

**Preliminary Development Plan Boundary Description:**

A Tract of land in the Northwest Quarter of Section 34, Township 48 South, Range 32 West, of the 5<sup>th</sup> P.M., in the City of Lee's Summit, Jackson County, Missouri, being more particularly described as follows:

COMMENCING at the Southwest corner of the Northwest Quarter of said Northwest Quarter; thence South  $86^{\circ}26'21''E$ , along the South line of said Quarter-Quarter, a distance of 78.97 feet, to the POINT OF BEGINNING; thence North  $03^{\circ}33'19''E$ , East, departing said South line, a distance of 81.83 feet, to a point on a non-tangent curve; thence Northwest, along a curve to the right, whose initial tangent bearing is North  $75^{\circ}29'13''W$ , West, having a radius of 111.50 feet, and a central angle of  $24^{\circ}20'06''$ , a distance of 47.36 feet; to a point of compound curvature; thence Northwesterly, along a curve to the right, having a radius of 84.00 feet, and a central angle of  $16^{\circ}00'54''$ , a distance of 23.48 feet, to a point of reverse curvature; thence Northwesterly, along a curve to the left, having a radius of 106.00 feet, and a central angle of  $07^{\circ}58'31''$ , a distance of 14.75 feet, to a point of reverse curvature; thence Northwesterly, along a curve to the right, having a radius of 84.00 feet, and a central angle of  $12^{\circ}03'20''$ , a distance of 17.67 feet, to a point on a non-tangent line, said point also being a point on the West line of said Northwest Quarter; thence North  $02^{\circ}25'47''E$ , East, along said West line, a distance of 280.21 feet, to a point on a non-tangent curve; thence Northeastery, departing said West line and along a curve to the right, whose initial tangent bearing is North  $15^{\circ}06'40''E$ , East, having a radius of 648.00 feet, and a central angle of  $54^{\circ}41'08''E$ , a distance of 618.48 feet, to a point of tangency; thence North  $69^{\circ}47'48''E$ , East, a distance of 235.03 feet, to a point of curvature; thence Northeastery and Southeasterly, along a curve to the right, having a radius of 84.00 feet, and a central angle of  $91^{\circ}10'09''$ , a distance of 133.66 feet, to a point of tangency; thence South  $19^{\circ}02'03''E$ , East, a distance of 13.19 feet, to a point of curvature; thence Southeasterly, along a curve to the left, having a radius of 616.00 feet, and a central angle of  $18^{\circ}21'00''$ , a distance of 197.28 feet, to a point of compound curvature; thence Southeasterly, along a curve to the left, having a radius of 540.00 feet, and a central angle of  $13^{\circ}19'41''$ , a distance of 125.61 feet, to a point of tangency; thence South  $50^{\circ}42'44''E$ , East, a distance of 438.70 feet, to a point of curvature; thence Southeasterly, along a curve to the right, having a radius of 370.00 feet, and a central angle of  $21^{\circ}49'29''$ , a distance of 140.94 feet, to a point of compound curvature; thence Southeasterly, along a curve to the right, having a radius of 264.00 feet, and a central angle of  $12^{\circ}30'46''$ , a distance of 57.67 feet, to a point compound curvature; thence Southeasterly and Southerly, along a curve to the right, having a radius of 368.00 feet, and a central angle of  $13^{\circ}59'23''$ , a distance of 89.85 feet, to a point on a non-tangent line; thence South  $01^{\circ}25'13''E$ , East, a distance of 3.16 feet, to a point of curvature; thence Southerly and Southwesterly, along a curve to the right, having a radius of 49.00 feet, and a central angle of  $31^{\circ}51'42''$ , a distance of 27.25 feet, to a point on a non-tangent line; thence South  $30^{\circ}27'25''W$ , West, a distance of 31.24 feet, to a point of curvature; thence Southwesterly and Southeasterly, along a curve to the left, having a radius of 71.00 feet, and a central angle of  $118^{\circ}13'12''$ , a distance of 146.50 feet, to a point on a non-tangent line; thence South  $03^{\circ}33'39''W$ , West, a distance of 12.92 feet, to a point on said South line; thence North  $86^{\circ}26'21''W$ , West, along said South line, a distance of 1,357.83 feet, to the POINT OF BEGINNING, containing 967,175.04 square feet, or 22.20 acres, more or less.

And also:

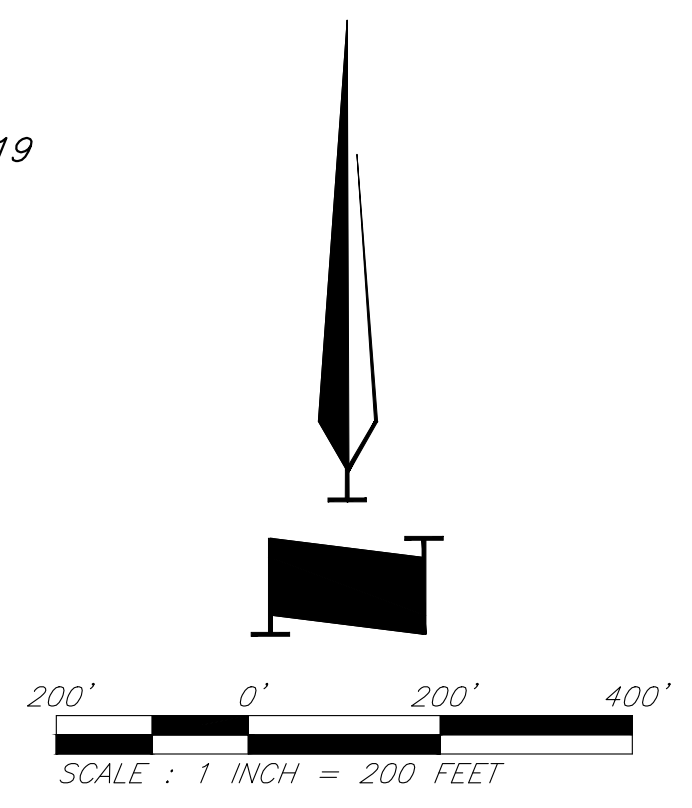
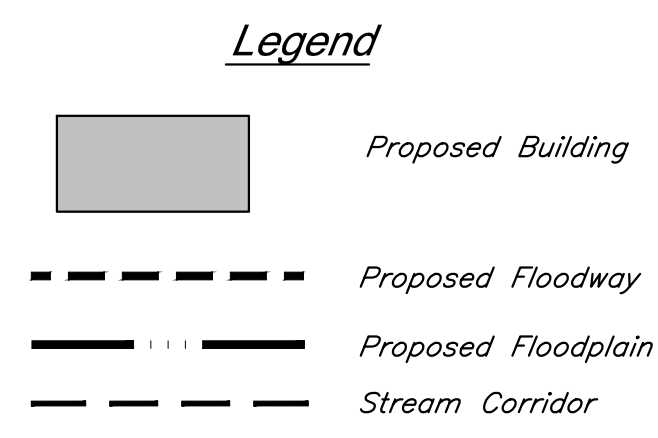
**TRACT 2**

All of Lots 1, 2, 3 and 4, GRAHAM COMMERCIAL CENTER, a subdivision of land in the Southwest 1/4 of the Northwest 1/4 of Section 34, Township 48, Range 32, in Lee's Summit, Jackson County, Missouri.

Note: No oil or gas wells are located on site per Missouri Department of Natural Resources.

**Prepared and Submitted By:**

George Butler Associates, Inc.  
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Contact: Brad Burton P.E.  
Email: bburton@gbteam.com



**PARAGON STAR VILLAGE**

View High Drive & I-470  
Lee's Summit, MO

Project No.: 17042.04  
Date: 04.09.2019  
Issued For: PRELIM. DEV. PACKAGE

**REVISIONS**

No.	Date	Description

**REGISTRATION**

NOT FOR CONSTRUCTION

**PROJECT TEAM**

ARCHITECT	FINKLE+WILLIAMS ARCHITECTURE
CIVIL	GBA
LANDSCAPE	HOERR SCHAUDT / LAND 3

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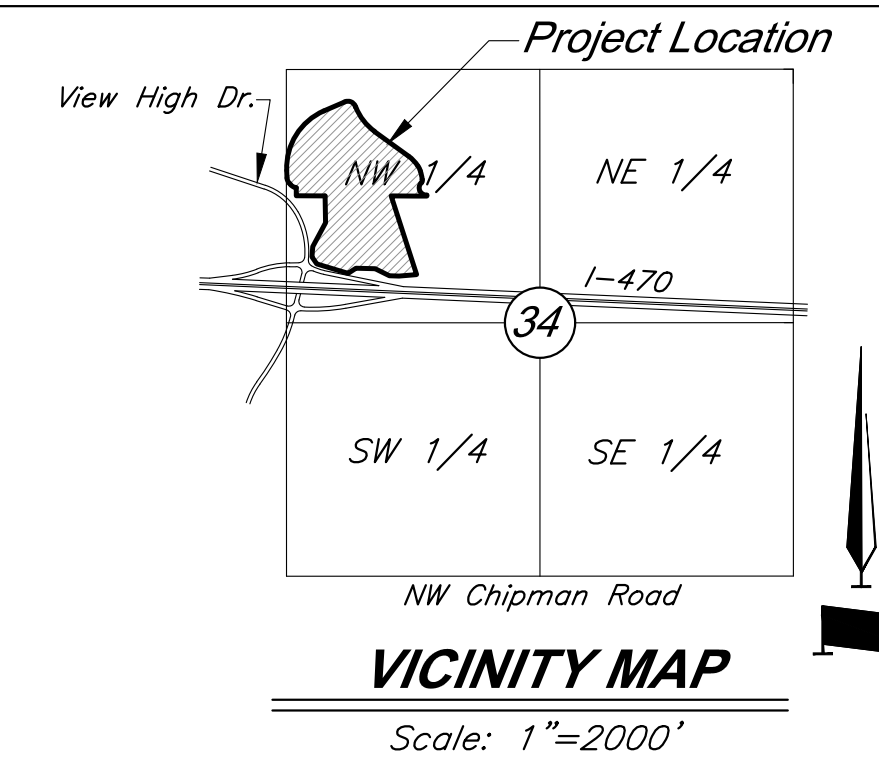
**General Layout**

**SHEET NUMBER**  
C001



Lot	Area	Building Setback to Perimeter Property	Parking Setback
Lot 5	14.22 Ac.	N/A	N/A
Lot 6	0.59 Ac.	N/A	9 Ft.
Lot 7	3.64 Ac.	20 Ft.	0 Ft.
Lot 8	1.16 Ac.	N/A	0 Ft.

*Note:* Building setbacks shown as minimum distance from building to perimeter property. Parking setbacks shown as minimum distance from parking to associated lot line.



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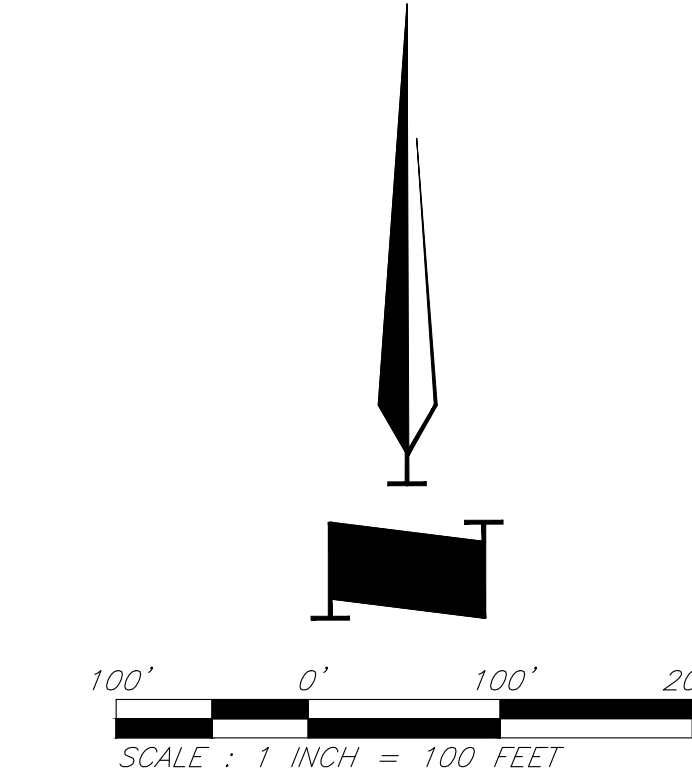
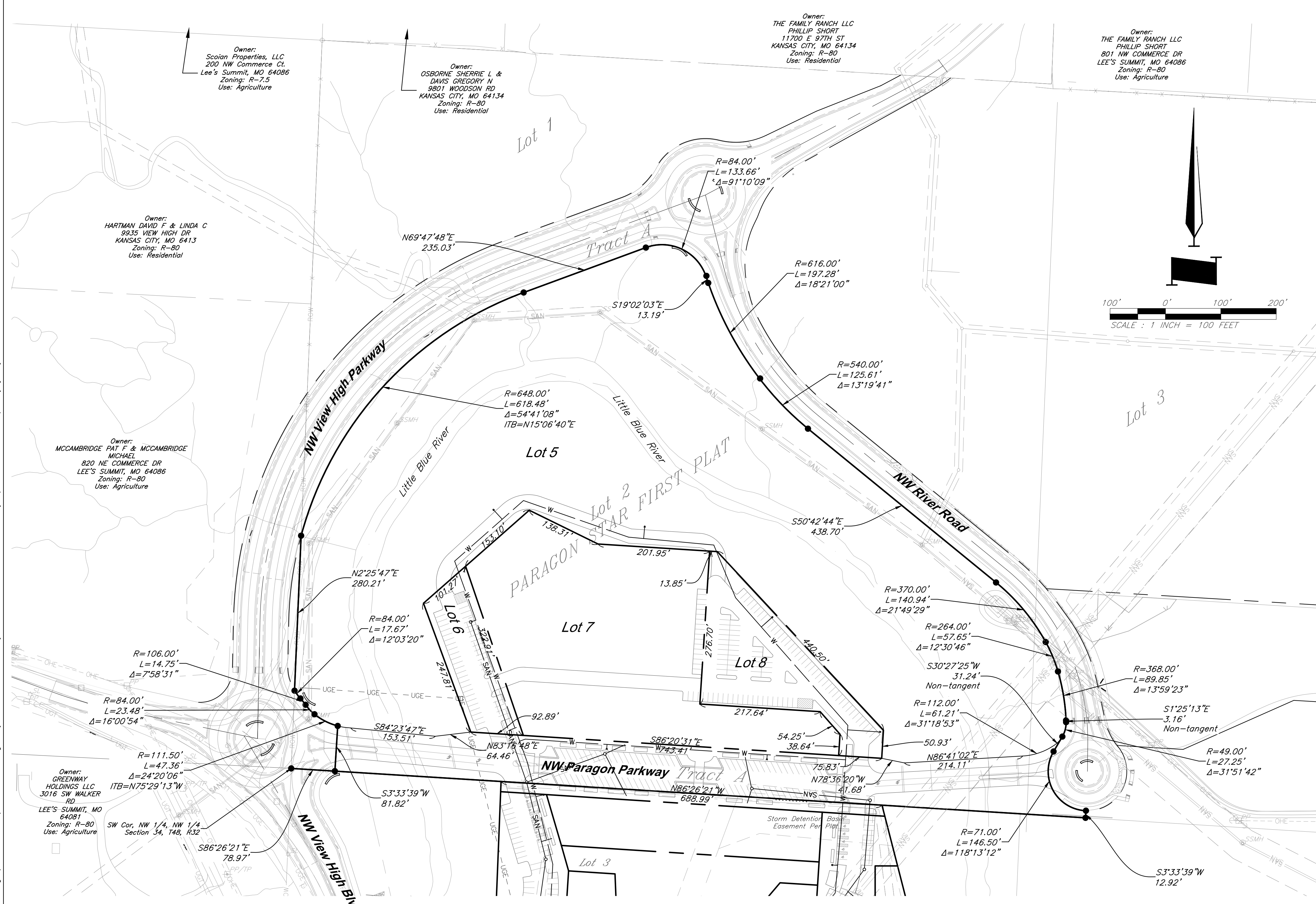
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CIVIL	GBA
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SHEET TITLE  
**Preliminary Re-Plat**

