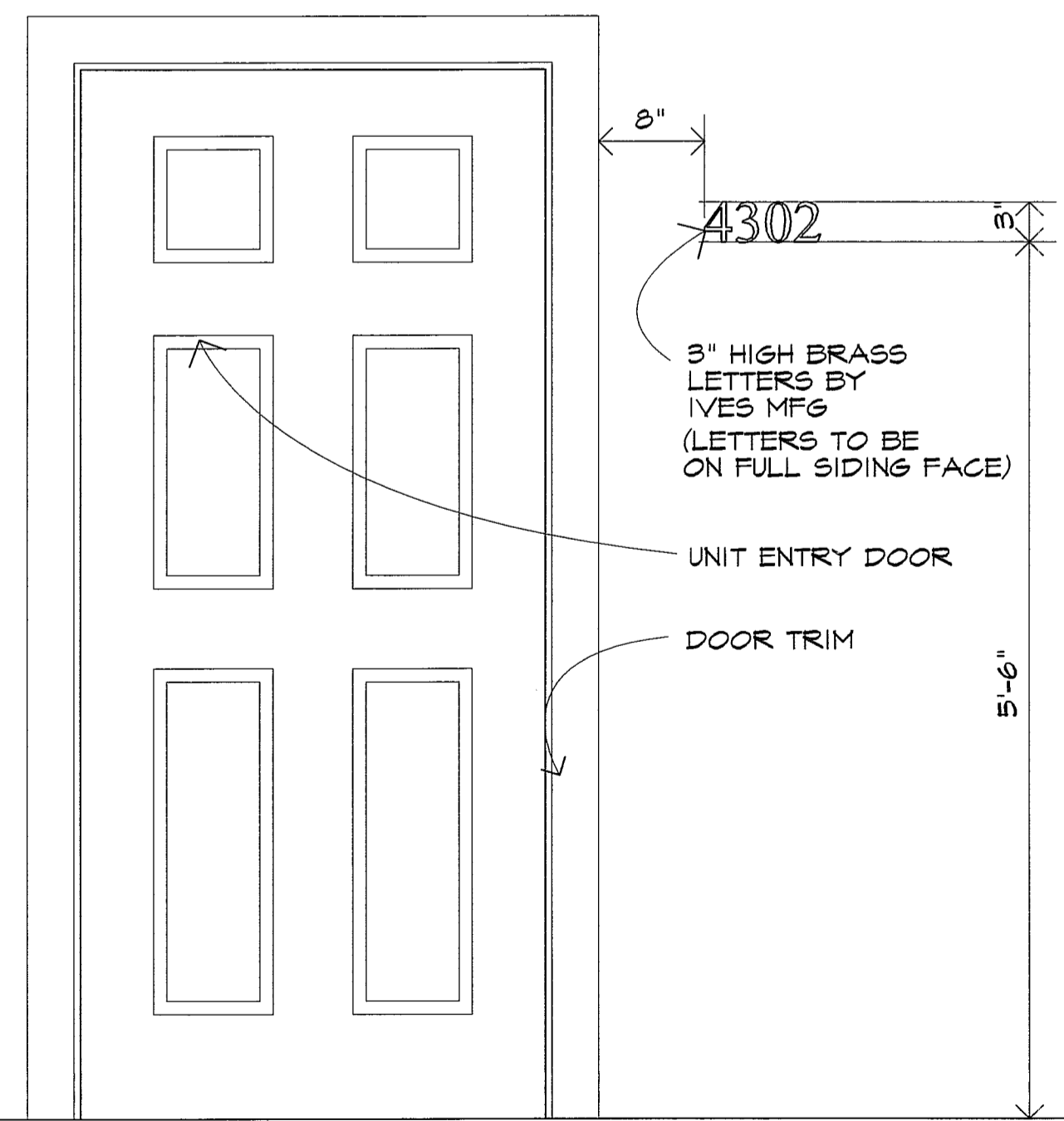
**D LEASING**  
N.T.S.

**C LEASING**  
N.T.S.

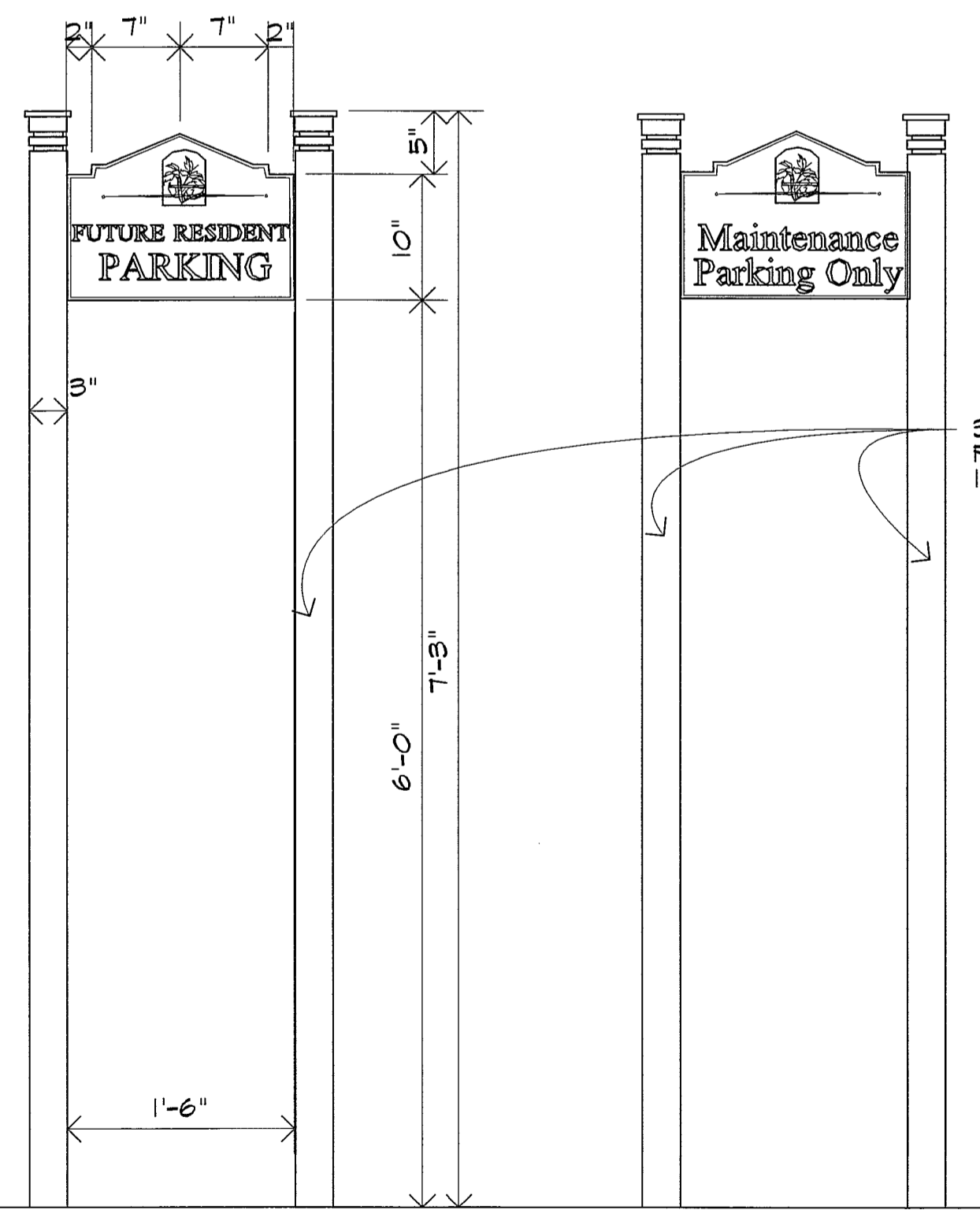
**Note:**  
Signage is an example to illustrate character, design, and general size actual signs may vary.



**J TOILET DOOR**  
N.T.S.



**G UNIT ENTRY**  
N.T.S.



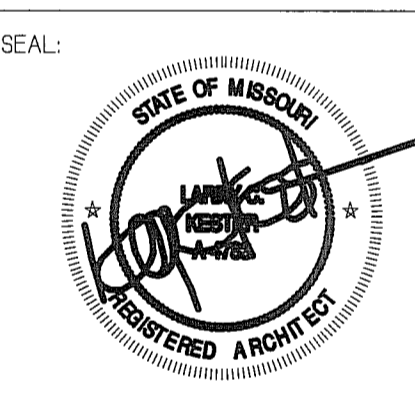
GUEST PARKING ON POSTS  
18" W X 12" URETHANE

PARKING ON POSTS  
18" W X 12" URETHANE

**B RESERVED PARKING**  
N.T.S.

**Artisan Point**  
**at Lees Summit**  
 Lee Summit, Missouri  
 Case Development Services

PROJECT: LOCATION: CLIENT:



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NO CAD FILES SHALL BE PROVIDED TO SUB-CONTRACTORS UNDER ANY CIRCUMSTANCES.

**Architects Collective**  
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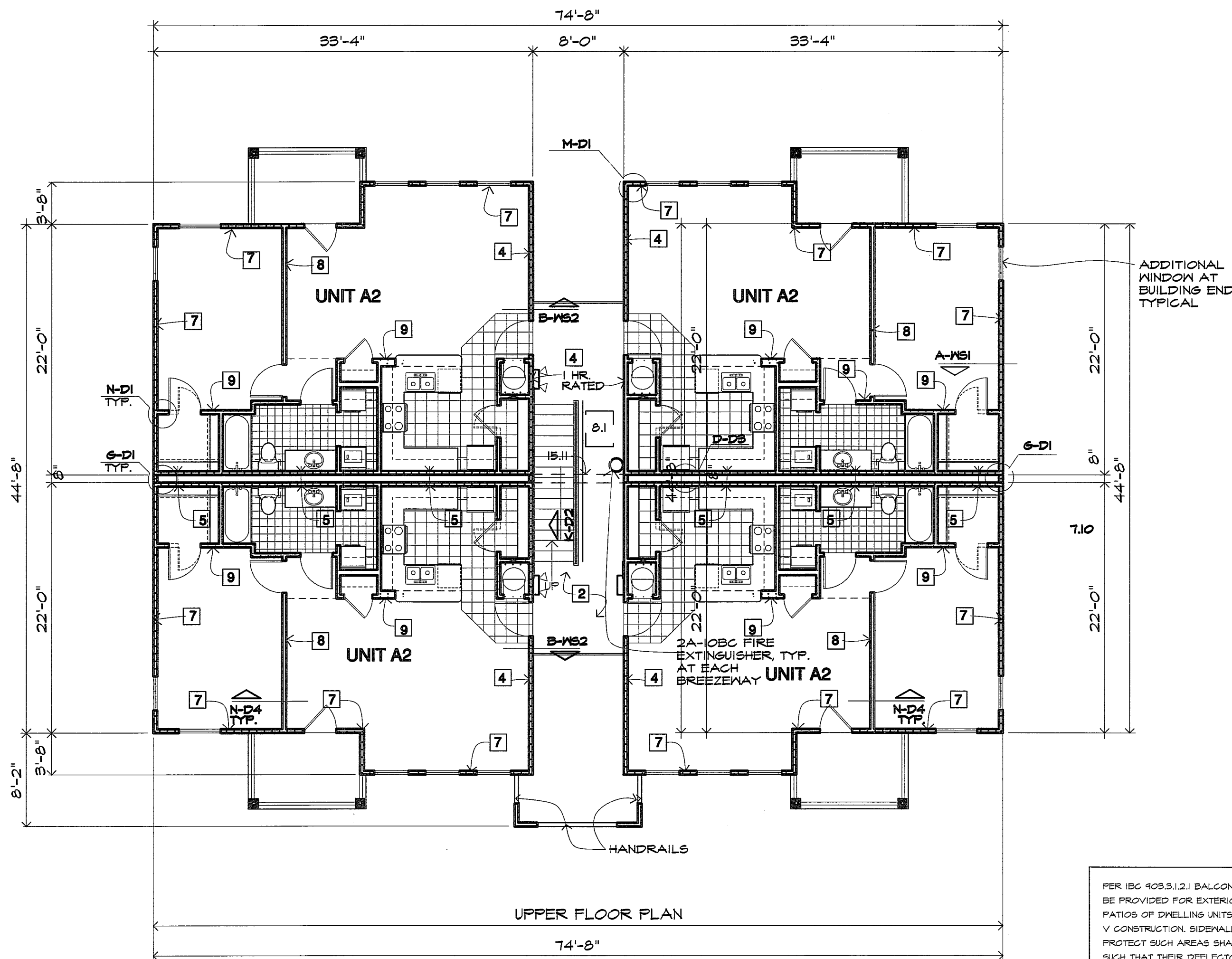
PROJECT NUMBER:  
DATE: 05/03/16  
SHEET TITLE:  
SIGNAGE DTLS.