SHEET NUMBER  
**C002**

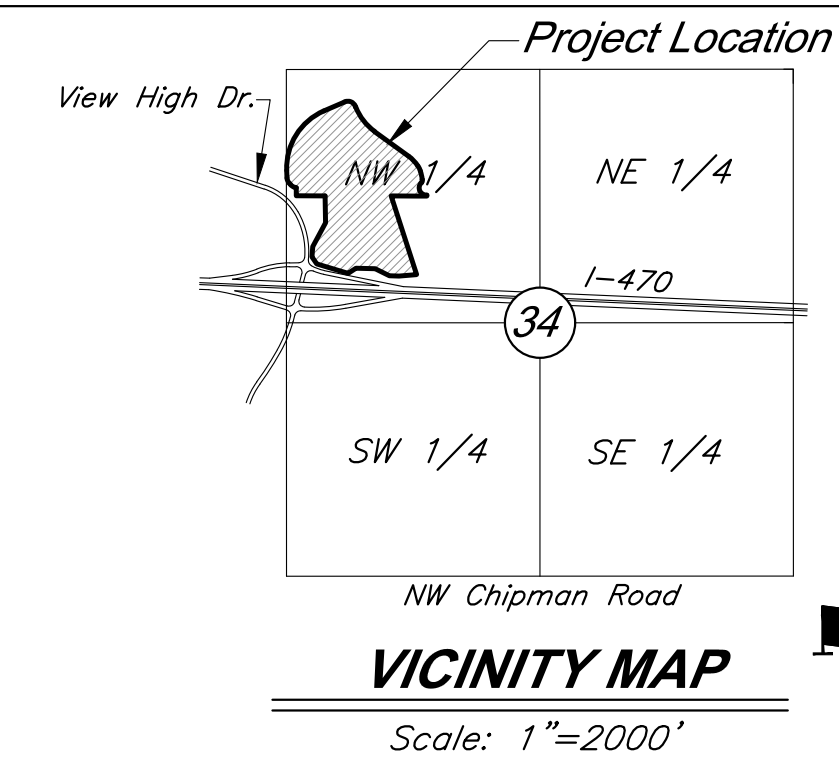


**Preliminary Development Plan Boundary Description:**  
All of Lot 2, PARAGON STAR FIRST PLAT, a subdivision in Section 34, Township 48, Range 32, in Lee's Summit, Jackson County, Missouri.

**Prepared and Submitted By:**

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Lot	Area	Building Setback to Perimeter Property	Parking Setback
Lot 9	1.00 Ac.	20 Ft.	N/A
Lot 10	0.47 Ac.	20 Ft.	N/A
Lot 11	0.30 Ac.	20 Ft.	N/A
Lot 12	0.24 Ac.	20 Ft.	N/A
Lot 13	1.32 Ac.	N/A	N/A
Lot 14	2.82 Ac.	N/A	0 Ft.
Lot 15	0.37 Ac.	10 Ft.	12 Ft.
Lot 16	2.69 Ac.	N/A	0 Ft.
Lot 17	1.94 Ac.	N/A	0 Ft.
Lot 18	2.16 Ac.	20 Ft.	0 Ft.
Lot 19	1.83 Ac.	20 Ft.	0 Ft.
Lot 20	0.22 Ac.	5 Ft.	2 Ft.
Tract C	0.30 Ac.	N/A	N/A



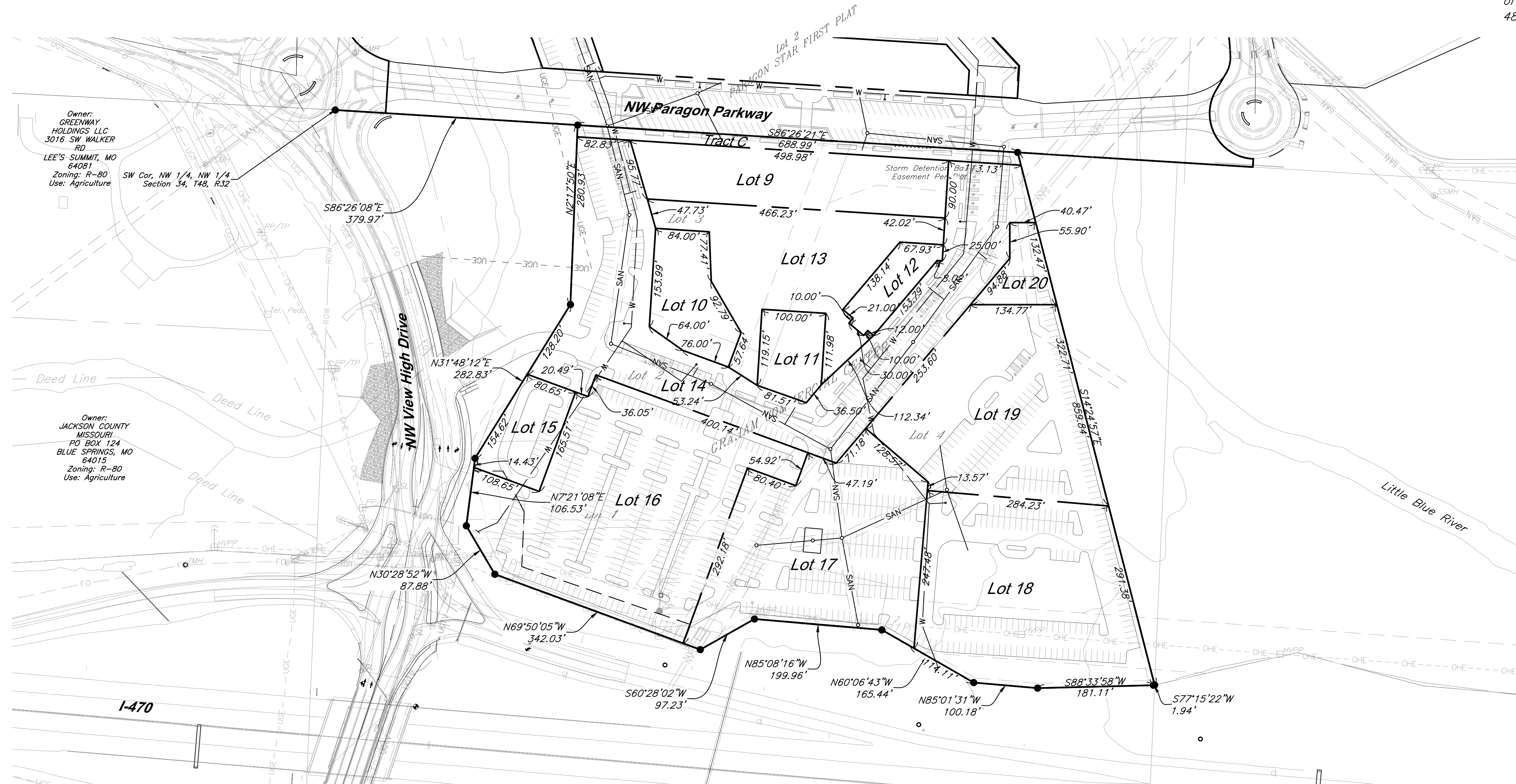
Note: Building setbacks shown as minimum distance from building to perimeter property.  
 Parking setbacks shown as minimum distance from parking to associated lot line.

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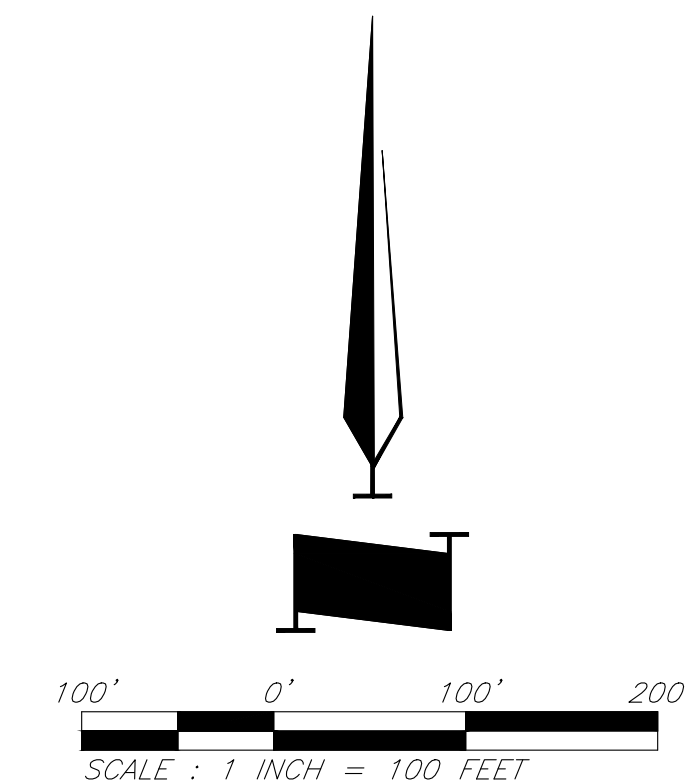
REGISTRATION

NOT FOR CONSTRUCTION

PROJECT TEAM

ARCHITECT	FINKLE+WILLIAMS ARCHITECTURE
CIVIL	GBA
LANDSCAPE	HOERR SCHAUDT / LAND 3

CIVIL ENGINEERING BY:  
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SHEET TITLE  
**Preliminary Re-Plat**

SHEET NUMBER  
**C003**



# PARAGON STAR VILLAGE

View High Drive & I-470  
Lee's Summit, MO

Project No.: 17042.04  
Date: 04.03.2019  
Issued For: PRELIM. DEV. PACKAGE

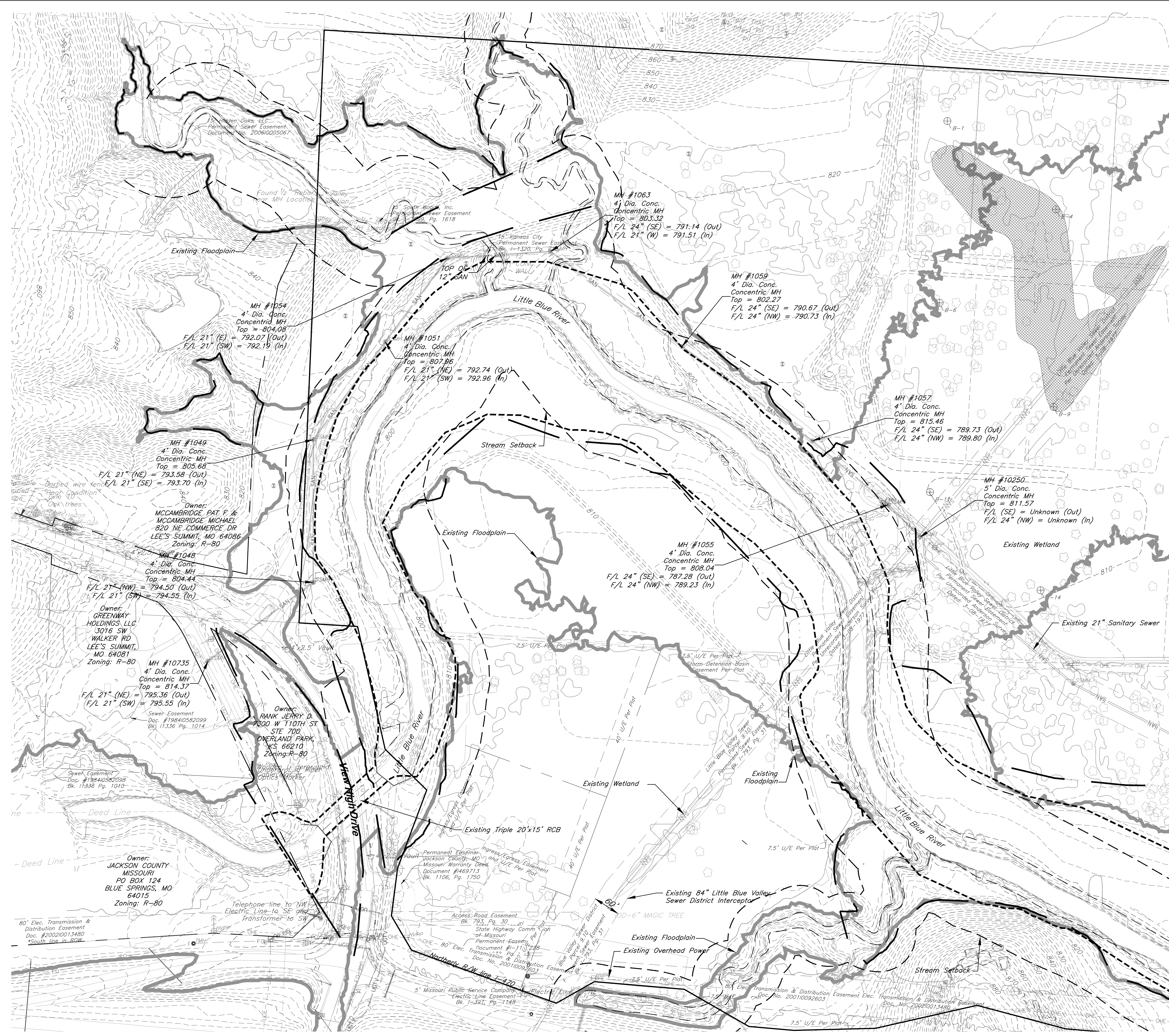
REVISIONS		
No.	Date	Description

REGISTRATION

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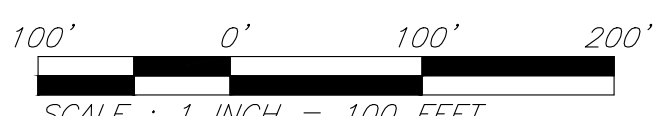
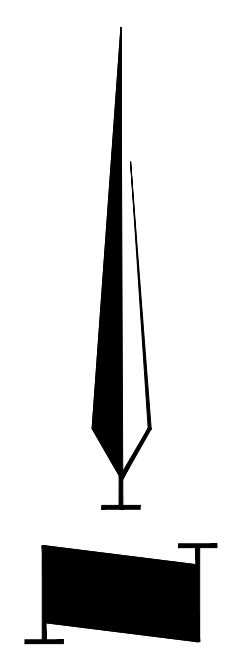
PROJECT TEAM