SHEET NUMBER:  
**P6.3**

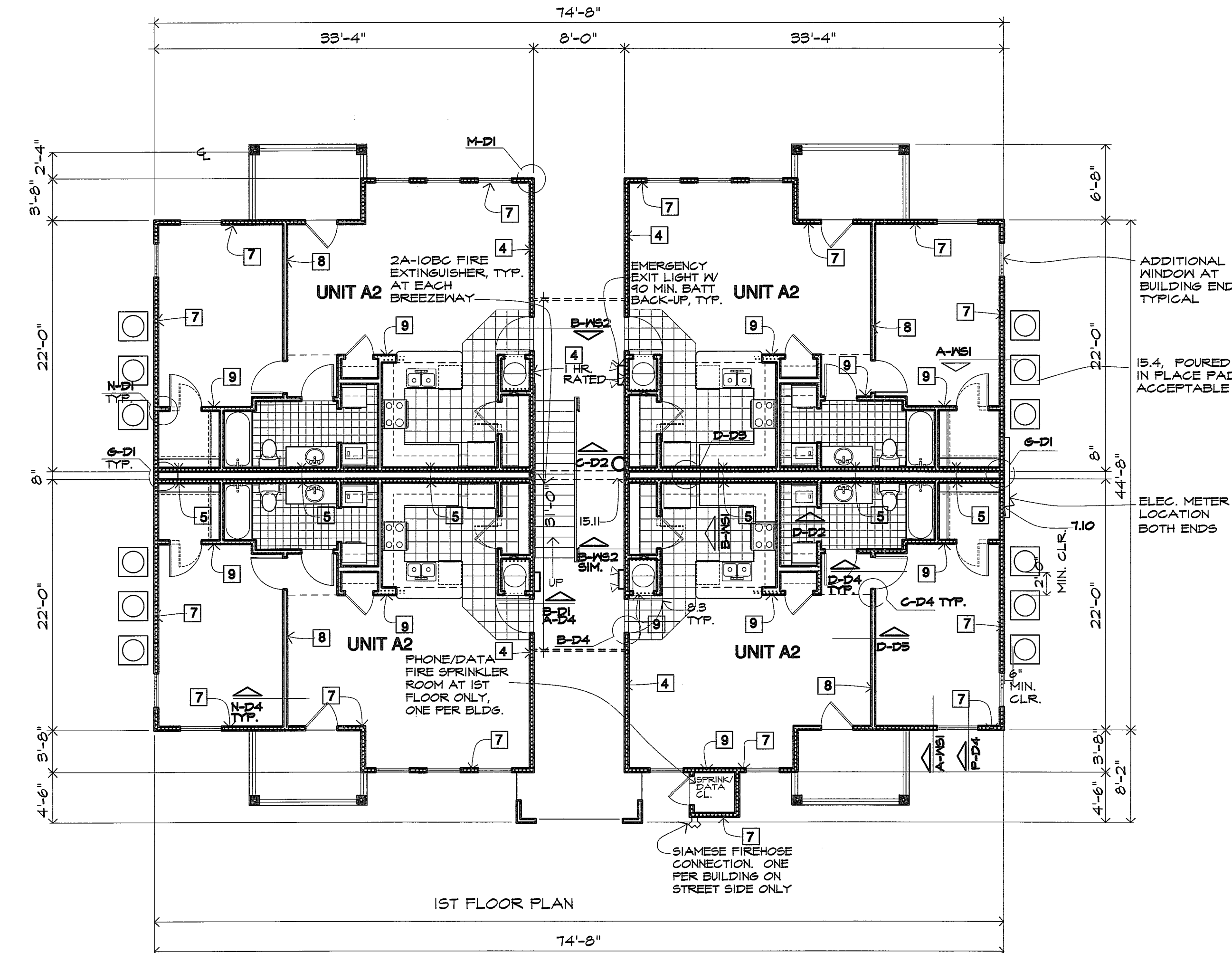
**ASSEMBLY LEGEND - REFER STD'S**

- 1 FLOORCEILING ASSEMBLY:**  
3/4" GYP CRETE ON 5/8" PLYWOOD ON 2X12 FLOOR JOISTS (SPACING AS SHOWN ON FRAMING PLAN), WITH ONE LAYER OF 5/8" TYPE X GYP BOARD CEILING ON 3/4" RESILIENT FURRING CHANNELS AT 24" O.C. - ONE HOUR RATED ASSEMBLY - UL # L533
- 2 BREEZEWAY/BALCONY FLOORCEILING ASSEMBLY:**  
1 1/2" MIN. LIGHT WEIGHT CONCRETE ON SHEET MEMBRANE WATER PROOFING ON 3/4" PLYWOOD ON 2X12 JOISTS AS SHOWN ON FRAMING PLANS W/ 5/8" TYPE X GYP. BD. ON 3/4" RESILIENT FURRING CHANNELS AT 24" O.C. - ONE HOUR RATED ASSEMBLY - UL # L533
- 3 ROOF CEILING ASSEMBLY:**  
ASPHALT SHINGLES (MIN. CLASS B) ON 15# FELT ON 12" OSB DECKING ON WOOD TRUSSED/STICK FRAMED RAFTERS AT 24" O.C. U.O.N. AND ONE LAYER OF 5/8" TYPE X GYP. BD. ON 3/4" RESILIENT FURRING CHANNELS ON BOTTOM CHORD OF ASSEMBLY ABOVE ONE HOUR RATED ASSEMBLY - UL # P522
- 4 BREEZEWAY WALLS & EXTER. WALLS 10' EACH SIDE OF STAIR ASSEMBLY:**  
SIDING ON ONE LAYER OF 5/8" FIREGUARD GYP BOARD SHEATHING ON 2X4 STUDS WITH R-13 BATT INSULATION AND WITH ONE LAYER OF 5/8" FIREGUARD GYP BOARD ON INSIDE FACE. STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" O.C. ONE HOUR RATED ASSEMBLY - UL # US06, GA # WP 8105
- 5 TENANT SEPARATION WALL ASSEMBLY:**  
ONE LAYER 5/8" TYPE X GYP. BD. ON OUTSIDE FACE EACH OF DOUBLE 2X4 STUDS WITH 3-1/2" BATT INSULATION IN ONE SIDE ONLY. PLUMBING CHASE FOR PLUMBING WALLS LONGITUDINAL TO BUILDING. 1" SPACE BETWEEN WALLS FOR ALL OTHER TENANT SEPARATION WALLS (TRANSVERSE TO BUILDING). STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" O.C. ONE HOUR RATED ASSEMBLY - UL # US06, GA # WP 8105
- 6 NON-RATED EXTERIOR WALL ASSEMBLY:**  
SIDING (OR MASONRY VENEER) ON ONE LAYER OF FIBERGLASS OR 1/2" OSB SHEATHING ON 2X4 STUDS AT 16" O.C. WITH R-13 BATT INSULATION AND WITH 1/2" GYP BOARD ON INSIDE FACE OF WALL STUDS. STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" O.C.
- 7 EXTERIOR RATED WALL ASSEMBLY:**  
SIDING (OR MASONRY VENEER) ON ONE LAYER OF STRUCTURAL GRADE, FIBERGLASS OR 1/2" OSB SHEATHING ON 2X4 STUDS AT 16" O.C. WITH R-13 BATT INSULATION AND WITH 5/8" TYPE X GYP. BD. ON INSIDE FACE OF WALL STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" O.C. ONE HOUR RATED ASSEMBLY - BR/OSU REPORT 7187 (ASTM TEST E 119-81) - UL # US56
- 8 INTERIOR NON-LOAD BEARING WALL ASSEMBLY:**  
1/2" GYP BOARD ON EACH FACE OF 2X4 STUDS AT 16" O.C. 5/8" FIRE GUARD GYP BOARD ON EACH FACE OF 2X4 STUDS AT 16" O.C. - NON-RATED
- 9 INTERIOR LOAD BEARING WALL ASSEMBLY:**  
5/8" FIRE GUARD GYP BOARD ON EACH FACE OF 2X4 STUDS AT 16" O.C. STUDS IN GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" O.C. ONE HOUR RATED ASSEMBLY - UL # US05
- 10 TWO HOUR RATED WALL ASSEMBLY**  
TWO LAYERS OF 5/8" F.G. GYP BOARD ON EACH FACE OF 2X4 METAL STUDS JOINTS OF LAYERS STAGGERED AND OCCURRING OVER STUDS. TWO HOUR RATED ASSEMBLY - UL # US01

ALL BREEZEWAY WALLS SHALL BE A ONE-HOUR RATED ENCLOSURE AND HAVE SELF-CLOSING DOORS WITH A 60 MIN. RATED ASSEMBLY



**B BLDG PLAN - BLDG TYPE A2-12UNIT**  
1/8" = 1'-0"



**A BLDG PLAN - BLDG TYPE A2-12 UNIT**  
1/8" = 1'-0"

PER IBC 103.5.1.2) BALCONIES, SPRINKLER PROTECTION SHALL BE PROVIDED FOR EXTERIOR BALCONIES AND GROUND-FLOOR PATIOS OF DWELLING UNITS WHERE THE BUILDING IS OF TYPE V CONSTRUCTION. SIDEWALL SPRINKLERS THAT ARE USED TO PROTECT SUCH AREAS SHALL BE PERMITTED TO BE LOCATED SUCH THAT THEIR DEFLECTORS ARE WITHIN 1 INCH (25 MM) TO 6 INCHES (152 MM) BELOW THE STRUCTURAL MEMBERS, AND A MAXIMUM DISTANCE OF 14 INCHES (356 MM) BELOW THE DECK OF THE EXTERIOR BALCONIES THAT ARE CONSTRUCTED OF OPEN WOOD JOIST CONSTRUCTION.