ARCHITECT	FINKLE+WILLIAMS ARCHITECTURE
CIVIL	GBA
LANDSCAPE	HOERR SCHAUDT / LAND 3



### Legend

- Existing Floodplain  
Map: 29095C0404G
- Proposed Floodway
- Proposed Floodplain



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SHEET TITLE

Existing Conditions

SHEET NUMBER

C004

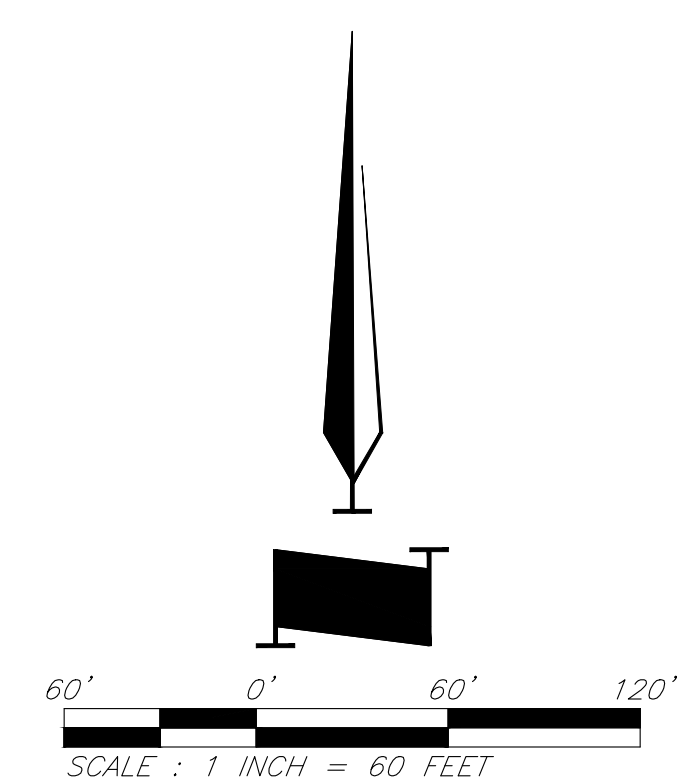




Note: Minimum finish floor of all buildings on lots within the proposed floodplain is 813.00.

**LEGEND**

- Existing Contour
- Proposed Contour
- Proposed Floodway
- Proposed Floodplain
- Stream Corridor
- Drainage Flow Arrow



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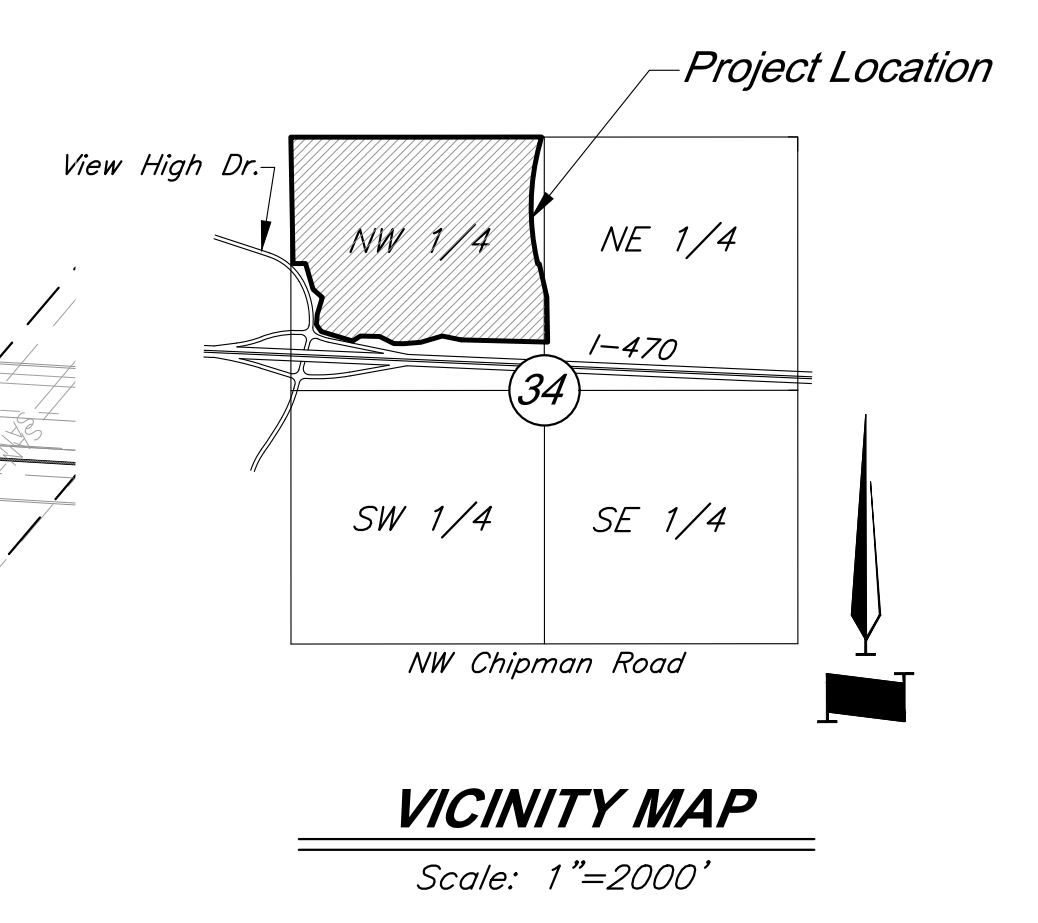
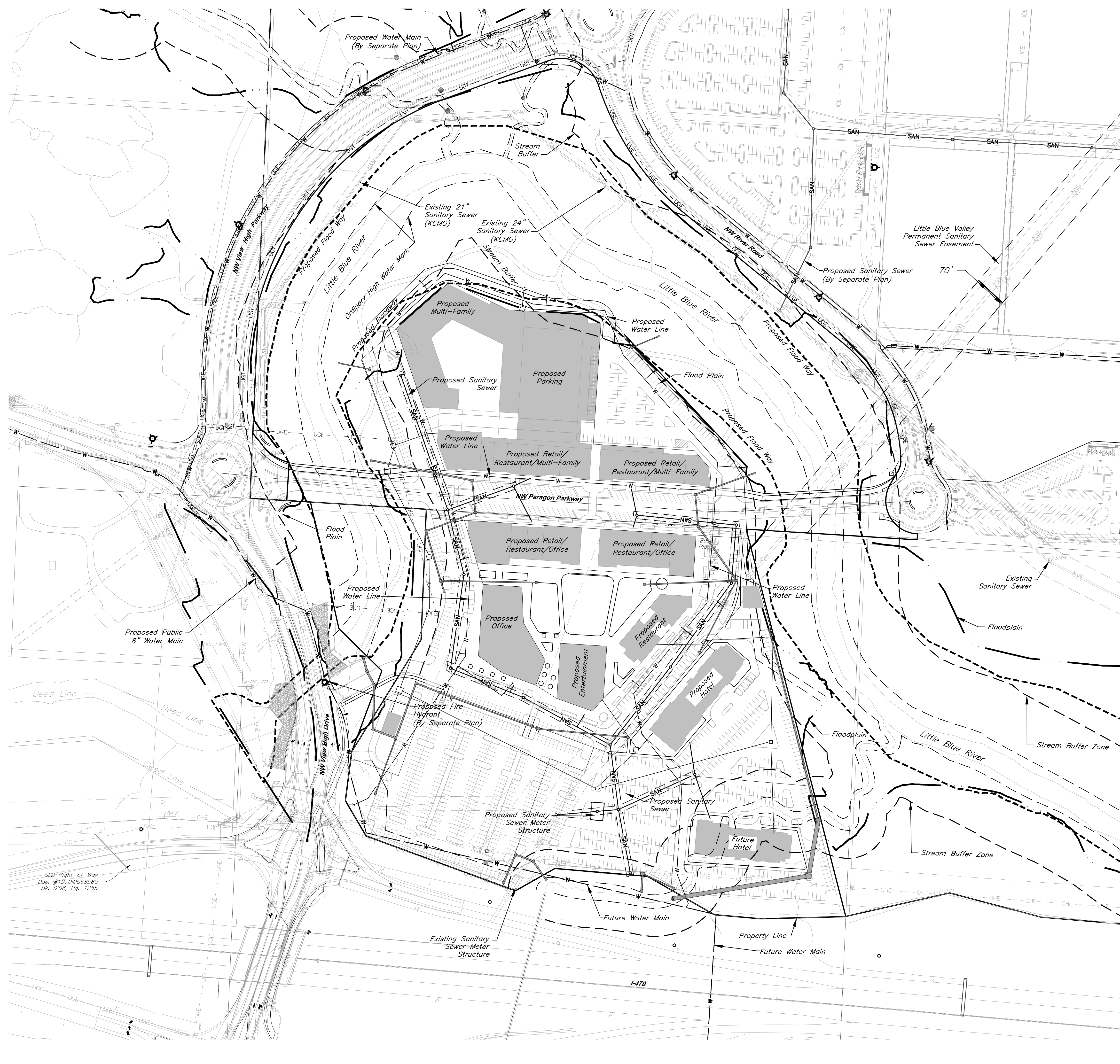
PROJECT TEAM	
ARCHITECT	FINKLE+WILLIAMS ARCHITECTURE
CIVIL	GBA
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SHEET TITLE  
**Grading Plan**

SHEET NUMBER  
**C005**





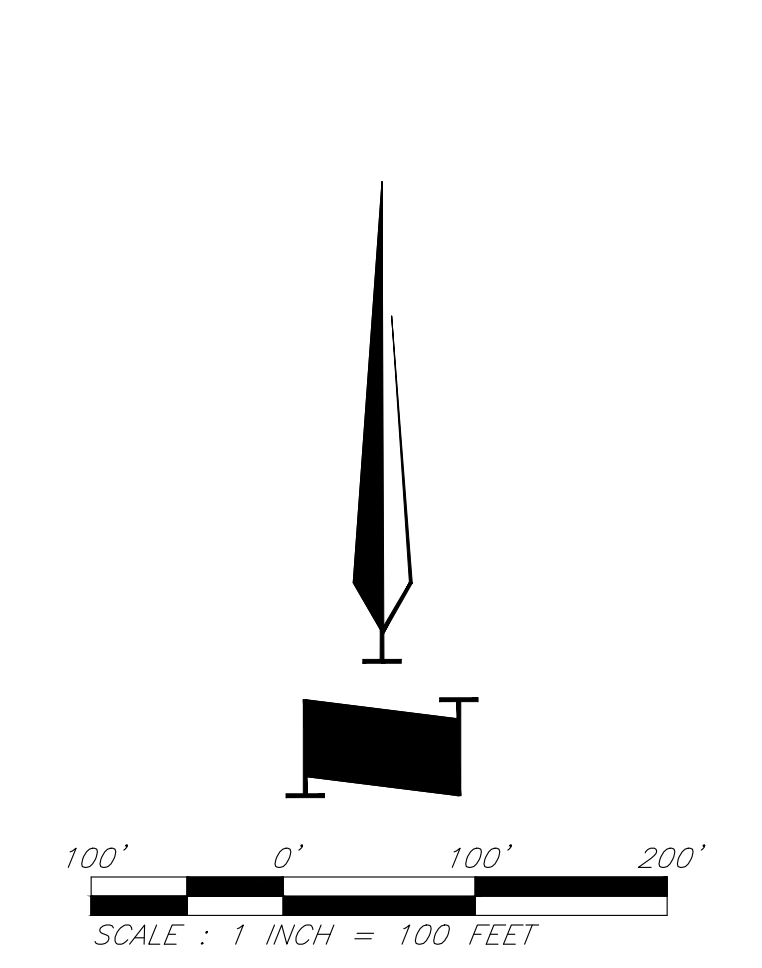
**Legend**

- SAN Proposed Sanitary Sewer
- W Proposed Water Sewer
- ▲ Proposed Fire Hydrant
- Proposed Floodway
- Proposed Floodplain
- Stream Ordinary High Water Mark/  
Stream Buffer Zone Boundary

*Note: All utilities shown are to be constructed as part of Phase 1.*

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OLD Right-of-Way  
Doc. #197010068560  
Bk. 1206, Pg. 1255

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View High Drive & I-470  
Lee's Summit, MO

Project No.: 17042.04  
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PROJECT TEAM	
ARCHITECT	FINKLE+WILLIAMS ARCHITECTURE
CIVIL	GBA
LANDSCAPE	HOERR SCHAUDT / LAND 3

CIVIL ENGINEERING BY:

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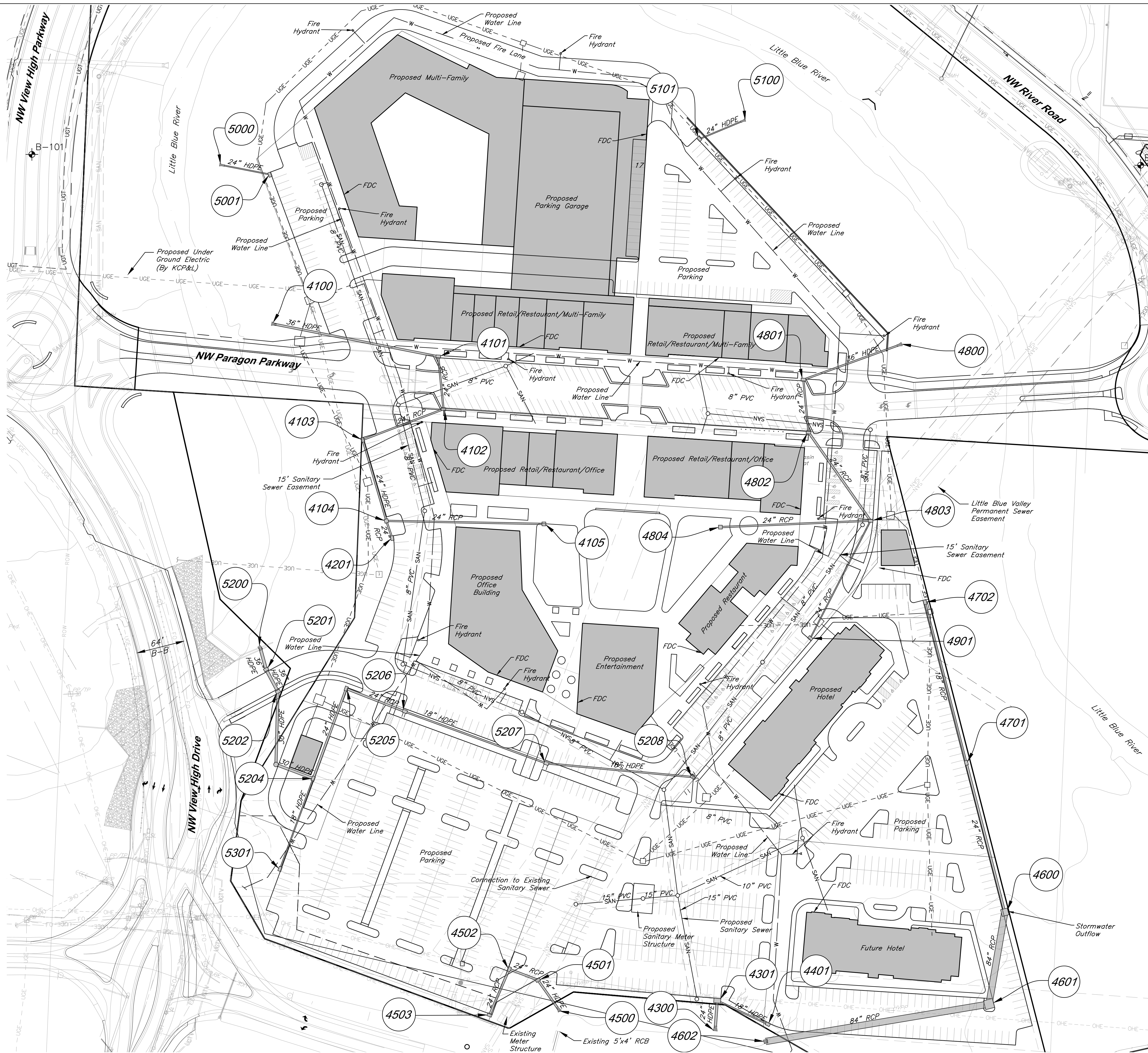
SHEET TITLE

## Utility Overview

SHEET NUMBER

# C006





**Utility Legend**

- Cable TV Pedestal
- Power Pole
- Guy Anchor
- Electrical Manhole
- Electrical Transformer
- Gas Meter
- Curb Inlet
- Sanitary Sewer Manhole
- Sanitary Cleanout
- Light Pole
- Boring Hole
- Sign
- Telephone Pedestal
- Traffic Signal Post
- Traffic Manhole
- Fire Hydrant
- Water Meter
- Fiber Optic Line
- Fire Protection Line
- Gas Line
- Over Head Electric
- Over Head Telephone
- Over Head Cable TV
- Property Line
- Right-of-Way Line
- Existing Sanitary Sewer Line
- Underground Electric
- Underground Telephone
- Underground Cable TV
- Water Line
- Proposed Storm Sewer
- Future Storm Sewer
- Proposed Sanitary Sewer Line

*Note: Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.*

**PARAGON STAR VILLAGE**

View High Drive & I-470  
Lee's Summit, MO

Project No.: 17042.04  
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PROJECT TEAM

ARCHITECT	FINKLE+WILLIAMS ARCHITECTURE
CIVIL	GBA
LANDSCAPE	HOERR SCHAUDT / LAND 3

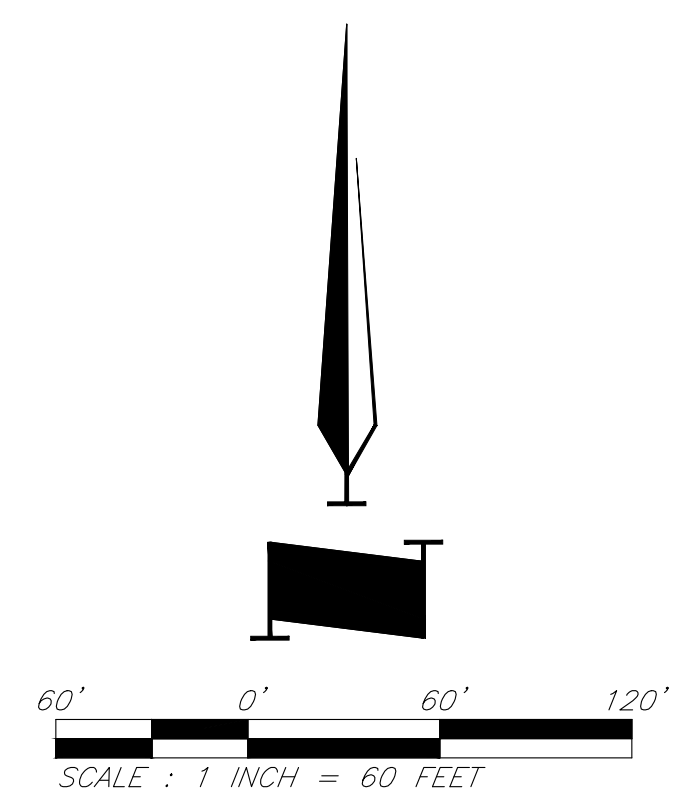
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SHEET TITLE

Utility Plan

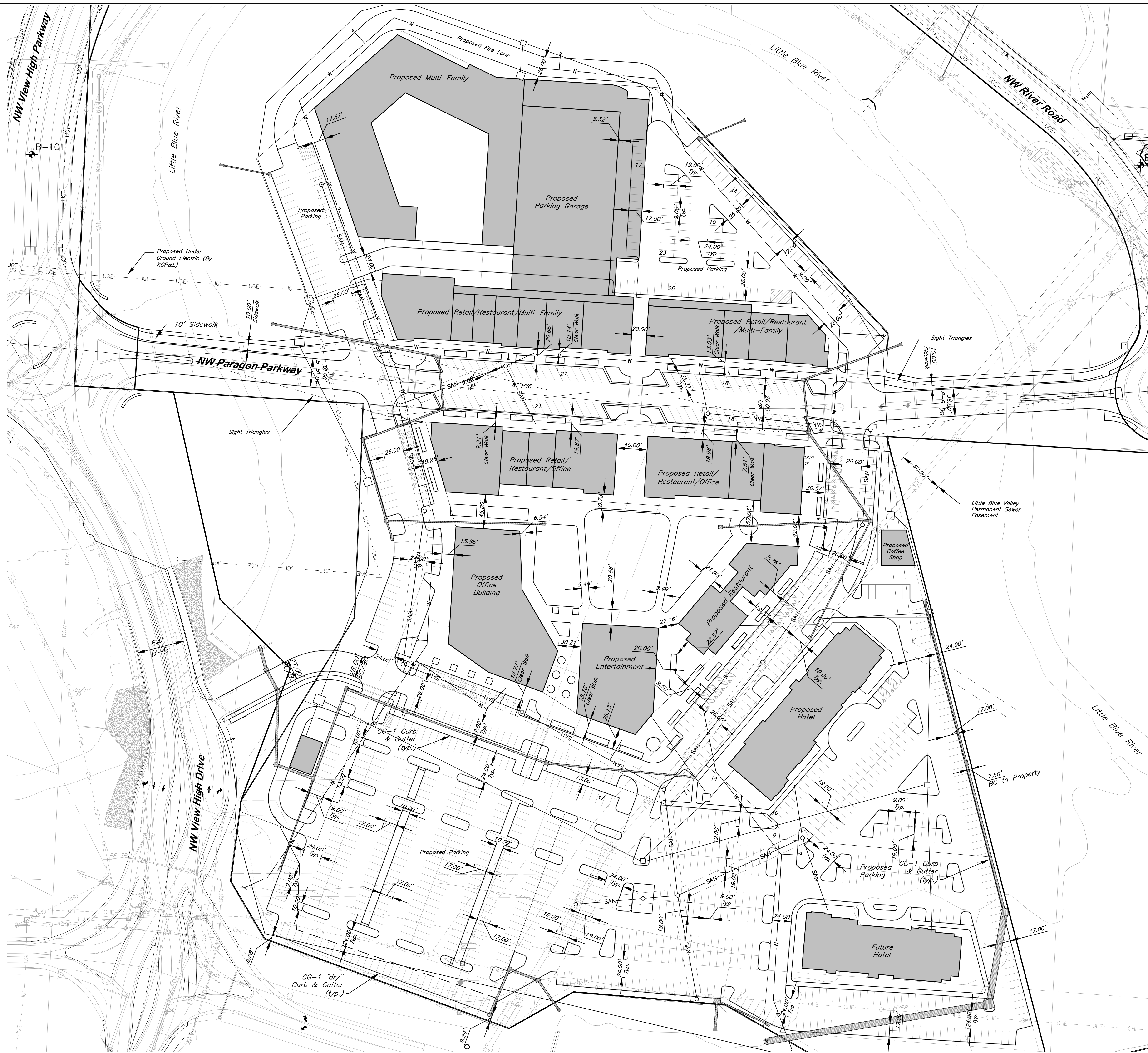
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**C007**



NOT FOR CONSTRUCTION





# PARAGON STAR VILLAGE

View High Drive & I-470  
Lee's Summit, MO

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Date: 04.09.2019  
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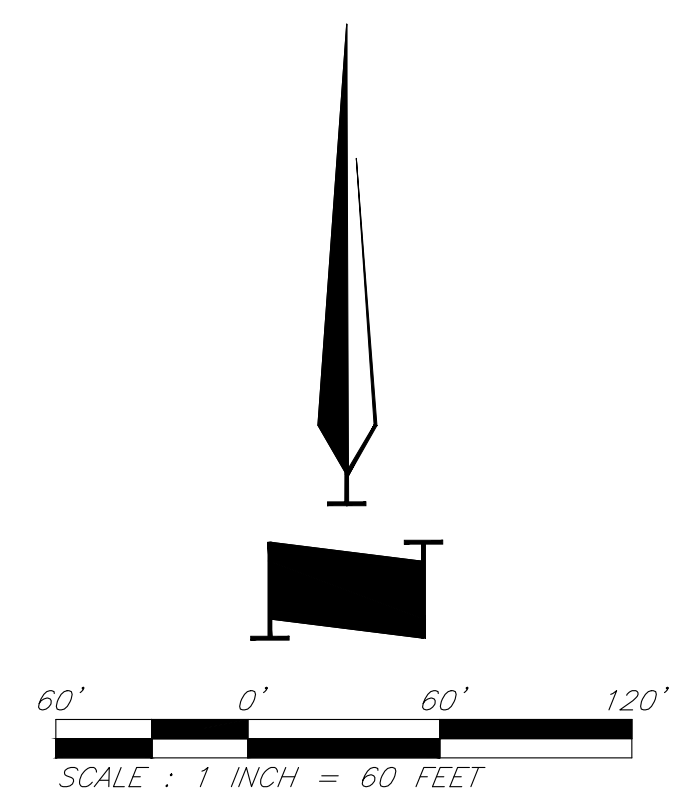
NOT FOR CONSTRUCTION

PROJECT TEAM	
ARCHITECT	FINKLE+WILLIAMS ARCHITECTURE
CIVIL	GBA
LANDSCAPE	HOERR SCHAUDT / LAND 3

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SHEET TITLE  
**Dimension Plan**

SHEET NUMBER  
**C008**





PARAGON STAR VILLAGE

View High Drive & I-470  
Lee's Summit, MO

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Date: 04.04.2019  
Issued For: PRELIM. DEV. PACKAGE