- KEYED NOTES:**
- 2 SITE WORK
  - 2.1 NOT USED
  - 2.2 CONCRETE SIDEWALK, WIDTH AS NOTED ON PLAN
  - 3 CONCRETE
  - 3.1 FOUNDATION SYSTEM, REFER TO STRUCTURAL DRAWINGS
  - 3.2 4" CONCRETE SLAB WITH 6#10 HELDED REINFORCING BARS, MINIMUM 4" CRUSHED ROCK
  - 3.3 4" CONCRETE PATIO SLAB WITH 6#10 10'0" W/4 ON 4" SAND CUSHION
  - 3.4 FLOORCEILING ASSEMBLY - REFER ASSEMBLY LEGEND
  - 3.5 BREEZEWAY FLOORCEILING ASSEMBLY - REFER ASSEMBLY LEGEND
  - 4 MASONRY
  - 4.1 8" CONCRETE RETAINING STEM WALL WITH WATERPROOFING MEMBRANE & 1/2" PROTECTIVE BOARD ON EXTERIOR FACE AND WITH 5/8" GYP. BOARD ON 1/4" FURRING AT 24" O.C. WITH 3/4" RESID INSULATION ON EXTERIOR FACE (SEE FOUNDATION DETAIL FOR REINFORCING)
  - 4.2 8" CONCRETE STEM WALL, PAINT ALL EXPOSED SURFACES. ALL PORTIONS OF CONCRETE BLOCK STEM WALLS TO BE COVERED WITH SIDING ON FURRING STRIPS FOR ANY AREA TALLER THAN 4' ABOVE GRADE
  - 4.3 16" SQUARE BRICK COLUMN ON 24" SQUARE FOOTING BRICK VENEER, REFER BUILDING PLAN
  - 4.4 BRICK SOLDIER COURSE (COLOR MAY DIFFER FROM FIELD BRICK COLOR) ALT. 2X6
  - 4.6 BRICK ROYALOCK COURSE
  - 5 METALS
  - 5.1 STEEL FRAMED STAIR, WITH PRECAST CONCRETE TREAD
  - 6 WOOD AND PLASTICS
  - 6.1 TREATED 2X4 SOLE PLATE 1/2" ROUND X 12" LONG A.B. AT 48" O.C. OR APPLICABLE CODE APPROVED THE DOWN CURB. INSTALL ANCHOR BOLT AT EACH END OF ALL SHORT WALLS WITH A MINIMUM OF TWO 3/8" X 8" SECTION OF WALL
  - 6.2 STRUCTURAL GRADE THERMAL PLY SHEATHING (TYPICAL ALL LOCATIONS)
  - 6.3 TRUSSED RAFTERS AT 24" O.C.
  - 6.4 1/4" TRUSS BRIDGING AT TOP AND BOTTOM CHORDS AND X-BRIDGING AT LAST 6 SPANS
  - 6.5 X-BRIDGING BETWEEN FLOOR JOISTS AT MAXIMUM 8' SPACING AT CONTRACTOR'S OPTION USE SOLID 2X BRIDGING
  - 6.6 2X10 BALCONY JOISTS (MOISTURE RESISTANT), JOIST HANGERS
  - 6.7 2X4 DECKING (MOISTURE RESISTANT), 2X6 JOISTS MAY BE USED AT CONTRACTOR'S OPTION
  - 6.8 3/4" PLYWOOD ON FLOOR JOISTS OR FLOOR TRUSSES WITH 3/4" BATT INSULATION DOUBLE FLOOR
  - 6.9 INSTALL LEADER TO FULL DEPTH OF OPENING AT CONTINUOUS WOOD BLOCKING
  - 6.10 5/8" BATT INSULATION
  - 6.11 EXTERIOR WALL ASSEMBLY - REFER ASSEMBLY LEGEND
  - 6.12 SEALANT JOINT AT ALL INTERSECTIONS OF SIDING
  - 6.13 1/2" PLYWOOD
  - 6.14 2" X 4" STUDS AT 16" O.C.
  - 6.15 5/8" HOUR RATED PLYWOOD SOFFIT WITH 1/2" TRIM
  - 6.16 3/4" PLYWOOD FIRE STOP OR 2X BLOCKING
  - 6.20 2" X 12 DIM JOIST OR EQUIVALENT
  - 6.21 ROOF CHIMNEY AT DRAIN TYPICAL
  - 6.22 PREFAB WOOD FIREPLACE MANTLE AND SUNKROUD
  - 6.23 GIBBERY TRUSSBOARD TRIM OVER 2X6S SUP BACKER SOFFIT, GIBBERY TRUSSBOARD
  - 6.24 WOOD TRIM
  - 6.25 NOT USED
  - 6.26 2X6 HD. DECKING, ALT.1, PRESSURE TREATED
  - 6.27 2" X 4" STUDS AT 16" O.C.
  - 6.28 PAINTED WOOD SILL X 10' DEEP AT WINDOW
  - 6.29 SILL FINISH
  - 6.30 CEILING ASSEMBLY - REFER ASSEMBLY LEGEND, PSI
  - 6.31 2X12 STRINGER
  - 6.32 FLOOR DOWN GRADED AREA TO 7'-0" ABOVE FINISHED FLOOR, U.O.N.
  - 6.33 FLOOR CEILING WITH 1/2" RATED TYPICAL AT ALL TOP FLOOR LIVING ROOM CEILING AND BEDROOM CEILING AS SHOWN ON UNIT PLAN
  - 6.40 LINE OF CEILING CHANGE
  - 6.41 WALL CABINET AND SHELVES ABOVE
  - 6.42 CABINET AND SHELVES
  - 6.43 DRAWINGS TYPICAL
  - 6.44 WOOD SHELVES, 12" DEEP TYPICAL
  - 6.45 NOT USED
  - 6.46 BREEZEWAY WALL ASSEMBLY - REFER ASSEMBLY LEGEND
  - 7 THERMAL AND MOISTURE PROTECTION
  - 7.1 ROOF ASSEMBLY - REFER ASSEMBLY LEGEND, PSI
  - 7.2 BATT OR BLOWN INSULATION (R-30) TYPICAL ALL ROOF AREAS
  - 7.3 FINISHED BUTTER AND DOWNSPOUT WITH SPLASH BLOCK
  - 7.4 DIVERTER PREFINISHED TO MATCH SHINGLES
  - 7.5 24 GASE PAINTED, GALV METAL CAP WITH SHINGLED SIDING
  - 7.6 26 GASE PAINTED GALV METAL STEP FLASHING
  - 7.7 INSULATION TO BE CONTIGOUS AT ALL BUILDING ENDS AT CHASE WALL TYPICAL
  - 7.8 1/2" VAPOR BARRIER PREFINISHED AT PERIMETERS OF ALL WINDOWS AND DOORS
  - 7.9 HALL TO RECEIVE BATT INSULATION
  - 7.10 SADDLE TYPICAL ALL FIBROD CHIMNEYS
  - 7.11 FLASHING LET UNDER THRESHOLD
  - 8 DOORS AND WINDOWS
  - 8.1 1'-0" X 2'-0" ATTIC ACCESS, REFER BLDG. PLAN
  - 8.2 DIVIDED LITE THERMAL GLAZED ALUMINUM FINISH WINDOW IN WHITE ALUMINUM FINISH
  - 8.3 PAINTED INSULATED METAL GLAZ. PANELIZED DOOR, W/ SPRING LOADED BUTTS. ALL DOORS TO HAVE DOOR VENEER AND HAVE LEAD CORE
  - 8.4 PAINTED FULL GLASS IN DIVIDED LITE METAL GLAZ INSULATED PATIO DOOR, INSTALL STORM DOOR OR TRIPLE GLAZING WHERE REQUIRED, USE SAFETY GLASS
  - 8.5 DOOR DOOR VENEER AND HAVE LEAD CORE
  - 8.6 PAINTED WOOD SILL AT WINDOW SILL HEIGHT
  - 8.7 METAL THRESHOLD SET IN SEALANT
  - 9 FINISHES
  - 9.1 ONE LAYER OF 1/2" GYP BD ATTIC DRAFT STOPPING ABOVE AND IN LINE WITH ALL TENANT SEPARATION WALLS
  - 9.2 ONE LAYER 5/8" GYP BOARD
  - 9.3 TENANT SEPARATION WALL ASSEMBLY - REFER ASSEMBLY LEGEND, PSI
  - 9.4 EXTENT OF WALLPAPER BORDER IN KITCHEN AND BATH ONLY
  - 9.5 5/8" GYP BOARD ON 2X4 STUDS
  - 9.6 1/2" GYP BOARD
  - 9.7 GIBBERLY AT DOORING
  - 9.8 CERAMIC TILE AT TUB ENCLOSURE
  - 9.9 2X6 GIBBERLY, ALT. 2X6
  - 9.10 CANVAS ANNIS
  - 9.11 PLASTIC LAMINATE NOSE TOP AND 4" HIGH DACK AND DED WOOD USES AT WALLS
  - 9.12 1 HOUR RATED WALL ASSEMBLY AT LOAD BEARING WALLS AND ALL EXTERIOR WALLS
  - 9.13 CERAMIC TILE AT ALL EXTERIOR WALLS
  - 9.14 LAMINATING FLOORING
  - 9.15 LAMINATING FLOORING CHANGE
  - 9.16 VINYL FLOORING IN NO VINYL FLOORING UNDER DISHWASHER AT KITCHEN, TYP.
  - 9.17 NOT USED
  - 10 SPECIALTIES
  - 10.1 EXHAUST GRILLE, W/ HARDWARE CLOTH COVER
  - 10.2 PAINTED WOOD OR GALV MET. ROOF FENTILATION LOWER IN BACKING SCREEN, SIZE TO BE IN ACCORDANCE WITH CODE REQUIREMENTS
  - 10.3 MAIL BOXES
  - 10.4 TOWEL BAR AT 4'-6" AFF., PROVIDE 2X6 BLOCKING FOR EACH BOX
  - 10.5 GRAB BAR AND SOAP HOLDER, TYPICAL ALL TUB ENCLOSURES, PROVIDE 2X6 BLOCKING AT WALL, ELEVATION TYP.
  - 10.6 1/4" POLISHED PLATE MIRROR WITH MAXIMUM GAP OF 1" AT PERIMETER OF MIRROR
  - 11 EQUIPMENT
  - 11.1 MICROWAVE OVEN / RANGE HOOD COMBINATION
  - 11.2 REFRIGERATOR W/ GIBBERLY
  - 11.3 DISHWASHER
  - 11.4 50" RANGE
  - 11.5 WASHER (N.C.)
  - 11.6 DRYER (N.C.)
  - 12 MECHANICAL
  - 12.1 PLUMBING ACCESS PANEL, TYPICAL ALL TUB / SHOWER LOCATIONS
  - 12.2 HOT WATER HEATER ACCESS PANEL
  - 12.3 TYPICAL AT WATER HEATER LOCATIONS
  - 12.4 EXHAUST FAN, VENT THROUGH ROOF AT TOP FLOOR, THROUGH WALL VIA FLOOR FRAMING SPACE
  - 12.5 ALL OTHER FLOORS, TERMINATING DEVICE TO HAVE HARDWARE CLOTH COVER
  - 12.6 CONDENSATE UNIT ON COND. PAD, PREPARED OR PREFORMED PAD, ALL SIZES, LINES TO BE COMPLETELY CONDENSED FROM WATER HEATER OR DRYER VENT, VENT THRU ROOF AT TOP FLOOR, THRU WALL VIA FLOOR JOIST SPACE AT ALL OTHER FLOORS, TERMINATING DEVICE TO HAVE HARDWARE CLOTH COVER
  - 12.7 POP-OFF AND CONDENSATE DRAIN FOR WATER HEATER
  - 12.8 ROOF MOUNTED ATTIC VENTS PER APPLICABLE CODE REQUIREMENTS
  - 12.9 WATER METERS
  - 12.10 RANGE HOOD VENT, VENT THRU ROOF AT TOP FLOOR THRU WALL VIA FLOOR JOIST SPACE AT ALL OTHER FLOORS, TERMINATING DEVICE TO HAVE HARDWARE CLOTH COVER
  - 12.11 ENGAGE SPRINKLER PIPES W/ RESID INSULATION AT ALL BREEZEWAY LOCATIONS, REFER FIRE SPRINKLER PLANS
  - 13 ELECTRICAL
  - 13.1 ELECTRICAL METERS, TYPICAL LOCATION
  - 13.2 J-BOX FOR RANGE HOOD ON SEPARATE CIRCUIT-200V
  - 13.3 JUNCTION BOX FOR DISPOSAL - 200V
  - 13.4 JUNCTION BOX FOR FURNACE - 240V
  - 13.5 JUNCTION BOX FOR WATER HEATER - 240V
  - 13.6 LIGHT FIXTURE, TYPICAL, DESIGNATION
  - 13.7 ELECTRIC FURNACE
  - 13.8 ELECTRIC WATER HEATER

REVISIONS

**Artisan Point**  
at Lees Summit

Lee Summit, Missouri  
Case Development Services

PROJECT: LOCATION: CLIENT:

SEAL:

**STATE OF MISSOURI**  
REGISTERED ARCHITECT

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4200 EAST SKELLY DRIVE SUITE 750  
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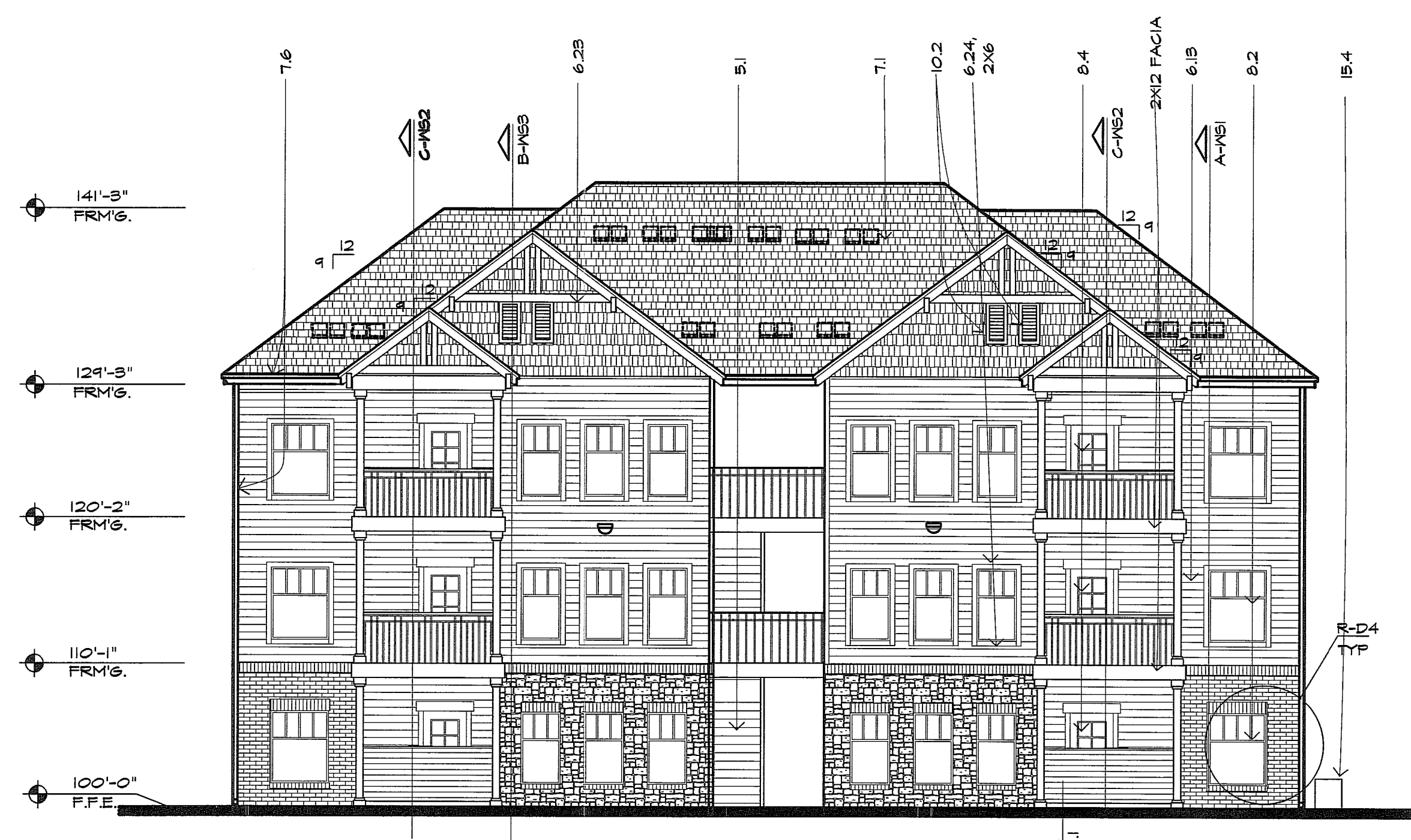
SHEET TITLE:  
**BUILDING PLAN**

SHEET NUMBER:  
**A1.3**

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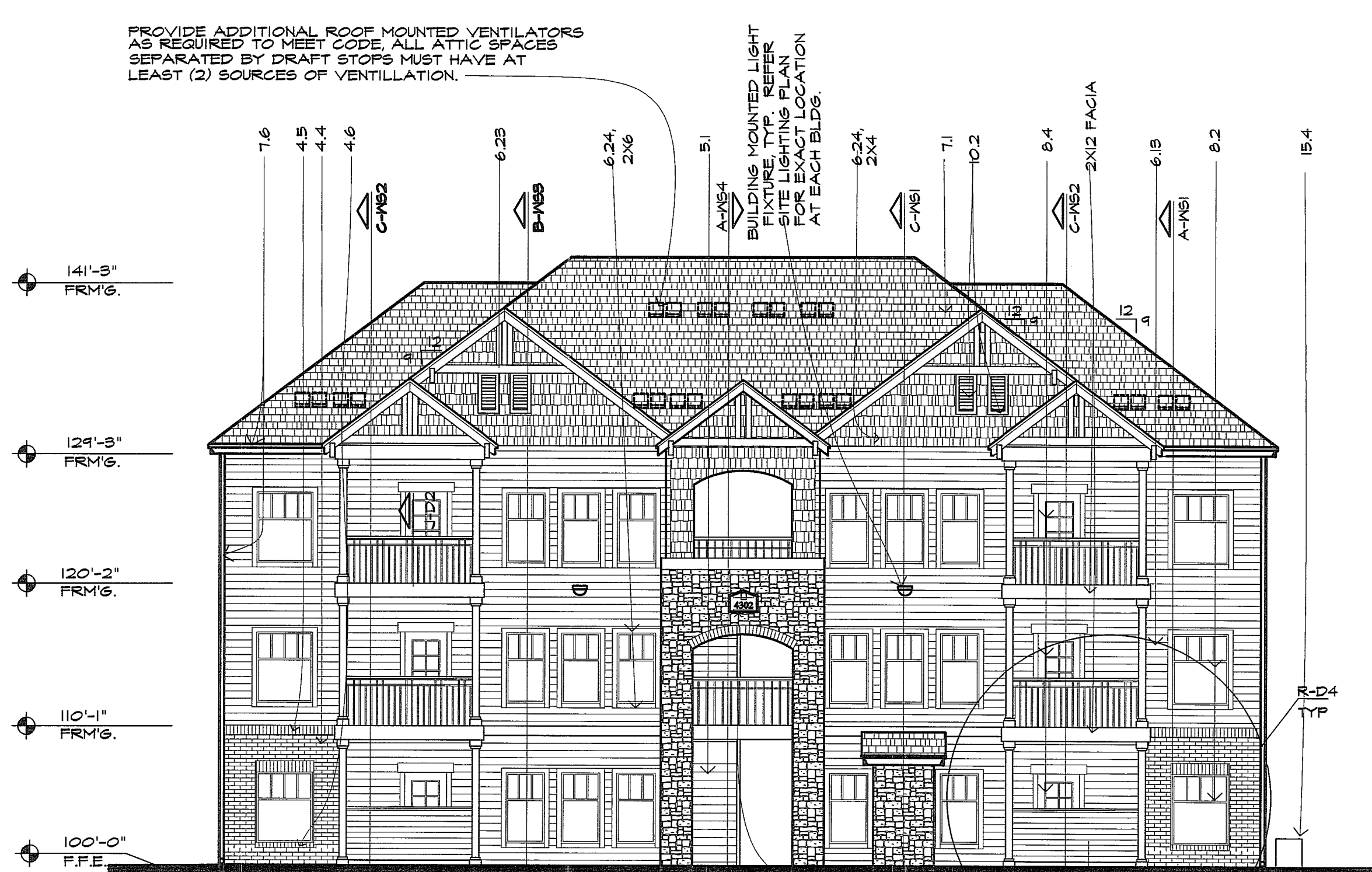


- KEYED NOTES:**
- 2 SITE WORK
  - 2.1 NOT USED
  - 2.2 CONCRETE SIDEWALK, WIDTH AS NOTED ON PLAN
  - 3 CONCRETE
  - 3.1 FOUNDATION SYSTEM, REFER TO STRUCTURAL DRAWINGS
  - 3.2 4" CONCRETE SLAB WITH 6X6, 10/10 WELDED WIRE MESH OVER WATERPROOF MEMBRANE ON MINIMUM 4" CONCRETE ROOF
  - 3.3 4" CONCRETE RATIO SLAB WITH 6X6 10/10 WWM ON 4" SAND CUSHION
  - 3.4 FLOOR/CELINGS ASSEMBLY - REFER ASSEMBLY LEGEND
  - 3.5 BREZZEWAY FLOOR/CELINGS ASSEMBLY - REFER ASSEMBLY LEGEND
  - 4 MASONRY
  - 4.1 8" CONCRETE RETAINMENT WALL WITH WATERPROOFING MEMBRANE 4 RIGID PROTECTIVE BOARD ON EXTERIOR FACE AND WITH 5/8" 9/16" BOARD ON 1/4" FURRING AT 24" O.C. WITH 5/8" RIGID INSULATION ON EXTERIOR FACE (SEE FOUNDATION DETAIL FOR REINFORCING)
  - 4.2 8" CONCRETE STEM WALL, PAINT ALL EXPOSED SURFACES. ALL PORTIONS OF CONCRETE BLOCK STEM WALLS TO BE COVERED WITH SIGNS ON FINISHING STEPS FOR AN AREA LARGER THAN 8' ADJACENT GRADE
  - 4.3 12" SQUARE BRICK COLUMN ON 24" ADJACENT GRADE
  - 4.4 BRICK VENEER REFER TO LEGEND FOR FINISHING
  - 4.5 BRICK SOLID COURSE (COLOR MAY DIFFER FROM FIELD BRICK COLOR) ALT. 2X10 BRICK ROWLOCK COURSE
  - 5 METALS
  - 5.1 STEEL FRAMED STAIR WITH PRECAST CONCRETE TREAD
  - 6 ROOF AND PLASTICS
  - 6.1 TREATED 2X6 SILE PLATE IN 1/2" ROUND X 1/2" LONG AB. AT 48" O.C. OR APPLICABLE CODE APPROVED TIE DOWN CLIP, INSTALL ANCHOR BOLT AT EACH END OF ALL SHORT WALLS WITH A MINIMUM OF TWO ADS PER SECTION OF WALL
  - 6.2 STRUCTURAL GRADE THERMAL PLY SHEATHING (TYPICAL ALL LOCATIONS)
  - 6.3 TRUSSED RAFTERS AT 24" O.C.
  - 6.4 1X4 TRUSS BRISINGS AT TOP AND BOTTOM CHORDS AND X-BRISINGS AT LAST 6 SPANS
  - 6.5 BRISINGS BETWEEN FLOOR JOISTS AT HANDBAY 8" SPACINGS AT CONTRACTOR'S OPTION USE SOLID 2X BRISINGS
  - 6.6 2X10 BALCONY JOISTS (MOISTURE RESISTANT)
  - 6.7 JOIST HANDBAY
  - 6.8 2X4 DECKING (MOISTURE RESISTANT), 2X6 DECKING MAY BE USED AT CONTRACTOR'S OPTION
  - 6.9 5/4" PLYWOOD ON FLOOR JOISTS OR FLOOR TRUSSES WITH 5/4" BATT INSULATION COLELE FLOOR TRUSSES UNDER WALLS PARALLEL TO TRUSS
  - 6.10 INSTALL HANDERS TO FULL WIDTH OF OPENING AT OPENING ADJACENT TO EACH OTHER
  - 6.11 CONTIGUOUS MOOD BLOCKING
  - 6.12 2X6 RAFTER EXTENSIONS
  - 6.13 EXTERIOR WALL ASSEMBLY - REFER ASSEMBLY LEGEND, PSI
  - 6.14 SEALANT JOINT AT ALL INTERSECTIONS OF SIGNS TO TRIM
  - 6.15 1/2" PLYWOOD
  - 6.16 6X6 MOOD POST
  - 6.17 2 X 6 STUDS AT 16" O.C.
  - 6.18 5/8" ROUGH SAWN PLYWOOD SOFFIT WITH 1X2 TRIM
  - 6.19 5/4" PLYWOOD FIRE STOP OR 2X4 BLOCKING
  - 6.20 2 X 12 RIM JOIST OR EQUIVALENT
  - 6.21 MOOD CHAIRNAIL AT TRIMS ONLY
  - 6.22 PREFAB MOOD FIREPLACE MANTLE AND SURROUND
  - 6.23 GENT FIBERBOARD TRIM OVER 2X6X8 SLP BACKER SOFFIT, GENT FIBERBOARD
  - 6.24 MOOD TRIM
  - 6.25 NOT USED
  - 6.26 2X6 NO LOCKING, ALT.1, PRESSED TREATED MOOD DECK, ALT.2, KEYNOTE 33
  - 6.27 PAINTED MOOD SILL, 1" DEEP AT WINDOW SILL HEIGHT
  - 6.28 CEILING ASSEMBLY - REFER ASSEMBLY LEGEND, PSI
  - 6.29 NOT USED
  - 6.30 2X2 STRENER
  - 6.31 PURN DOWN SHADED AREA TO 1'-0" ABOVE FINISHED FLOOR JOIN.
  - 6.32 SLOPE CEILING WITH 9/12 PITCH, TYPICAL AT ALL TOP FLOOR LIVING ROOM CEILING AND BEDROOM CEILING AS SHOWN ON UNIT PLAN
  - 6.40 STAIR RAIL
  - 6.41 WALL CABINET AND SHELVES ABOVE
  - 6.42 BASE CABINET AND SHELVES
  - 6.43 DRAWERS TYPICAL
  - 6.44 8 MOOD SHELVES, 12" DEEP TYPICAL
  - 6.45 NOT USED
  - 6.46 BREZZEWAY HALL ASSEMBLY - REFER ASSEMBLY LEGEND, PSI
  - 7 THERMAL AND MOISTURE PROTECTION
  - 7.1 ROOF ASSEMBLY - REFER ASSEMBLY LEGEND, PSI
  - 7.2 BATT OR BLOWN INSULATION (R-50) TYPICAL ALL ROOF AREAS
  - 7.3 SEALANT
  - 7.4 BATT INSULATION (R-50) TYPICAL ALL EXTERIOR WALLS
  - 7.5 REFINISHED RAFTER AND DOWNPOUT WITH DRYWALL, REFINISHED TO MATCH FINISHES
  - 7.6 24 GAGE PAINTED, GALV METAL GAB WITH REINFORCED EDGES
  - 7.7 24 GAGE PAINTED, GALV METAL STEP FLASHING ENDS AT CHASE WALL TYPICAL
  - 7.8 FOUR VARIOUS SHOWER HOUSERS AT PERIMETERS OF ALL WINDOWS AND DOORS
  - 7.9 HALL TO RESIDE BATT INSULATION
  - 7.10 SADDLE TYPICAL ALL PSEUDO CHIMNEYS
  - 7.11 FLASHING SET UNDER THRESHOLD
  - 8 DOORS AND WINDOWS
  - 8.1 1/4" X 2 1/4" ATTIC ACCESS, REFER BLDG. PLAN
  - 8.2 DIVIDED LITE THERMAL GLAZED ALUMINUM WINDOW IN WHITE ALUMINUM FINISH
  - 8.3 PAINTED INSULATED METAL CLAD PANELIZED DOOR, IV SPRING LOADED BUTTS, ALL DOORS TO PAINTED, FULL GLASS IV DIVIDED LITE, METAL CLAD INSULATED METAL CLAD WINDOW DOOR OR TRIPLE GLAZING WHERE REQUIRED, USE SAFETY GLASS
  - 8.4 DOOR BACK AND TRIM
  - 8.5 PAINTED MOOD SILL AT WINDOW SILL HEIGHT
  - 8.6 METAL THRESHOLD SET IN SEALANT
  - 9 FINISHES
  - 9.1 ONE LAYER OF 1/2" 9/16" BD ATTIC DRAFT STOPPING ABOVE AND IN LINE WITH ALL TENANT SEPARATION WALLS
  - 9.2 ONE LAYER 5/8" 9/16" BOARD
  - 9.3 TENANT SEPARATION WALL ASSEMBLY - REFER ASSEMBLY LEGEND, PSI
  - 9.4 EXTENT OF WALL/FRAMER BORDER IN KITCHEN AND BATH ONLY
  - 9.5 5/8" 9/16" BOARD ON 2X4 STUDS
  - 9.6 1/2" PRESHAM BOARD
  - 9.7 1/2" 9/16" BOARD
  - 9.8 CHAIRNAIL AT TRIMS
  - 9.9 CERAMIC TILE AT TUB ENCLOSURE
  - 9.10 BOW CERAMIC TILE ALT. 12X12
  - 9.11 CANVAS APPLINE
  - 9.12 FLOR LAMINATE NOSE, TOP AND 4" HIGH BACK AND END SPLASHES AT WALLS
  - 9.13 HOUR RATED WALL ASSEMBLY AT LOAD BEARING WALLS AND ALL EXTERIOR WALLS
  - 9.14 CERAMIC TILE AT BATH WALLS
  - 9.15 LINE OF FLOOR MATERIAL CHANGE
  - 9.16 CARPETING FLOORING
  - 9.17 NOT USED
  - 9.18 VINYL FLOORING IV NO VINYL FLOORING UNDER DISHWASHER AT KITCHEN TYP.
  - 10 SPECIALTIES
  - 10.1 EXHAUST GRILLE IV HANDYWARE CLOTH COVER
  - 10.2 PAINTED MOOD OR GALV METAL ROOF VENTILATION LOWER IV BAKING SCREEN SIZE TO BE IN ACCORDANCE WITH CODE REQUIREMENTS
  - 10.3 WALL SIZES
  - 10.4 TONEL BAR AT 4'-6" A.P.P., PROVIDE 2X6 BLOCKS IN WALL
  - 10.5 GRAB BAR AND SOAP HOLDER, TYPICAL ALL TUB ENCLOSURES, PROVIDE 2X6 BLOCKING IN WALL
  - 10.6 1/4" POLISHED PLATE MIRROR WITH MAXIMUM GAP OF 1/4" AT PERIMETER OF MIRROR
  - 11 EQUIPMENT
  - 11.1 MICROWAVE OVEN / RANGE HOOD COMBINATION
  - 11.2 REFRIGERATOR IV LOCKER
  - 11.3 DISHWASHER
  - 11.4 30" RANGE
  - 11.5 WASHER (N/C)
  - 11.6 DRYER (N/C)
  - 12 MECHANICAL
  - 12.1 FLOORING ACCESS PANEL, TYPICAL ALL TUB / SHOWER LOCATIONS
  - 12.2 HOT WATER HEATER ACCESS PANEL, TYPICAL AT WATER HEATER LOCATIONS
  - 12.3 EXHAUST FAN, VENT THROUGH ROOF AT TOP FLOOR, THROUGH HALL, VIA FLOOR FRAMING SPACE AT ALL OTHER FLOORS, TERMINATING DEVICE TO HAVE HANDYWARE CLOTH COVER
  - 12.4 CONDENSING UNITS ON CONC. PAD, PRECAST OR PREFORMED PAD, ALL RINGS LINES TO BE COMPLETELY CONCEALED FROM VIEW
  - 12.5 DRYER VENT, VENT THROUGH ROOF AT TOP FLOOR, THROUGH HALL, VIA FLOOR JOIST SPACE AT ALL OTHER FLOORS, TERMINATING DEVICE TO HAVE HANDYWARE CLOTH COVER
  - 12.6 PORT-OFF AND CONDENSATE DRAIN FOR WATER HEATER
  - 12.7 ROOF MOUNTED ATTIC VENTS PER APPLICABLE CODE REQUIREMENTS
  - 12.8 WATER METERS
  - 12.9 UNTERGRADED WATER HOOK-UP BOX, PROVIDE HOT AND COLD WATER SUPPLY AND DRAIN FLOOR, TRIM AND/OR VALVE
  - 12.10 RANGE HOOD VENT, VENT THROUGH ROOF AT TOP FLOOR, THROUGH HALL, VIA FLOOR JOIST SPACE AT ALL OTHER FLOORS, TERMINATING DEVICE TO HAVE HANDYWARE CLOTH COVER
  - 12.11 BREZZEWAY PIPES IV RIGID INSULATION SPRINKLER PLANS
  - 13 ELECTRICAL
  - 13.1 ELECTRICAL METERS, TYPICAL LOCATION
  - 13.2 J-BOX FOR RANGE HOOD ON SEPARATE CIRCUIT-120V
  - 13.3 JUNCTION BOX FOR DISPOSAL - 120V
  - 13.4 JUNCTION BOX FOR DISPOSAL - 120V
  - 13.5 JUNCTION BOX FOR FURPAGE - 240V
  - 13.6 JUNCTION BOX FOR WATER HEATER - 240V
  - 13.7 LIGHT FIXTURE, TYPICAL DESIGNATION
  - 13.8 ELECTRIC FURPAGE
  - 13.9 ELECTRIC WATER HEATER