REVISIONS

No.	Date	Description

REGISTRATION

NOT FOR CONSTRUCTION

PROJECT TEAM

ARCHITECT	FINKLE+WILLIAMS ARCHITECTURE
CIVIL	GBA
LANDSCAPE	HOERR SCHAUDT / LAND 3

HOERR SCHAUDT

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

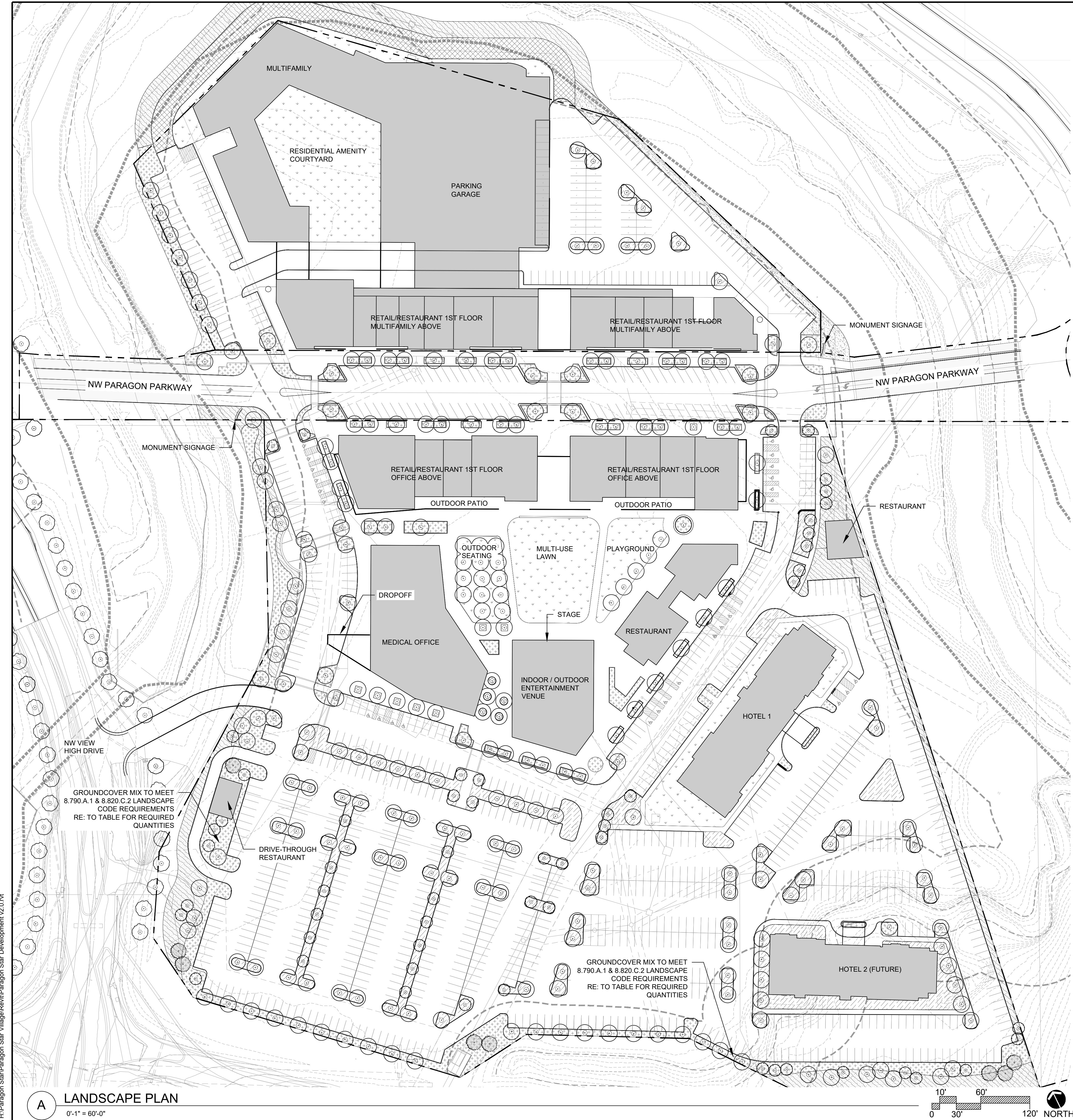
L-500

CONCEPT PLANT SCHEDULE

- DECIDUOUS TREE  
MIN. 3" CALIPER  
SPECIES BELOW:  
ACER FREEMANII 'AUTUMN BLAZE' / AUTUMN BLAZE MAPLE  
CELTIS OCCIDENTALIS / COMMON HACKBERRY  
GLEDTISIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST  
QUERCUS BICOLOR / SWAMP WHITE OAK
- ORNAMENTAL TREES  
MIN. 3" CALIPER  
SPECIES BELOW:  
AMELANCHIER X GRANDIFLORA / APPLE SERVICEBERRY  
CERCIS CANADENSIS / EASTERN REDBUD  
MAGNOLIA X 'JANE' / MAGNOLIA  
MALUS X 'ROYAL RAINDROPS' / ROYAL RAINDROPS CRABAPPLE
- EVERGREEN TREES  
MIN. 8 FT. IN HEIGHT  
SPECIES BELOW:  
JUNIPERUS CONFERTA 'GOLDEN PACIFIC' / GOLDEN PACIFIC JUNIPER  
PICEA ABIES / NORWAY SPRUCE  
PINUS STROBUS / WHITE PINE
- GROUND COVER MIX  
"VARYING CONTAINER SIZE; PLUGS TO 5 GALLONS  
MIX OF SHRUBS, GRASSES, & PERENNIALS  
SPECIES BELOW:  
BOUTELLOUA CURTIPENDULA / SIDE OATS GRAMA  
COREOPSIS VERTICILLATA 'MOONBEAM' / THREADLEAF COREOPSIS  
ECHINACEA PURPUREA / PURPLE CONEFLOWER  
EUPATORIUM DUBIUM 'LITTLE JOE' / JOE-PYE WEED  
HYDRANGEA PANICULATA / PANICLED HYDRANGEA  
PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE  
RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC  
SPORBOLUS HETEROLEPIS / PRAIRIE DROPSEED
- PARKING ISLAND MIX  
"VARYING CONTAINER SIZE; PLUGS TO 5 GALLONS  
MIX OF SHRUBS, GRASSES, & PERENNIALS  
SPECIES BELOW:  
BOUTELLOUA CURTIPENDULA / SIDE OATS GRAMA  
PANICUM VIRGATUM 'SHENANDOAH' / SWITCH GRASS  
RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC  
SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM GRASS  
SOLIDAGO RUGOSA 'FIREWORKS' / WRINKLELEAF GOLDENROD
- TURF SOD/SEED
- PRAIRIE MIX SEED MIX
- VEGETATED POROUS PAVEMENT

LANDSCAPE CODE REQUIREMENTS

Code	Ordinance Requirement	Required for this Site	Proposed
8.790.A.1. Street Frontage Trees - Paragon Parkway	1 tree per 30 feet of street frontage / per side	535 ft. of street frontage + 30 = 36 trees required	38 trees
8.790.A.1. Street Frontage Trees - NW View High Parkway	1 tree per 30 feet of street frontage / per side	1,925 ft. of street frontage + 30 = 128 trees required	138 trees
8.790.A.1. Street Frontage Trees - I-470	1 tree per 30 feet of street frontage / per side	1,055 ft. of street frontage + 30 = 35 trees required	41 trees
8.790.A.3. Street Frontage Shrubs - I-470	1 shrub per 20 feet of street frontage	1,055 ft. of street frontage + 20 = 53 shrubs required	Required shrubs to be additionally incorporated into parking lot screening requirements
8.790.A.3. Street Frontage Shrubs - Paragon Parkway	1 shrub per 20 feet of street frontage	535 ft. of street frontage + 20 = 54 shrubs required	54 shrubs *provided within planting beds
8.790.A.3. Street Frontage Shrubs - NW View High Parkway	1 shrub per 20 feet of street frontage	1,925 ft. of street frontage + 20 = 193 shrubs required	193 shrubs *provided within planting beds
8.790.A.2. Street Frontage Green Strip	20 feet	20 feet	20 ft. requirement to be met except where a Modification has been requested.
8.790.B.1. Open Yard Shrubs	2 shrubs per 5000 sq. ft. of total lot area excluding building footprint	1,652,371 sq. ft. of total lot area minus 597,900 sq. ft. of building footprint = 1,054,471 - 5000 x 2 = 422 shrubs required	422 shrubs
8.790.B.3. Open Yard Trees	1 tree per 5000 sq. ft. of total lot area excluding building footprint (in addition to street trees)	1,652,371 sq. ft. of total lot area minus 597,900 sq. ft. of building footprint = 1,054,471 - 5000 = 211 trees required	211 trees
8.810.A. Parking Lot Landscape Islands	5% of entire parking area (spaces, aisles & drives); 1 island at end of every parking bay, min. 10' wide	419,766 sq. ft. of parking area (.05 = 20,468 of landscape parking lot islands required	37,500 sq. ft.
8.820.C.2. Parking Lot Screening, if required - NW View High Parkway	12 shrubs per 40 linear feet (must be 2.5 feet tall; berms may be combined with shrubs)	910 linear feet + 40 x 12 = 273 shrubs required	273 shrubs
8.820.C.2. Parking Lot Screening, if required - I-470	12 shrubs per 40 linear feet (must be 2.5 feet tall; berms may be combined with shrubs)	1,055 linear feet + 40 x 12 = 317 shrubs required	317 shrubs
8.900 High Impact Buffer Screen, if required	Fence + Landscaping: Option A = 1 shade tree per 500 sq. ft. of buffer screen area + 1 ornamental tree/750 sq. ft. + 1 evergreen tree/500 sq. ft. + 1 shrub/500 sq. ft. (See UDO for other options)	Minimum 6' high opaque vinyl or masonry fence Buffer area = linear feet x 20 ft. width = sq. ft. x formula at left = shade trees ornamental trees evergreen trees shrubs	Reference Sheet L-502



A LANDSCAPE PLAN  
0'-1" = 60'-0"

H:\Paragon Star Village\Revit\Paragon Star Development v2.0.rvt



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### CONCEPT PLANT SCHEDULE NW VIEW HIGH PARKWAY

- STREET TREES  
\* MIN 3" CALIPER TREES  
SPECIES BELOW:  
GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST  
GYMNOCLADUS DIOICA / KENTUCKY COFFEE TREE  
QUERCUS BICOLOR / SWAMP WHITE OAK  
QUERCUS RUBRA / RED OAK
- TURF  
SOD
- PARKWAY MIX  
\* PLUGS @ 12" O.C.  
SPECIES BELOW:  
BAPTISIA AUSTRALIS / BLUE WILD INDIGO  
CEANOTHUS AMERICANUS / NEW JERSEY TEA  
HAMAMELIS VERNALIS 'AMETHYST' / AMETHYST VERNAL WITCHHAZEL  
LIATRIS SCARIOSA NOVAE-ANGLIAE / NEW ENGLAND BLAZING ASTER  
MONARDA BRADBURIANA / EASTERN BEE BALM  
PANICUM VIRGATUM / SWITCH GRASS  
RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC  
SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM GRASS  
SORGHASTRUM NUTANS / INDIAN GRASS

### LANDSCAPE CODE REQUIREMENTS

## PARAGON STAR VILLAGE

View High Drive & I-470  
Lee's Summit, MO

Project No.: 17042.04  
Date: 04.04.2019  
Issued For: PRELIM. DEV. PACKAGE

REVISIONS		
No.	Date	Description

REGISTRATION  
**NOT FOR CONSTRUCTION**

PROJECT TEAM	
ARCHITECT	FINKLE+WILLIAMS ARCHITECTURE
CIVIL	GBA
LANDSCAPE	HOERR SCHAUDT / LAND 3

HOERR SCHAUDT

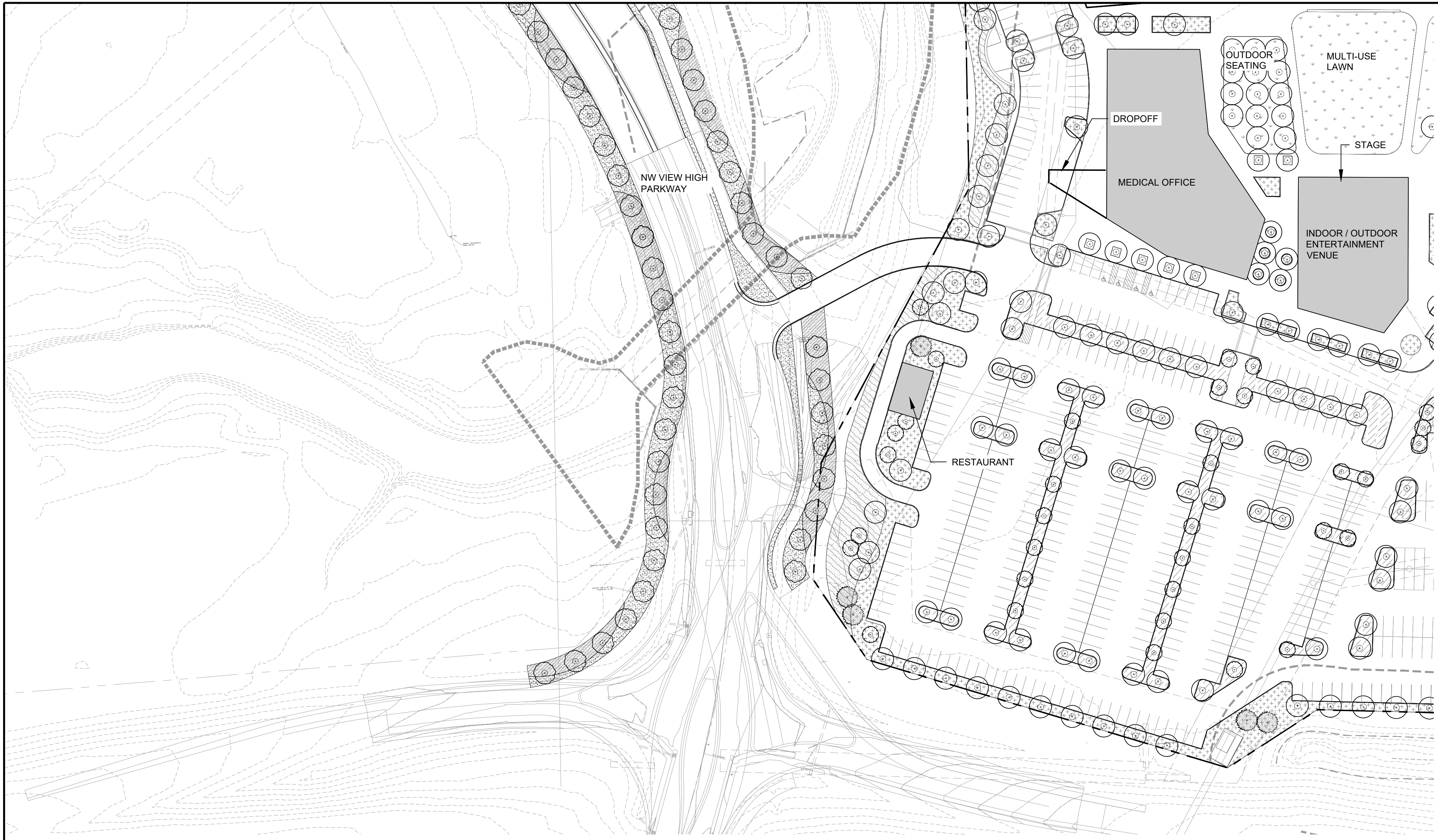
### LANDSCAPE PLANS

SHEET NUMBER  
**L-501**



**A** LANDSCAPE PLAN  
0'-1" = 60'-0"



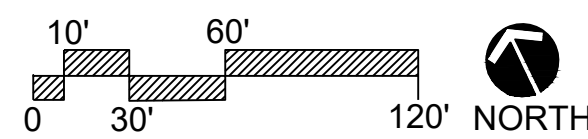


CONCEPT PLANT SCHEDULE NW VIEW HIGH PARKWAY

- STREET TREES  
\* MIN 3" CALIPER TREES  
SPECIES BELOW:  
GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST  
GYMNOCLADUS DIOICA / KENTUCKY COFFEE TREE  
QUERCUS BICOLOR / SWAMP WHITE OAK  
QUERCUS RUBRA / RED OAK
- TURF  
SOD
- PARKWAY MIX  
\* PLUGS @ 12" O.C.  
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SORGHASTRUM NUTANS / INDIAN GRASS