**B REAR ELEVATION - BLDG. A2**  
1/8" = 1'-0"

ALL ROOF JACK & PENETRATIONS SHALL BE PAINTED TO MATCH ADJACENT ROOF COLOR.



**A FRONT ELEVATION - BLDG. A2**  
1/8" = 1'-0"

BLDG. ADDRESS SIGN IV CONTRASTING BACKGROUND & MIN. 4" HIGH, ARABIC #1/2" LETTERS IV 1/2" MIN. STROKE WIDTH TYP.

PROVIDE ADDITIONAL ROOF MOUNTED VENTILATORS AS REQUIRED TO MEET CODE. ALL ATTIC SPACES SEPARATED BY DRAFT STOPS MUST HAVE AT LEAST (2) SOURCES OF VENTILLATION.

BUILDING MOUNTED LIGHT SITE LIGHTING PLAN FOR EXACT LOCATION AT EACH BLDG.

REVISIONS

# Artisan Point at Lees Summit

Lee Summit, Missouri  
Case Development Services

PROJECT: LOCATION: CLIENT:

SCALE:

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**NO CAD FILES SHALL BE PROVIDED TO SUB-CONTRACTORS UNDER ANY CIRCUMSTANCES.**

**Architects Collective**

4200 EAST SKELLY DRIVE SUITE 750  
TULSA, OKLAHOMA 74135  
918/492-2987

PROJECT NUMBER:  
DATE: 05/03/18

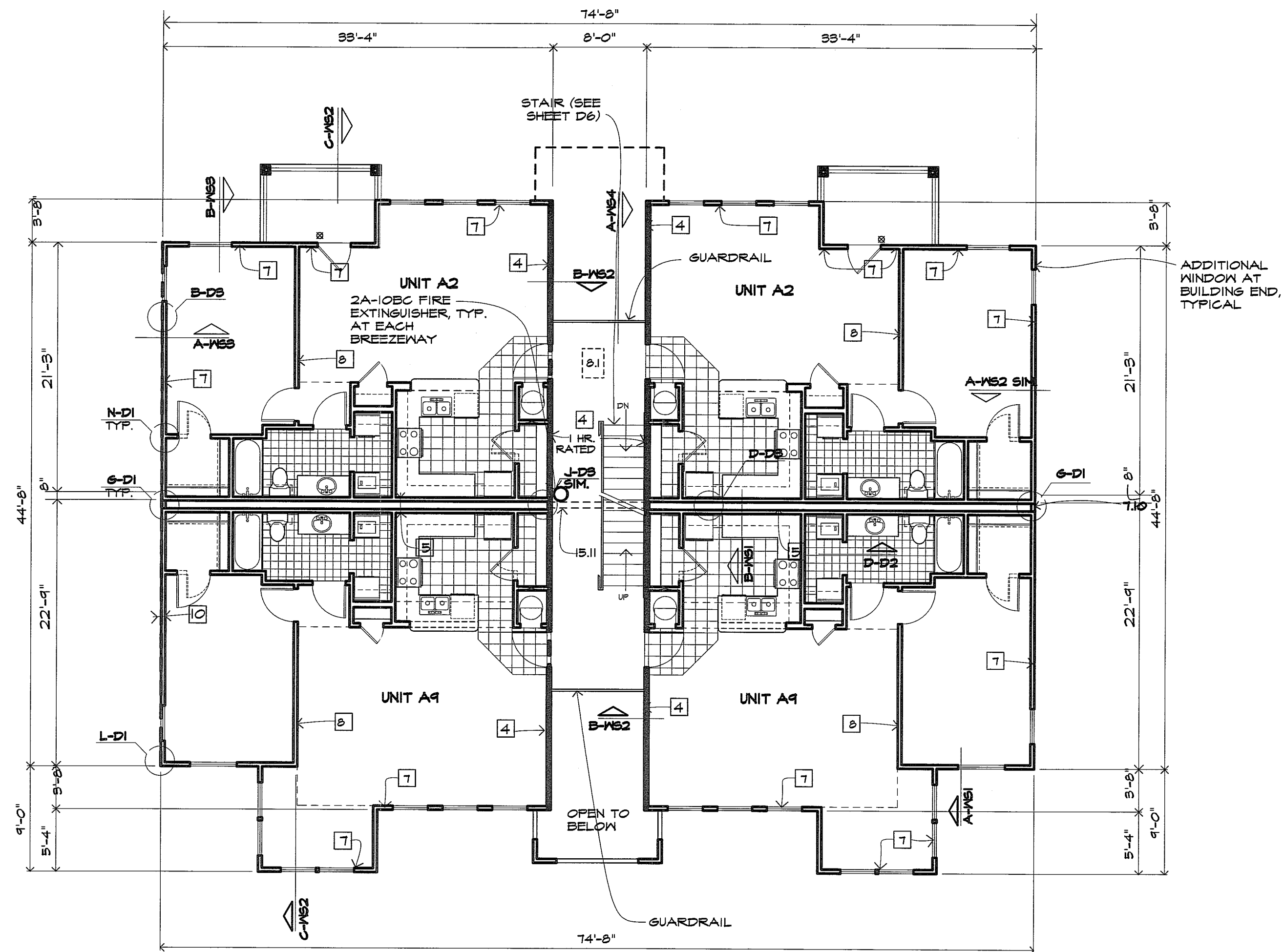
SHEET TITLE:  
**ELEVATIONS**

SHEET NUMBER:  
**A1.4**

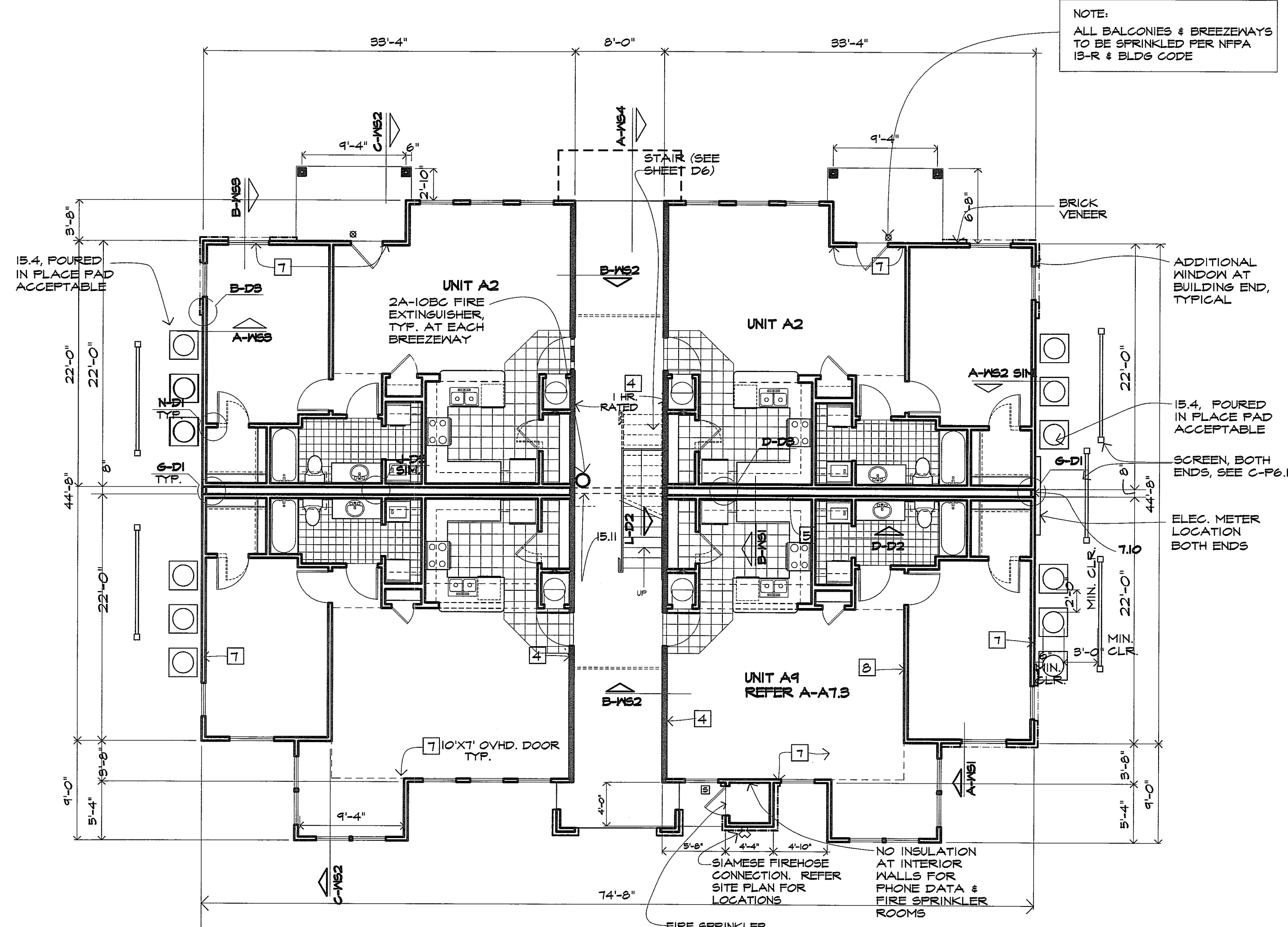
**ASSEMBLY LEGEND - REFER STD3**

- 1 **FLOORCEILING ASSEMBLY:**  
3/4" GYP CRETE ON 5/8" PLYWOOD ON 2X12 FLOOR JOISTS SPACING AS SHOWN ON FRAMING PLAN, WITH ONE LAYER OF 5/8" TYPE X GYP BOARD CEILING ON 3/4" RESILIENT FURRING CHANNELS AT 24" O.C. - ONE HOUR RATED ASSEMBLY - UL # L533
- 2 **BREEZEWAY/BALCONY FLOORCEILING ASSEMBLY:**  
1 1/2" MIN. LIGHT WEIGHT CONCRETE ON SHEET MEMBRANE WATER PROOFING ON 3/4" PLYWOOD ON 2X10 JOISTS AS SHOWN ON FRAMING PLAN WITH 5/8" TYPE X GYP. BD. ON 3/4" RESILIENT FURRING CHANNELS AT 24" O.C. ONE HOUR RATED ASSEMBLY - UL # L533
- 3 **ROOF CEILING ASSEMBLY:**  
ASPHALT SHINGLES (MIN. CLASS B) ON 15# FELT ON 1/2" OSB DECKING ON WOOD TRUSSED STICK FRAMED RAFTERS AT 24" O.C. U.O.N. AND ONE LAYER OF 5/8" TYPE X GYP. BD. ON 3/4" RESILIENT FURRING CHANNELS ON BOTTOM CHORD OF ASSEMBLY ABOVE ONE HOUR RATED ASSEMBLY - UL # P522
- 4 **BREEZEWAY WALLS & EXTER. WALLS 1/2" EACH SIDE OF STAIR ASSEMBLY:**  
SIDING ON ONE LAYER OF 5/8" FIREGUARD GYP BOARD SHEATHING ON 2X4 STUDS WITH 1/2" BATT INSULATION AND WITH ONE LAYER OF 5/8" FIREGUARD GYP BOARD ON INSIDE FACE. STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" C/C ONE HOUR RATED ASSEMBLY - UL # U209, GA # W9 8102
- 5 **TENANT SEPARATION WALL ASSEMBLY:**  
ONE LAYER 5/8" TYPE X GYP. BD. ON OUTSIDE FACE EACH OF DOUBLE 2X4 STUDS WITH 1/2" BATT INSULATION IN ONE SIDE ONLY. PLUMBING CHASE FOR PLUMBING WALLS (LONGITUDINAL TO BUILDING), 1" SPACE BETWEEN WALLS FOR ALL OTHER TENANT SEPARATION WALLS (TRANSVERSE TO BUILDING). STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" C/C ONE HOUR RATED ASSEMBLY - UL # U541 (STC 59)
- 6 **NON-RATED EXTERIOR WALL ASSEMBLY:**  
SIDING (OR MASONRY VENEER) ON ONE LAYER OF FIBERBRACE OR 1/2" OSB SHEATHING ON 2X4 STUDS AT 16" C/C WITH 1/2" BATT INSULATION AND WITH 1/2" GYP BOARD ON INSIDE FACE OF WALL. STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" C/C
- 7 **EXTERIOR RATED WALL ASSEMBLY:**  
SIDING (OR MASONRY VENEER) ON ONE LAYER OF STRUCTURAL GRADE, FIBERBRACE OR 1/2" OSB SHEATHING ON 2X4 STUDS AT 16" C/C WITH 1/2" BATT INSULATION AND WITH 5/8" TYPE X GYP. BD. ON INSIDE FACE OF WALL. STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" C/C ONE HOUR RATED ASSEMBLY - BR/LOSU REPORT 7187 (ASTM TEST E 119-81) - UL # U356
- 8 **INTERIOR NON-LOAD BEARING WALL ASSEMBLY:**  
1/2" GYP BOARD ON EACH FACE OF 2X4 STUDS AT 16" C/C. 5/8" FIRE GUARD GYP BOARD ON EACH FACE OF 2X4 STUDS AT 16" C/C. - NON-RATED
- 9 **INTERIOR LOAD BEARING WALL ASSEMBLY:**  
5/8" FIRE GUARD GYP BOARD ON EACH FACE OF 2X4 STUDS AT 16" C/C. STUDS IN GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" C/C. ONE HOUR RATED ASSEMBLY - UL # U305
- 10 **TWO HOUR RATED WALL ASSEMBLY:**  
TWO LAYERS OF 5/8" F.G. GYP BOARD ON EACH FACE OF 2X4 METAL STUDS JOINTS OF LAYERS STAGGERED AND OCCURRING OVER STUDS. TWO HOUR RATED ASSEMBLY - UL # U501

ALL BREEZEWAY WALLS SHALL BE A ONE-HOUR RATED ENCLOSURE AND HAVE SELF-CLOSING DOORS WITH A 60 MIN. RATED ASSEMBLY



**B BLDG. A2/A9 - 12 UNIT - 2ND & 3RD FLR. PLAN**  
1/8" = 1'-0"



**A BLDG. A2/A9 - 12 UNIT - 1ST FLR. PLAN**  
1/8" = 1'-0"

REVISIONS

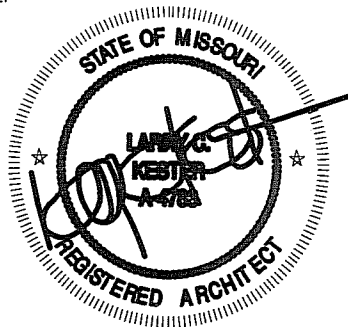
**Artisan Point**  
at Lees Summit

Lee Summit, Missouri  
Case Development Services

PROJECT:

LOCATION:

SEAL:



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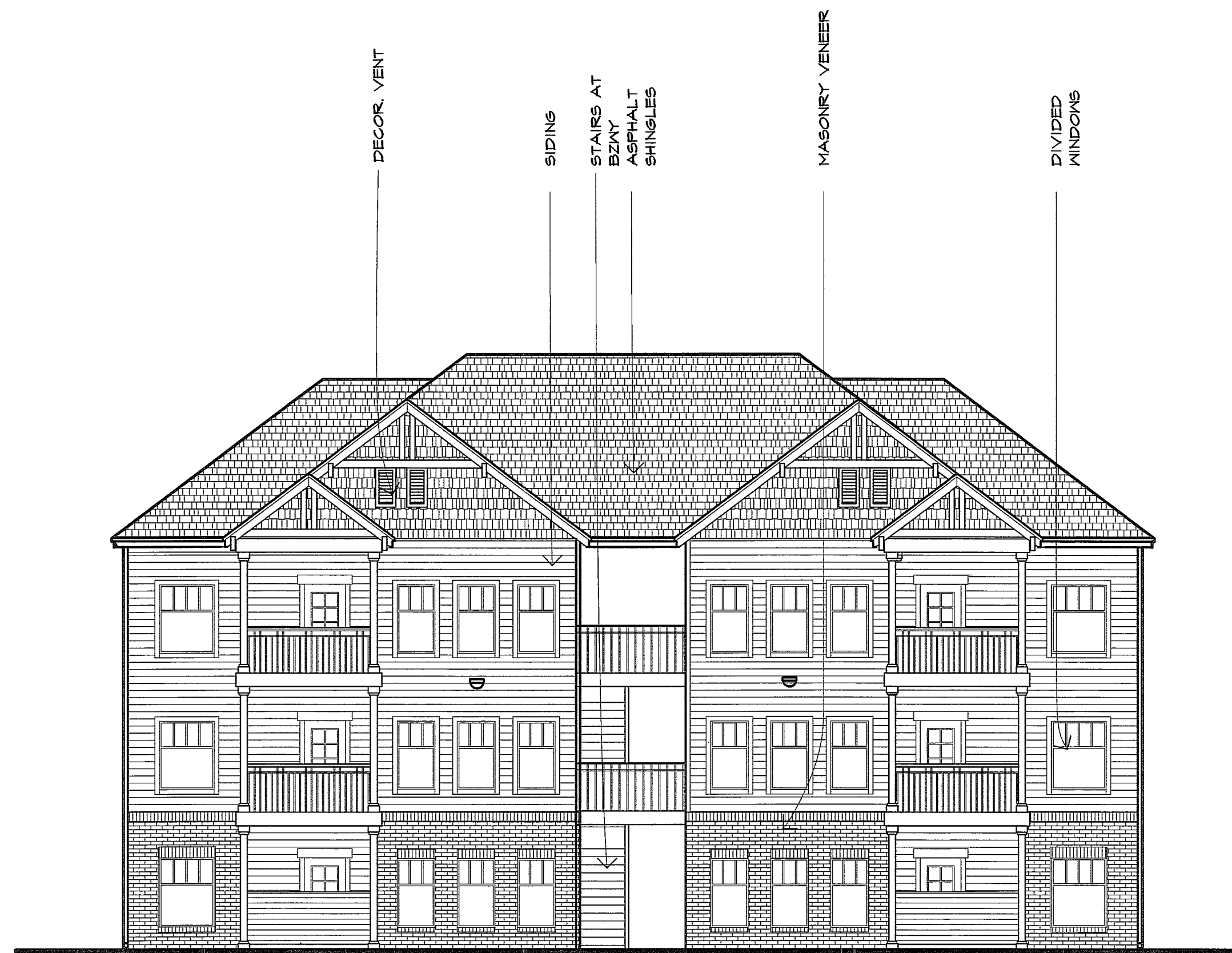
**Architects Collective**  
4200 EAST SKELLY DRIVE SUITE 750  
TULSA, OKLAHOMA 74135  
98/492-2987

PROJECT NUMBER:  
DATE: 05/03/18

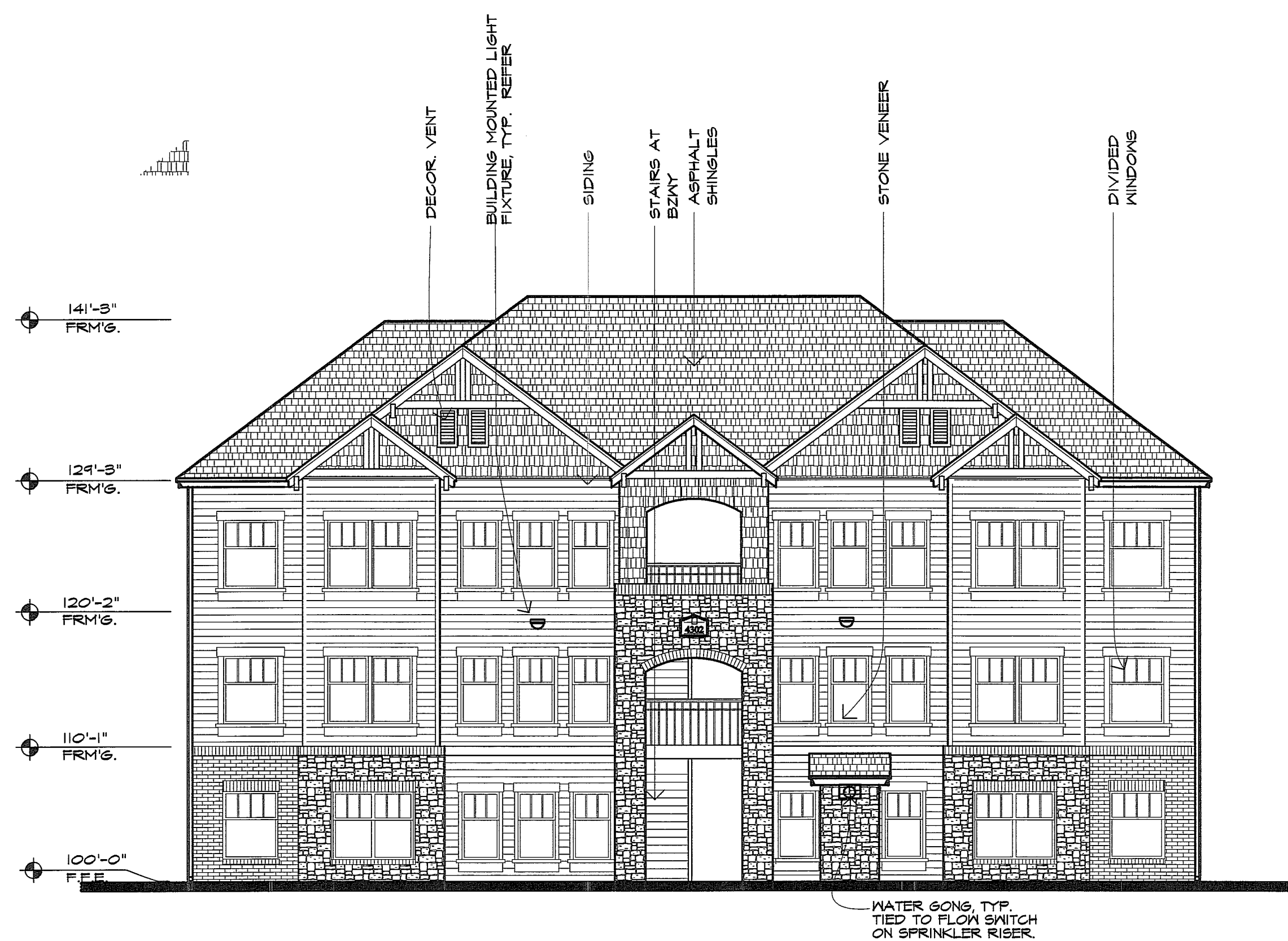
SHEET TITLE:  
**BUILDING PLAN**

SHEET NUMBER:  
**A3.7**

6/24/2018 11:44 AM \\FILESERVER\oad\Case\Case\_MF\_LeeSummit\_17\Lee\_Sigumit\Lee\_Sigumit.dwg 49-12



**B** REAR ELEVATION - BLDG TYPE A2-A9 - 12 UNIT  
1/8" = 1'-0"



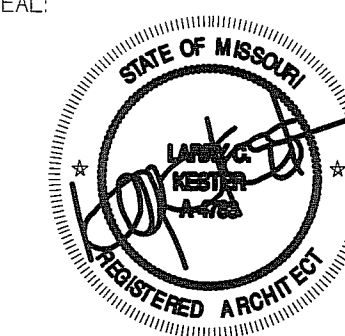
**A** FRONT ELEVATION - BLDG TYPE A2-A9 - 12 UNIT  
1/8" = 1'-0"

**Artisan Point**  
at Lees Summit

Lee Summit, Missouri  
Case Development Services

PROJECT: LOCATION: CLIENT:

SEAL:



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4200 EAST SKELLY DRIVE SUITE 750  
TULSA, OKLAHOMA 74135  
918.492.2967

PROJECT NUMBER:  
DATE: 05/03/18

SHEET TITLE:  
ELEVATIONS  
BLDG. A2-A9

SHEET NUMBER:

**A3.8**

**LANDSCAPE DATA TABLE**

LANDSCAPED STREET FRONTAGE REQUIRED:  
 1 TREE PER 50 L.F. OF STREET FRONTAGE  
 BLUE PARKWAY 424 L.F. /30 = 31 TREES REQUIRED  
 = 31 TREES PROVIDED + 19 ORNAMENTALS  
 ROAD A 2150 L.F. /30 = 72 TREES REQUIRED  
 = 72 TREES PROVIDED + 22 ORNAMENTALS

1 SHRUB PER 20 L.F. OF STREET FRONTAGE  
 BLUE PARKWAY 424 /20 = 46 SHRUBS REQ.  
 = 71 SHRUBS PROVIDED  
 ROAD A 2150 /20 = 107.45 SHRUBS REQ.  
 = 213 SHRUBS PROVIDED

STREET FRONTAGE GREEN STRIP 20FT PROVIDED

OPEN YARD SHRUBS REQUIRED:  
 2 SHRUBS PER 5,000 SQ.FT. OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT  
 1,495,458 SQ.FT. TOTAL LOT AREA MINUS 563,485 SQ.FT. OF BUILDING FOOTPRINT  
 = 931,973 SQ.FT. /5000 X 2  
 = 373 SHRUBS REQUIRED  
 = 8,474 SHRUBS PROVIDED

1 TREE PER 5,000 SQ.FT. OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT  
 1,495,458 SQ.FT. TOTAL LOT AREA MINUS 563,485 SQ.FT. OF BUILDING FOOTPRINT  
 = 931,973 SQ.FT. /5000  
 = 186 TREES REQUIRED (IN ADDITION TO STREET TREES)  
 = 389 TREES PROVIDED + 42 ORNAMENTALS

PARKING LOT LANDSCAPE ISLANDS REQUIREMENTS:  
 5% OF ENTIRE PARKING AREA (SPACES, AISLES & DRIVES);  
 1 ISLAND AT END OF EVERY PARKING BAY, MIN. 9' WIDE  
 487,401 SQ.FT. PARKINGX .05 = 24,371 SQ. FT. OF LANDSCAPING PARKING LOT ISLANDS REQ.  
 = 44,544 SQ.FT. PARKING LANDSCAPE PROVIDED

\*\* ALL ORDINANCE REQUIRED LANDSCAPE AREA TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.