LANDSCAPE CODE REQUIREMENTS

A LANDSCAPE PLAN  
0'-1" = 60'-0"



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CIVIL	GBA
LANDSCAPE	HOERR SCHAUDT / LAND 3

HOERR SCHAUDT

SHEET TITLE

LANDSCAPE PLANS

SHEET NUMBER

**L-502**

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IMAGE #1 LOOKING NORTH



IMAGE #1 LOOKING NORTH (SUMMER)



IMAGE #2 LOOKING NORTH



IMAGE #2 LOOKING NORTH



IMAGE #3 LOOKING EAST



IMAGE #4 LOOKING EAST



IMAGE #5 LOOKING SOUTHEAST



IMAGE #6 LOOKING SOUTHEAST



IMAGE #7 LOOKING SOUTHEAST

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CIVIL	GBA
LANDSCAPE	HOERR SCHAUDT / LAND 3

HOERR SCHAUDT

SHEET TITLE

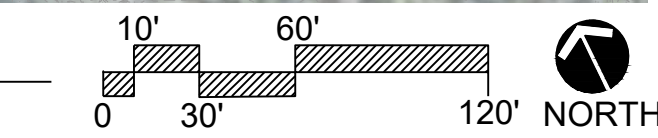
## SCREENING EXHIBIT

SHEET NUMBER

# L-503

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**A** SCREENING EXHIBIT  
0'-1" = 100'-0"





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CIVIL	GBA
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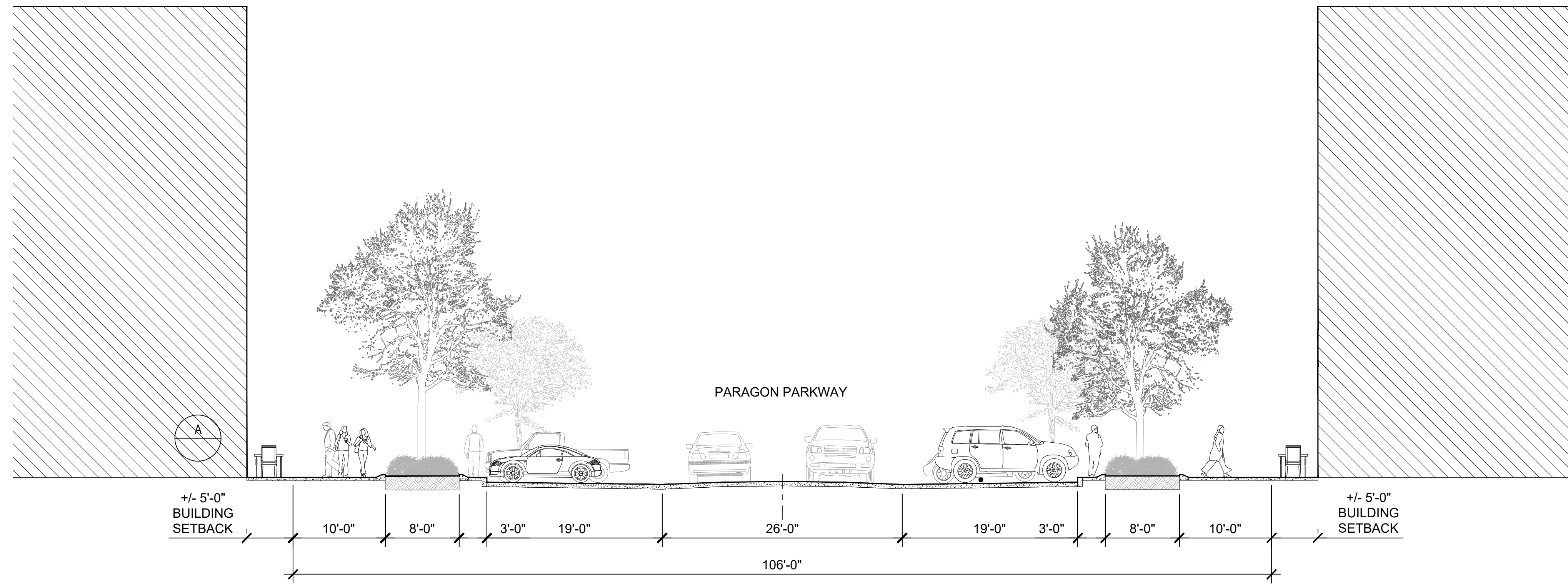
HOERR SCHAUDT

SHEET TITLE

**SITE SECTIONS**

SHEET NUMBER

**L-600**

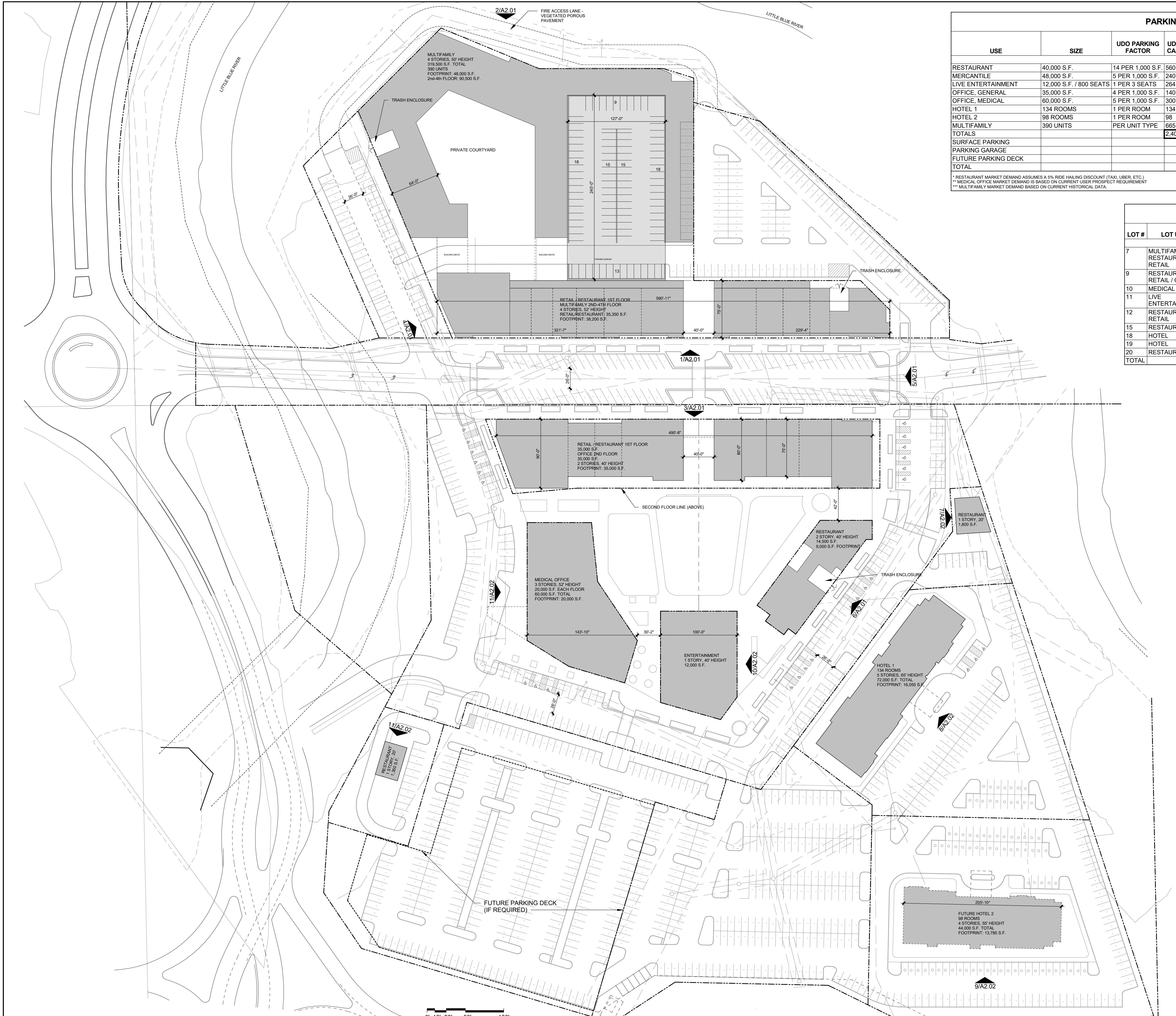


**A** Paragon Parkway  
1/8" = 1'-0"

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PARKING MATRIX							
USE	SIZE	UDO PARKING FACTOR	UDO PARKING CALCULATION	MARKET DEMAND	SHARED PARKING / MARKET DEMAND	PROVIDED PARKING	
					DAYTIME DEMAND	EVENING/WEEKEND DEMAND	
RESTAURANT	40,000 S.F.	14 PER 1,000 S.F.	560	532*	70% - 392	100% - 532	
MERCANTILE	48,000 S.F.	5 PER 1,000 S.F.	240	240	100% - 240	100% - 240	
LIVE ENTERTAINMENT	12,000 S.F. / 800 SEATS	1 PER 3 SEATS	264	264	0% - 0	100% - 264	
OFFICE, GENERAL	35,000 S.F.	4 PER 1,000 S.F.	140	140	100% - 140	10% - 14	
OFFICE, MEDICAL	60,000 S.F.	5 PER 1,000 S.F.	300	275**	100% - 275	15% - 41	
HOTEL 1	134 ROOMS	1 PER ROOM	134	134	50% - 67	100% - 134	
HOTEL 2	98 ROOMS	1 PER ROOM	98	98	50% - 49	100% - 98	
MULTIFAMILY	390 UNITS	PER UNIT TYPE	665	519***	100% - 519	100% - 519	
TOTALS			2,401		1,682	1,842	
SURFACE PARKING							1,143
PARKING GARAGE							520
FUTURE PARKING DECK							180
TOTAL							1,843

\* RESTAURANT MARKET DEMAND ASSUMES A 5% RIDG HAULING DISCOUNT (TAXI, USER, ETC.)  
 \*\* MEDICAL OFFICE MARKET DEMAND IS BASED ON CURRENT USER PROSPECT REQUIREMENT  
 \*\*\* MULTIFAMILY MARKET DEMAND BASED ON CURRENT HISTORICAL DATA

FLOOR AREA RATIO							
LOT #	LOT USE	LOT SQ. FT.	LOT AC.	FLOOR AREA	F.A.R.	BUILDING SETBACK	BUILDING HEIGHT
7	MULTIFAMILY / RESTAURANT / RETAIL	158,558 S.F.	3.64	354,850 S.F.	2.24	0'	52' (4 STORY)
9	RESTAURANT / RETAIL / OFFICE	43,560 S.F.	1.00	70,000 S.F.	1.61	0'	40' (2 STORY)
10	MEDICAL OFFICE	20,473 S.F.	.47	60,000 S.F.	2.93	0'	52' (3 STORY)
11	LIVE ENTERTAINMENT	13,068 S.F.	.30	12,000 S.F.	.92	0'	40' (1 STORY)
12	RESTAURANT / RETAIL	10,454 S.F.	.24	14,500 S.F.	1.39	0'	40' (2 STORY)
15	RESTAURANT	16,117 S.F.	.37	1,350 S.F.	.08	0'	20' (1 STORY)
18	HOTEL	94,090 S.F.	2.16	44,000 S.F.	.47	0'	55' (4 STORY)
19	HOTEL	79,715 S.F.	1.83	72,000 S.F.	.90	0'	65' (5 STORY)
20	RESTAURANT	9,583 S.F.	.22	1,800 S.F.	.19	0'	20' (1 STORY)
TOTAL				630,500 S.F.			

MULTIFAMILY UNIT MIX + UDO PARKING REQ'D			
UNIT TYPE	# OF UNITS	PARKING PER UNIT	TOTAL STALLS PER UDO
STUDIO	110	1	110
STUDIO FLEX	120	1	120
1 BEDROOM	75	1.5	112.5
2 BEDROOM	85	1.5	127.5
GUESTS	390 TOTAL	.5	195
TOTAL			665

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 CIVIL: GBA  
 LANDSCAPE: HOERR SCHAUDT / LAND 3



7007 College Blvd, Suite 415  
 Overland Park, Kansas 66211  
 913+498-1550

SHEET TITLE  
**ARCHITECTURAL SITE PLAN**

SHEET NUMBER  
**A1.01**





PARAGON STAR VILLAGE SHARED PARKING MODEL									
Building	Use	Area/Unit	UDO	Market	Utilization		Market Demand		
					Daytime	Weekend/Evening	Daytime	Weekend/Evening	
Building A	Multi-Family	390	665	519	100%	100%	519	519	
Building A (1st Floor)	Retail	30,350	152	152	100%	100%	152	152	
Building A (1st Floor)	Restaurant	5,000	70	67	70%	100%	47	67	
		35,350					SUBTOTAL	198	737
Building B (1st Floor)	Retail	17,650	88	88	100%	100%	88	88	
Building B (1st Floor)	Restaurant	17,350	243	231	70%	100%	162	231	
Building B (2nd Floor)	General Office	35,000	140	140	100%	10%	140	14	
		70,000					390	333	
Building C	Medical Office	60,000	300	275	100%	15%	275	41	
Building D	Live Entertainment	800	264	264	0%	100%	0	264	
Building E	Restaurant	14,500	203	193	70%	100%	135	193	
Building F	Restaurant	1,800	25	24	70%	100%	17	24	
Building G	Hotel	134	134	134	50%	100%	67	134	
Building H	Hotel	98	98	98	50%	100%	49	98	
Building I	Restaurant	1,350	19	18	70%	100%	13	18	

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CIVIL: GBA  
LANDSCAPE: HOERR SCHAUDT / LAND 3



SHEET TITLE  
**PARKING DIAGRAM**

SHEET NUMBER  
**A1.02**

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CIVIL	GBA
LANDSCAPE	HOERR SCHAUDT / LAND 3

SCALE: 1"=20"



FINKLE + WILLIAMS ARCHITECTURE  
7007 College Blvd, Suite 415  
Overland Park, Kansas 66211  
913+498-1550

SHEET TITLE  
**BUILDING ELEVATIONS**

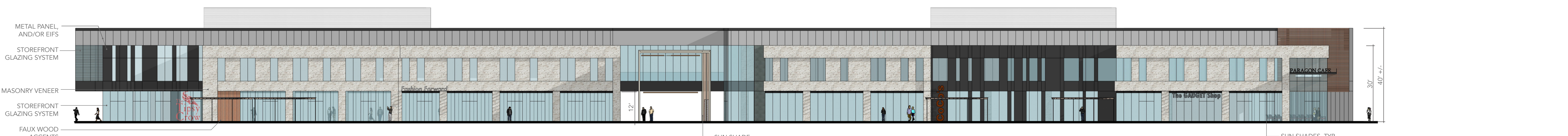
SHEET NUMBER  
**A2.01**



**1. SOUTH ELEVATION @ PARAGON PARKWAY RESIDENTIAL / RETAIL**



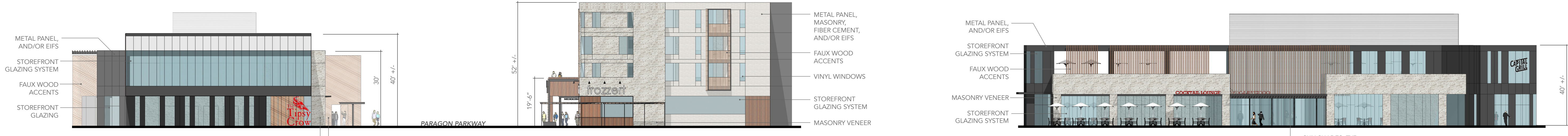
**2. NORTH ELEVATION RESIDENTIAL**



**3. NORTH ELEVATION @ PARAGON PARKWAY RETAIL / OFFICE**



**4. WEST GATEWAY**



**5. EAST GATEWAY**



**6. EAST ELEVATION RETAIL / RESTAURANT**

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CIVIL	GBA
LANDSCAPE	HOERR SCHAUDT / LAND 3

SCALE: 1"=20"



**FINKLE + WILLIAMS**  
ARCHITECTURE

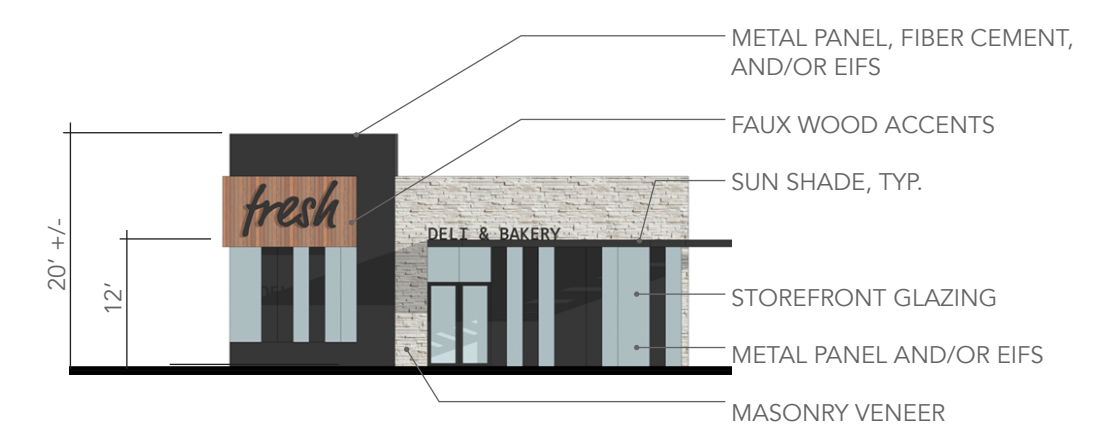
7007 College Blvd, Suite 415  
Overland Park, Kansas 66211  
913+498-1550

SHEET TITLE

**BUILDING ELEVATIONS**

SHEET NUMBER

**A2.02**



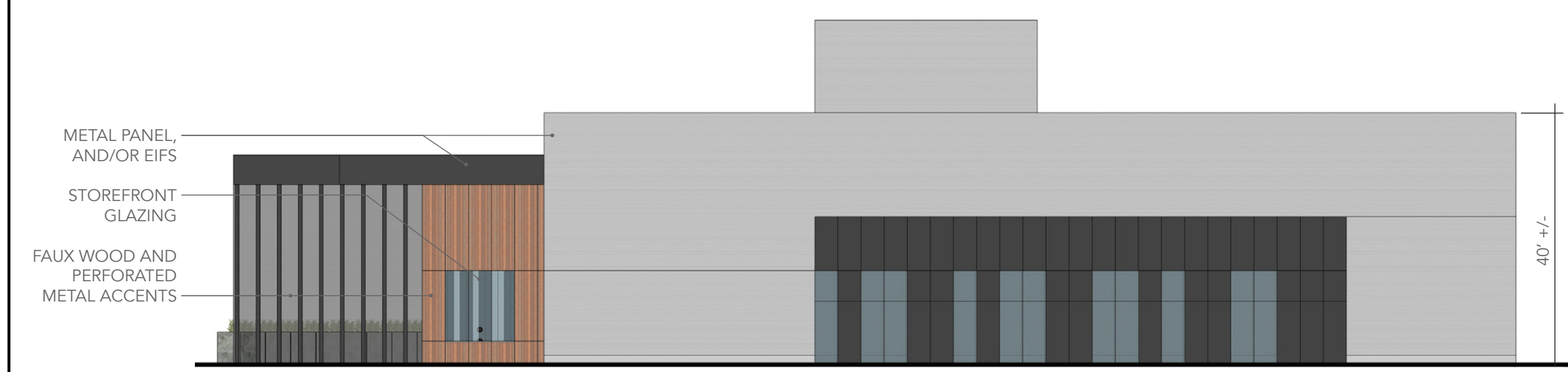
**7. WEST ELEVATION RESTAURANT**



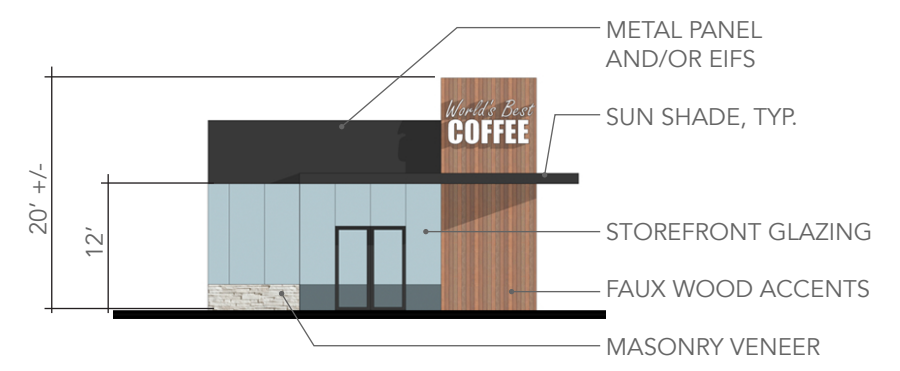
**8. FRONT ELEVATION HOTEL 1**



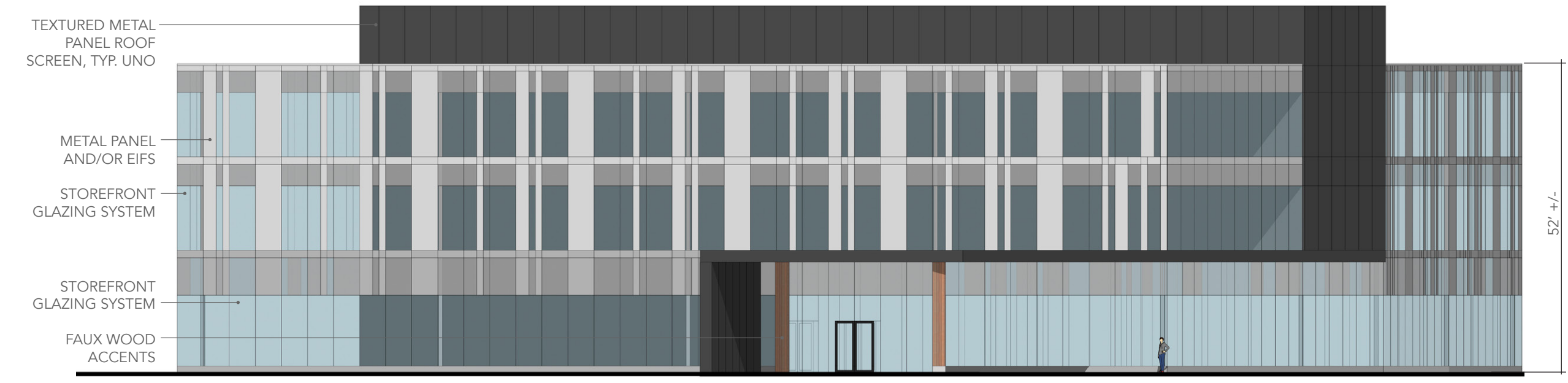
**9. FRONT ELEVATION HOTEL 2**



**10. EAST ELEVATION ENTERTAINMENT**



**11. NORTH ELEVATION RESTAURANT**



**12. WEST ELEVATION MEDICAL OFFICE BUILDING**

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**OPAQUE WALL / SOFFIT MATERIALS**

MANUFACTURED STONE /  
BRICK MASONRY VENEER



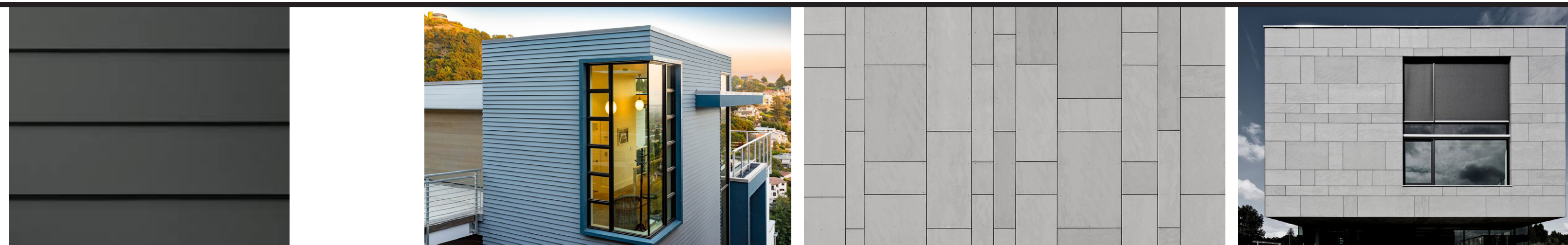
TEXTURED METAL PANELS



FAUX WOOD CLADDING &  
SOFFITS



FIBER CEMENT BOARD  
CLADDING



STUCCO / EIFS COATING

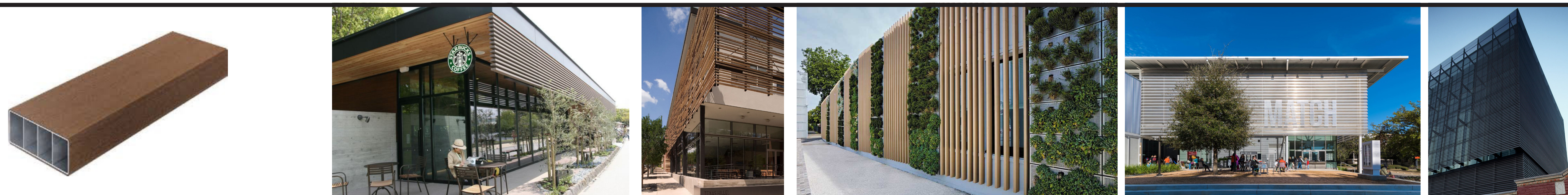


**TRANSPARENT / TRANSLUCENT MATERIALS**

STOREFRONT GLAZING



PERFORATED METAL / FAUX  
WOOD SUN-SHADING



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CIVIL	GBA
LANDSCAPE	HOERR SCHAUDT / LAND 3



**FINKLE + WILLIAMS**  
ARCHITECTURE

7007 College Blvd, Suite 415  
Overland Park, Kansas 66211  
913+498-1550

SHEET TITLE

**BUILDING  
MATERIAL PALETTE**

SHEET NUMBER

**A2.03**



# ELECTRICAL SYMBOLS

THIS IS A MASTER LEGEND AND NOT ALL SYMBOLS OR ABBREVIATIONS ARE USED.

## STANDARD MOUNTING HEIGHTS

AUDIBLE APPLIANCES (CENTERLINE)	84"
ALARMS	48"
ANNUNCIATOR PANELS (DISPLAY)	60"
CONTROLS (TOP OF DEVICE)	48"
EXIT SIGNS (WALL MOUNTED)	80"
FIRE ALARM ANNUNCIATOR PANEL (DISPLAY)	80"
FIRE ALARM BELL (EXTERIOR)(CENTERLINE)	120"
FIRE ALARM CONTROL PANEL/UNIT (DISPLAY)	60"
INTERCOM (AFCA ONLY)	58"
INTERCOMS (TOP OF DEVICE)	48"
PULL STATIONS (TOP OF DEVICE)	144"
PHOTOCELLS	16"
RECEPTACLES (EXTERIOR)	24"
RECEPTACLES (GARAGES)	24"
RECEPTACLES (POOLS)	27"
RECEPTACLES (ABOVE COUNTER)	40" ABOVE BACKSPASH/COUNTER, 40" MAX
RECEPTACLES IN EQUIPMENT ROOMS	44"
REMOTE INDICATING LIGHT (EQUIPMENT ROOMS)	CEILING
REMOTE INDICATING LIGHT (FINISHED AREAS)	48"
SAFETY SWITCHES (TOP OF DEVICE)	48"
STARTERS (TOP OF DEVICES)	44"
SWITCHES (TOP OF DEVICES)	SAME AS ADJACENT DEVICE, UNO
TELEPHONE, DATA OUTLETS	45"
TELEPHONE TERMINAL BOARD (BOTTOM)	REFER TO ARCH DRAWINGS
TELEVISION OUTLETS	45"
VISIBLE APPLIANCES (CENTERLINE)	84"

USE THE DEFAULT MOUNTING HEIGHTS SHOWN ABOVE UNO IN THE CONSTRUCTION DOCUMENTS. MOUNTING HEIGHTS LISTED ARE ABOVE FINISHED FLOOR (AFF) OR ABOVE FINISHED GRADE (AFG); TO BOTTOM OF OUTLET BOX. ALL DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH CURRENT ADA AND LOCAL REQUIREMENTS.