**NOTES:**

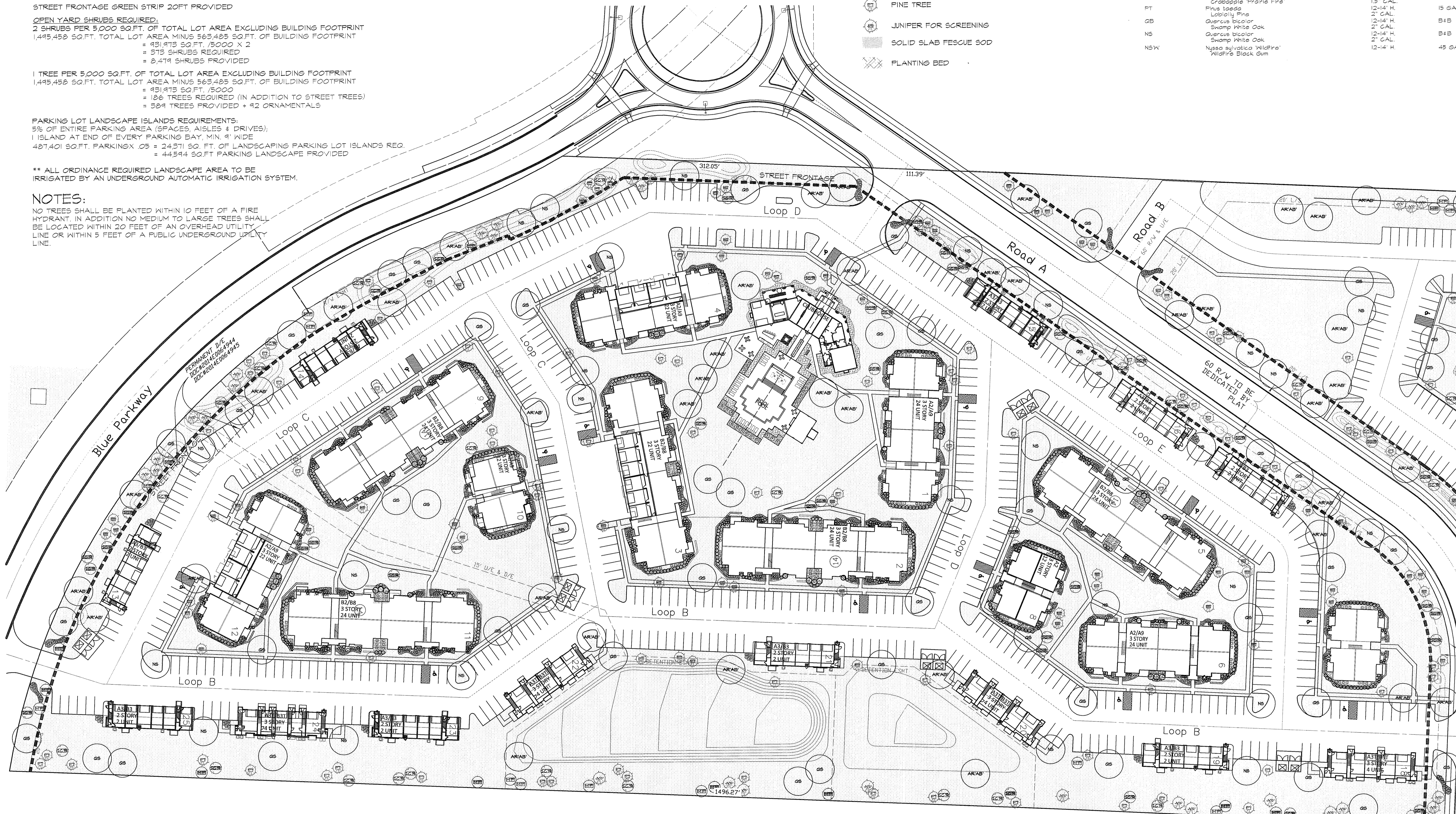
NO TREES SHALL BE PLANTED WITHIN 10 FEET OF A FIRE HYDRANT. IN ADDITION NO MEDIUM TO LARGE TREES SHALL BE LOCATED WITHIN 20 FEET OF AN OVERHEAD UTILITY LINE OR WITHIN 5 FEET OF A PUBLIC UNDERGROUND UTILITY LINE.

**LEGEND**

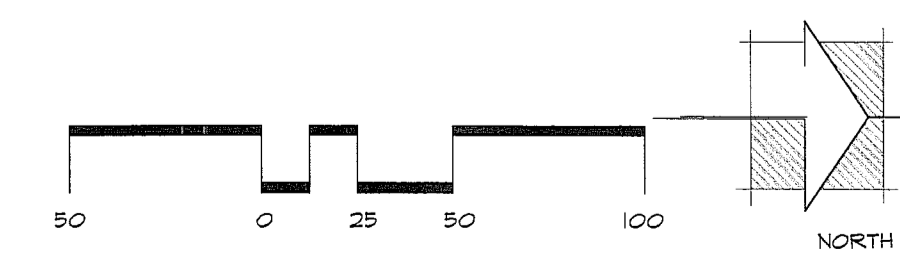
- SHADE TREE
- ORNAMENTAL TREE
- PINE TREE
- JUNIPER FOR SCREENING
- SOLID SLAB FESCUE SOD
- PLANTING BED

**LANDSCAPE MATERIAL TREE LIST**

KEY	MATERIAL NAME	SIZE/REMARK	TYPE
JVC	Juniperus virginiana 'Conaeri'	10-12" H. FULL TO GROUND	B4B
ASC	Asperula juniper	12-14" H. 2" CAL.	B4B
CCR	Acer saccharum Sugar Maple 'Caddo'	6-7" H. 15" CAL.	B1B
MP	Cercis canadensis Redbud	6-7" H. 15" CAL.	B4B
PT	Malus x 'Prairie Fire'	6-7" H. 15" CAL.	B4B
GB	Pinus taeda Loblolly Pine	12-14" H. 2" CAL.	15 GAL.
NS	Quercus bicolor Swamp White Oak	12-14" H. 2" CAL.	B4B
NSW	Quercus bicolor Swamp White Oak	12-14" H. 2" CAL.	B4B
NSW	Nyssa sylvatica 'Millfire'	12-14" H. 2" CAL.	45 GAL.
NSW	Millfire Black Gum		



2514.35'  
 S 02°19'35" W



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 P.D.G., INC. AND PLANNING DESIGN GROUP IN THIS STATEMENT SHALL BE KNOWN AS ARCHITECT. RELEASE OF THESE PLANS CONTINGENT UPON FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERATIVE, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USER OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY SHIRKING NOTICE SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED, AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

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**BASE INFORMATION**  
 ALL BASE INFORMATION INCLUDING EXISTING DRAINAGE KAYS, EXISTING CONTOURS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY ARCHITECTS COLLECTIVE, TULSA, OK.

**PDG**  
 PLANNING DESIGN GROUP  
 LANDSCAPE ARCHITECTURE • LAND PLANNING  
 RECREATIONAL DESIGN • LAND PLANNING  
 5314 S. YALE AVE., SUITE 710, TULSA, OK 74133  
 918.628.1233 918.628.1236 FAX  
 WWW.PLANNINGDESIGNGROUP.COM

OWNER:  
**CASE AND ASSOCIATES**  
 4200 East Skelly Dr., Suite 800, Tulsa, OK 74135  
 OFFICE: (918) 492-1883 FAX: (918) 492-8423

JAMES C. CROSBY, ASLA  
 LANDSCAPE ARCHITECT OF RECORD

**PROJECT INFORMATION**

PROJECT ADDRESS:  
 LEE'S SUMMIT, MO

PROJECT NO.	
DATE	8.8.18
DRAWN BY	CHECKED BY
JM	

**Artisan Point**  
 Lee's Summit, MO

**ISSUE/REVISIONS**

NO.	DESCRIPTION

**ISSUE/REVISIONS**

NO.	DESCRIPTION

LS-1

**LANDSCAPE DATA TABLE**

LANDSCAPED STREET FRONTAGE REQUIRED:  
 1 TREE PER 90 L.F. OF STREET FRONTAGE  
 BLUE PARKWAY 424 L.F. / 30 = 31 TREES REQUIRED  
 = 31 TREES PROVIDED + 19 ORNAMENTALS  
 ROAD A 2,150 L.F. / 30 = 72 TREES REQUIRED  
 = 72 TREES PROVIDED + 22 ORNAMENTALS

1 SHRUB PER 20 L.F. OF STREET FRONTAGE  
 BLUE PARKWAY 424 / 20 = 49 SHRUBS REQ.  
 = 71 SHRUBS PROVIDED  
 ROAD A 2,150 / 20 = 107.5 SHRUBS REQ.  
 = 213 SHRUBS PROVIDED

STREET FRONTAGE GREEN STRIP 20FT PROVIDED

OPEN YARD SHRUBS REQUIRED:  
 2 SHRUBS PER 5,000 SQ.FT. OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT  
 1,495,459 SQ.FT. TOTAL LOT AREA MINUS 563,485 SQ.FT. OF BUILDING FOOTPRINT  
 = 931,973 SQ.FT. / 5,000 X 2  
 = 373 SHRUBS REQUIRED  
 = 8,474 SHRUBS PROVIDED

1 TREE PER 5,000 SQ.FT. OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT  
 1,495,459 SQ.FT. TOTAL LOT AREA MINUS 563,485 SQ.FT. OF BUILDING FOOTPRINT  
 = 931,973 SQ.FT. / 5,000  
 = 186 TREES REQUIRED (IN ADDITION TO STREET TREES)  
 = 384 TREES PROVIDED + 42 ORNAMENTALS

PARKING LOT LANDSCAPE ISLANDS REQUIREMENTS:  
 5% OF ENTIRE PARKING AREA (SPACES, AISLES & DRIVES);  
 1 ISLAND AT END OF EVERY PARKING BAY, MIN. 4' WIDE  
 487,401 SQ.FT. PARKING X .05 = 24,371 SQ. FT. OF LANDSCAPING PARKING LOT ISLANDS REQ.  
 = 44,594 SQ.FT. PARKING LANDSCAPE PROVIDED

\*\* ALL ORDINANCE REQUIRED LANDSCAPE AREA TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.

NORTH BUFFER  
 MEDIUM BUFFER REQUESTED TO THE NORTH LINE OF THE PROPERTY IN PLACE OF A HIGH IMPACT BUFFER SCREEN DUE TO ADJACENT LAND NOT BEING USED AS RESIDENTIAL AND THERE IS A DETENTION POND ALSO CREATING SEPARATION.

**NOTES:**

NO TREES SHALL BE PLANTED WITHIN 10 FEET OF A FIRE HYDRANT. IN ADDITION NO MEDIUM TO LARGE TREES SHALL BE LOCATED WITHIN 20 FEET OF AN OVERHEAD UTILITY LINE OR WITHIN 5 FEET OF A PUBLIC UNDERGROUND UTILITY LINE.

**LEGEND**

- SHADE TREE
- ORNAMENTAL TREE
- PINE TREE
- JUNIPER FOR SCREENING
- SOLID SLAB FESCUE SOD
- PLANTING BED

**LANDSCAPE MATERIAL TREE LIST**

KEY	MATERIAL NAME	SIZE/REMARK	TYPE
JVC	Juniper virginiana 'Concolor'	10-12" H. FULL TO GROUND	B4B
ASC	Acer saccharum	12-14" H. 2" CAL.	B4B
CCR	Sugar Maple 'Caddo'	6-7" H. 1.5" CAL.	B4B
MP	Cercis canadensis 'Redbud'	6-7" H. 1.5" CAL.	B4B
PT	Malus x 'Prairie Fire'	12-14" H. 2" CAL.	15 GAL
OB	Pinus taeda	12-14" H. 2" CAL.	B4B
NS	Quercus bicolor	12-14" H. 2" CAL.	B4B
NS'W	Quercus bicolor	12-14" H. 2" CAL.	B4B
	Swamp White Oak	12-14" H. 2" CAL.	45 GAL
	Nyssa sylvatica 'Waldro'	12-14" H.	
	Waldro Black Gum		



**PDG**  
 PLANNING DESIGN GROUP  
 LANDSCAPE ARCHITECTURE • RECREATIONAL DESIGN • LAND PLANNING  
 8314 S. YALE AVE., SUITE 110, TULSA, OK 74135  
 (918) 442-1255 (918) 442-1256 FAX  
 WWW.PLANNINGDESIGNGROUP.COM

OWNER:  
**CASE AND ASSOCIATES**  
 4300 East Skelly Dr., Suite 800, Tulsa, OK 74135  
 OFFICE: (918) 442-4493 FAX: (918) 442-8423

JAMES C. CROSBY, ASLA  
 LANDSCAPE ARCHITECT OF RECORD

PROJECT INFORMATION  
 PROJECT ADDRESS:  
 LEE'S SUMMIT, MO

PROJECT NO.  
 DATE 8.8.18  
 DRAWN BY CHECKED BY  
 JM

Artisan Point  
 Lee's Summit, MO

ISSUE/REVISIONS

NO.	DESCRIPTION

**DUTY OF COOPERATION**

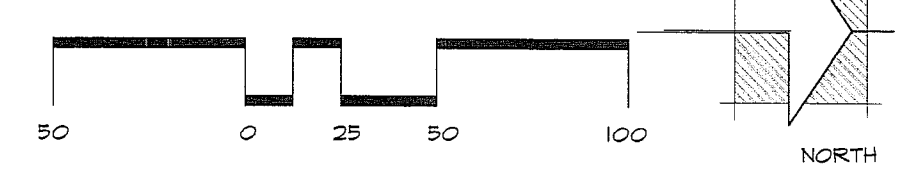
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**BASE INFORMATION**

ALL BASE INFORMATION INCLUDING EXISTING DRAINAGE MAPS, EXISTING CONTOURS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY ARCHITECT'S COLLECTIVE, TULSA, OK.

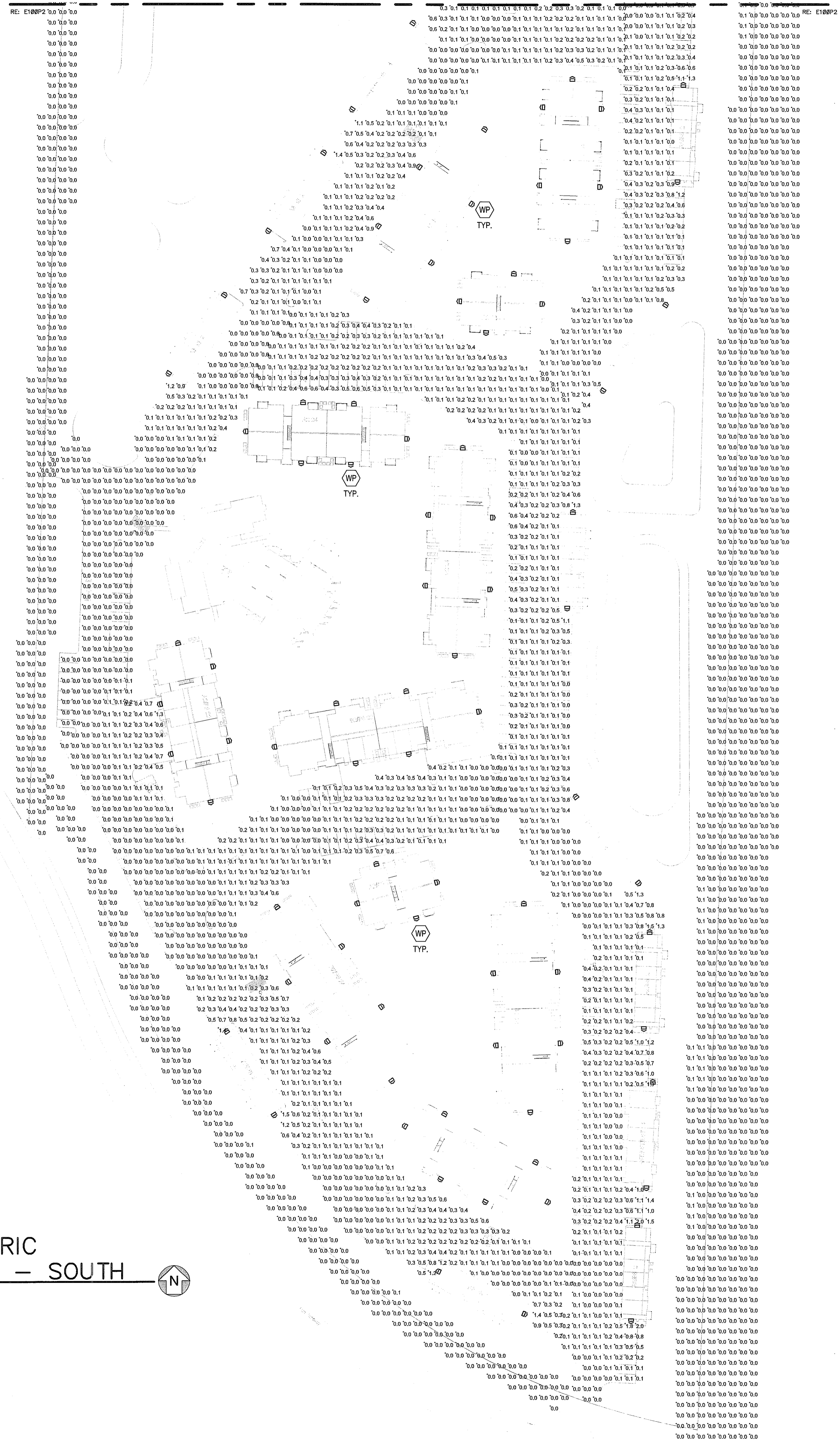


LS-2

LIGHT FIXTURE SCHEDULE						
MANUFACTURER	CATALOG NO.	VOLTS WATTS	LAMPS QTY-WATTS-TYPE	MOUNTING	FIXTURE NOTES	
MAXLITE	MLLWP40LED50	120 34.6	LED, 5000K, 2560 LUMENS	WALL	BUILDING MOUNTED WALL PACK	
NOTES:						

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Calc Zone A	+	0.2 fc	1.5 fc	0.0 fc	N/A	N/A	0.1:1
Calc Zone B	+	0.2 fc	2.0 fc	0.0 fc	N/A	N/A	0.1:1
Calc Zone C	+	0.1 fc	1.5 fc	0.0 fc	N/A	N/A	0.1:1
Calc Zone D	+	0.1 fc	1.4 fc	0.0 fc	N/A	N/A	0.1:1
Calc Zone E	+	0.2 fc	2.3 fc	0.0 fc	N/A	N/A	0.1:1
Calc Zone F	+	0.1 fc	2.5 fc	0.0 fc	N/A	N/A	0.0:1
Calc Zone G	+	0.2 fc	1.3 fc	0.0 fc	N/A	N/A	0.2:1
Calc Zone H	+	0.2 fc	2.5 fc	0.0 fc	N/A	N/A	0.1:1
East Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A	0.0:1
North Property Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A
Southwest Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A	0.0:1
West Property Line	+	0.0 fc	0.5 fc	0.0 fc	N/A	N/A	0.0:1

PHOTOMETRIC  
SITE PLAN - SOUTH  
1"=60'



Revision # Date Description

**MPW**

MPW ENGINEERING, LLC  
110 W. 7TH STREET SUITE 400 • TULSA, OK 74103  
(918) 582-4888 • FAX (918) 582-7874  
NO STATE CERTIFICATE OF AUTHORITY #000014901

JOHN E. WEST III  
ENGINEER OF RECORD  
MPE 26120

**Artisan Point**  
at Lees Summit

PROJECT: Lees Summit, Missouri  
LOCATION: Lees Summit, Missouri  
CLIENT: Case Development Services

SEAL:

STATE OF OKLAHOMA  
JOHN E. WEST III  
NUMBER  
E-26210  
PROFESSIONAL ENGINEER

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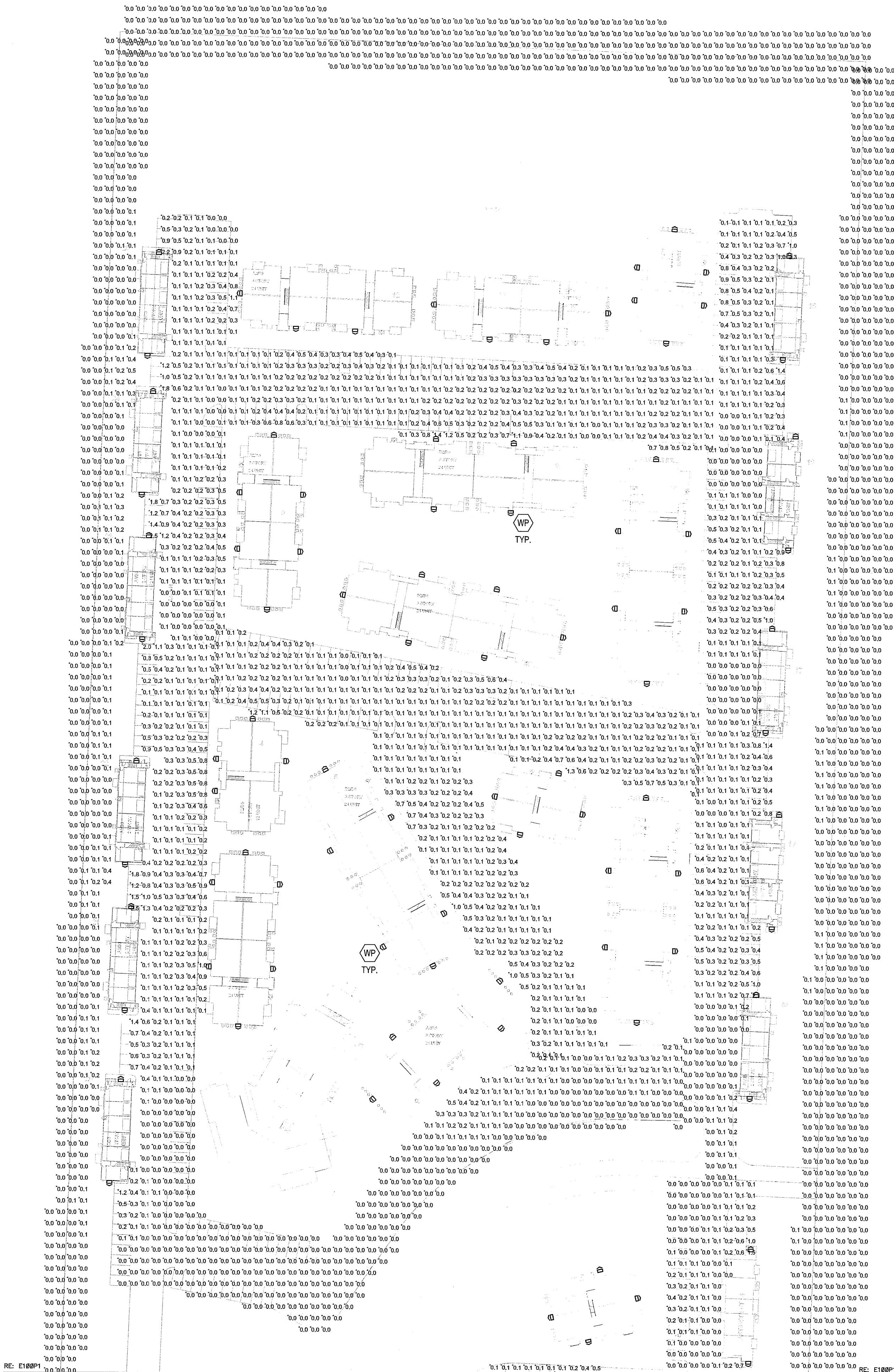
**Architects Collective**

4200 EAST SKELLY DRIVE SUITE 750  
TULSA, OKLAHOMA 74135  
918/492-2987

PROJECT NUMBER: 08/03/2018  
DATE: 08/03/2018

SHEET TITLE:  
ELECTRICAL:  
PHOTOMETRIC SITE  
PLAN - SOUTH

SHEET NUMBER:  
**E100P1**



1 PHOTOMETRIC SITE PLAN - NORTH  
1"=60'



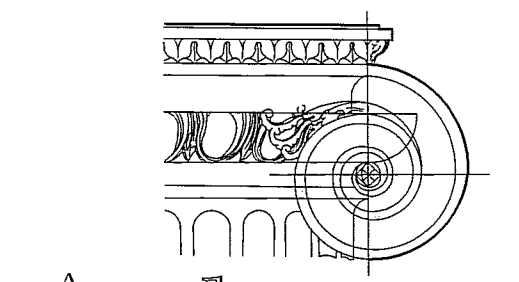
MPW ENGINEERING, LLC  
110 W. 7TH STREET • SUITE 100 • TULSA, OK 74119  
(918) 582-4086 • (918) 582-4097 FAX  
NO STATE CERTIFICATE OF ADOPTION #200801401  
JOHN E. WEST III P.E.  
ENGINEER OF RECORD  
MO# 06210

PROJECT: Artisan Point at Lees Summit  
LOCATION: Lees Summit, Missouri  
CLIENT: Case Development Services

SEAL: JOHN E. WEST III  
REGISTERED PROFESSIONAL ENGINEER  
NO. 6210  
STATE OF MISSOURI

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Architects Collective  
4200 EAST SKELLY DRIVE SUITE 750  
TULSA, OKLAHOMA 74135  
918/492-2987

PROJECT NUMBER: 08/032018  
DATE:

SHEET TITLE: ELECTRICAL PHOTOMETRIC SITE PLAN - NORTH  
SHEET NUMBER:

E100P2