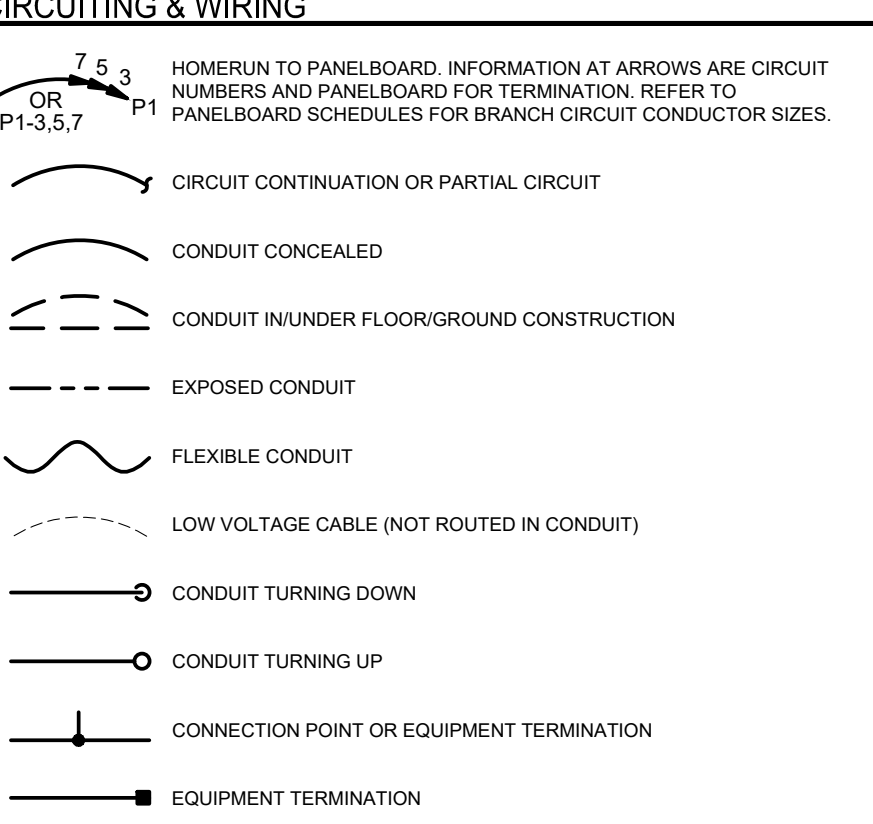
## ABBREVIATIONS

AF	AMPERE FRAME SIZE	MCB	MAIN CIRCUIT BREAKER
AFC	ABOVE FINISHED CEILING	MCC	MOTOR CONTROL CENTER
AFF	ABOVE FINISHED FLOOR	MFR	MANUFACTURER
AFG	ABOVE FINISHED GRADE	MIN	MINIMUM
AHJ	AUTHORITY HAVING JURISDICTION	MLO	MAIN LUGS ONLY
AHU	AIR HANDLING UNIT	MOC	MAXIMUM OVERCURRENT PROTECTION
AIC	AMPERE INTERRUPTING CAPACITY	MIT	MOUNTED
AS	AMPERE SWITCH	N/A	NOT APPLICABLE
AT	AMPERE TRIP SETTING	NF	NON-FUSED
ATS	AUTOMATIC TRANSFER SWITCH	NL	NIGHT LIGHT (24HR ON)
AV	AUDIO VISUAL	NRTL	NATIONALLY RECOGNIZED TESTING LABORATORY (CSA ETL NSF UL)
BAS	BUILDING AUTOMATION SYSTEM	OS	OCCUPANCY SENSOR
BKR	BREAKER	P	POLE
C	CONDUIT	PF	PARTIAL CIRCUIT
CAT	CATEGORY	PHØ	PHASE
CATV	CABLE TELEVISION SYSTEM	PNL	PANEL
CCTV	CLOSED CIRCUIT TELEVISION	PNLBD	PANELBOARD
CD	CANDELA	PROVIDE	FURNISH AND INSTALL
CKT	CIRCUIT	PT	POTENTIAL TRANSFORMER
CODE	APPLICABLE CODE ADOPTED BY JURISDICTION	QTY	QUANTITY
CT	CURRENT TRANSFORMER	RCPT	RECEPTACLE
CTR	CENTER	RELO	RELOCATE
CVD	CUMULATIVE VOLTAGE DROP	RLA	RUNNING LOAD AMPS
DEMO	DEMOLITION	RTU	ROOFTOP UNIT
DPDT	DOUBLE-POLE, DOUBLE-THROW	SCCR	SHORT-CIRCUIT CURRENT RATING
DPST	DOUBLE-THROW SINGLE-THROW	SD	SMOKE DETECTOR SQUARE FEET
(E)	EXISTING	SF	SINGLE-POLE, DOUBLE-THROW
EC	ELECTRICAL CONTRACTOR	SPST	SINGLE-POLE, SINGLE-THROW
EF	EXHAUST FAN	ST	SHUNT TRIP
EM	EMERGENCY	SWBD	SWITCHBOARD
EMS	ENERGY MANAGEMENT SYSTEM	SWGR	SWITCHGEAR
ETR	EXISTING TO REMAIN	T8B	TELECOMMUNICATIONS BONDING BACKBONE
EWC	ELECTRIC WATER COOLER	TBD	TO BE DETERMINED
FAMP	FIRE ALARM ANNUNCIATOR PANEL	T8B	TELECOMMUNICATIONS BONDING BACKBONE
FACP	FIRE ALARM CONTROL PANEL	TL	TELECOMMUNICATIONS MAIN
FCA	FAULT CURRENT AMPS AVAILABLE	TMBG	TELECOMMUNICATIONS MAIN
FCU	FAN COIL UNIT	TX	TRANSFORMER
FF	FINISHED FLOOR	TYP	TYPICAL
FLA	FULL LOAD AMPS	UF	UNDERFLOOR
FLR	FLOOR	LIG	UNDERGROUND
GS	GENERAL CONTRACTOR	LIS	UNDERSLAB
CEC	GROUNDING ELECTRODE SYSTEM	UH	UNIT HEATER
QCC	GROUNDING ELECTRODE SYSTEM	UNO	UNLESS NOTED OTHERWISE
GFR	GROUND FAULT RELAY	UPS	UNINTERRUPTIBLE POWER SUPPLY
G	GROUND	VD	VOLTAGE DROP
IG	ISOLATED GROUND	VFD	VARIABLE FREQUENCY DRIVE
ISC	SHORT CIRCUIT CURRENT	W	WIRE
JB-J	JB-JUNCTION BOX	W	WIRE
LF	LINEAR FEET	WP	WEATHER PROOF
LRA	LOCKED ROTOR AMPS	WR	WEATHER RESISTANT
LTLGTS	LIGHTING LIGHTS	WT	WATERTIGHT
MNU	MAKE-UP AIR UNIT	XP	EXPLOSION-PROOF
MAX	MAXIMUM		
MCA	MINIMUM CIRCUIT AMPACITY		

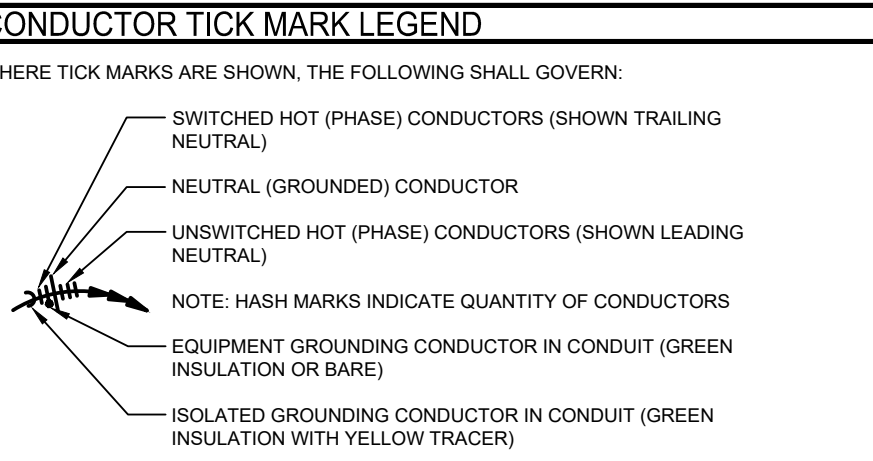
## ANNOTATION

	MECHANICAL OR FIRE PROTECTION PLAN NOTE CALLOUT
	PLUMBING PLAN NOTE CALLOUT
	ELECTRICAL OR FIRE ALARM PLAN NOTE CALLOUT
	TECHNOLOGY PLAN CALLOUT
	PLUMBING EQUIPMENT DESIGNATION (CONTRACTOR FURNISHED AND INSTALLED; REFER TO PLUMBING FIXTURE OR EQUIPMENT SCHEDULES)
	EQUIPMENT DESIGNATION (OWNER FURNISHED, CONTRACTOR INSTALLED)
	MECHANICAL EQUIPMENT DESIGNATION (CONTRACTOR FURNISHED AND INSTALLED UNLESS NOTED OTHERWISE)
	CONNECTION POINT OF NEW WORK TO EXISTING
	DETAIL REFERENCE UPPER NUMBER INDICATES DETAIL NUMBER LOWER NUMBER INDICATES SHEET NUMBER
	SECTION CUT DESIGNATION

## CIRCUITING & WIRING



## CONDUCTOR TICK MARK LEGEND



## BRANCH CIRCUIT CONDUCTOR TABLE

# OF POLES	HOT (PHASE)*	NEUTRAL (GROUNDED)**	GROUNDING***
1P	(1)	(1) UNO	(1)
2P	(2)	(1) UNO	(1)
3P	(3)	(1) UNO	(1)

\* PROVIDE ADDITIONAL CONDUCTORS THROUGH ENTIRE CIRCUIT (SWITCHED, UNSWITCHED, ETC.) AS INDICATED THROUGHOUT CONSTRUCTION DOCUMENTS AND AS REQUIRED FOR A COMPLETE AND WORKING SYSTEM.

\*\* REFER TO SPECIFICATIONS FOR LIMITATIONS ON SHARING NEUTRAL (GROUNDED) CONDUCTORS. DO NOT CIRCUIT AS A MULTI-WIRE BRANCH CIRCUIT, UNO.

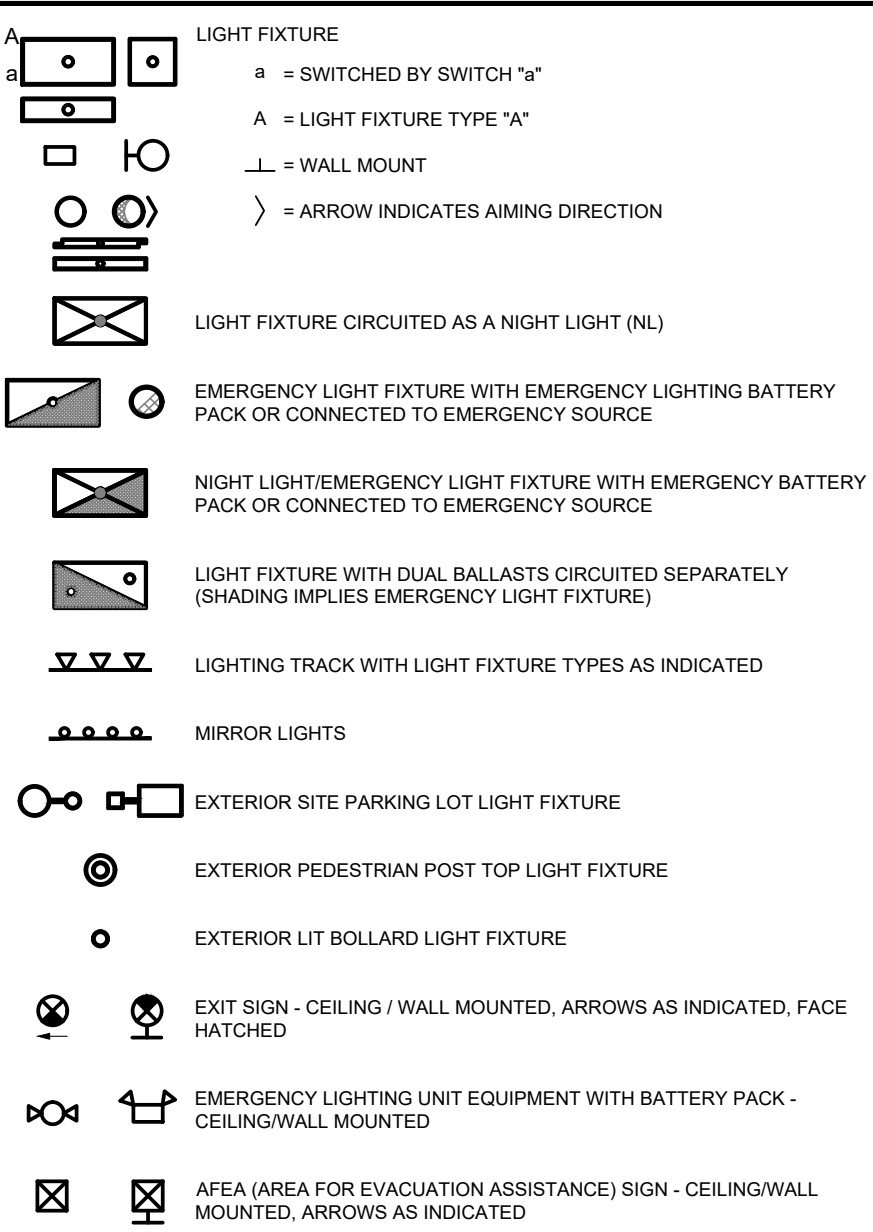
\*\*\* PROVIDE ADDITIONAL ISOLATED GROUNDING CONDUCTORS WHERE INDICATED.

## LINETYPE LEGEND

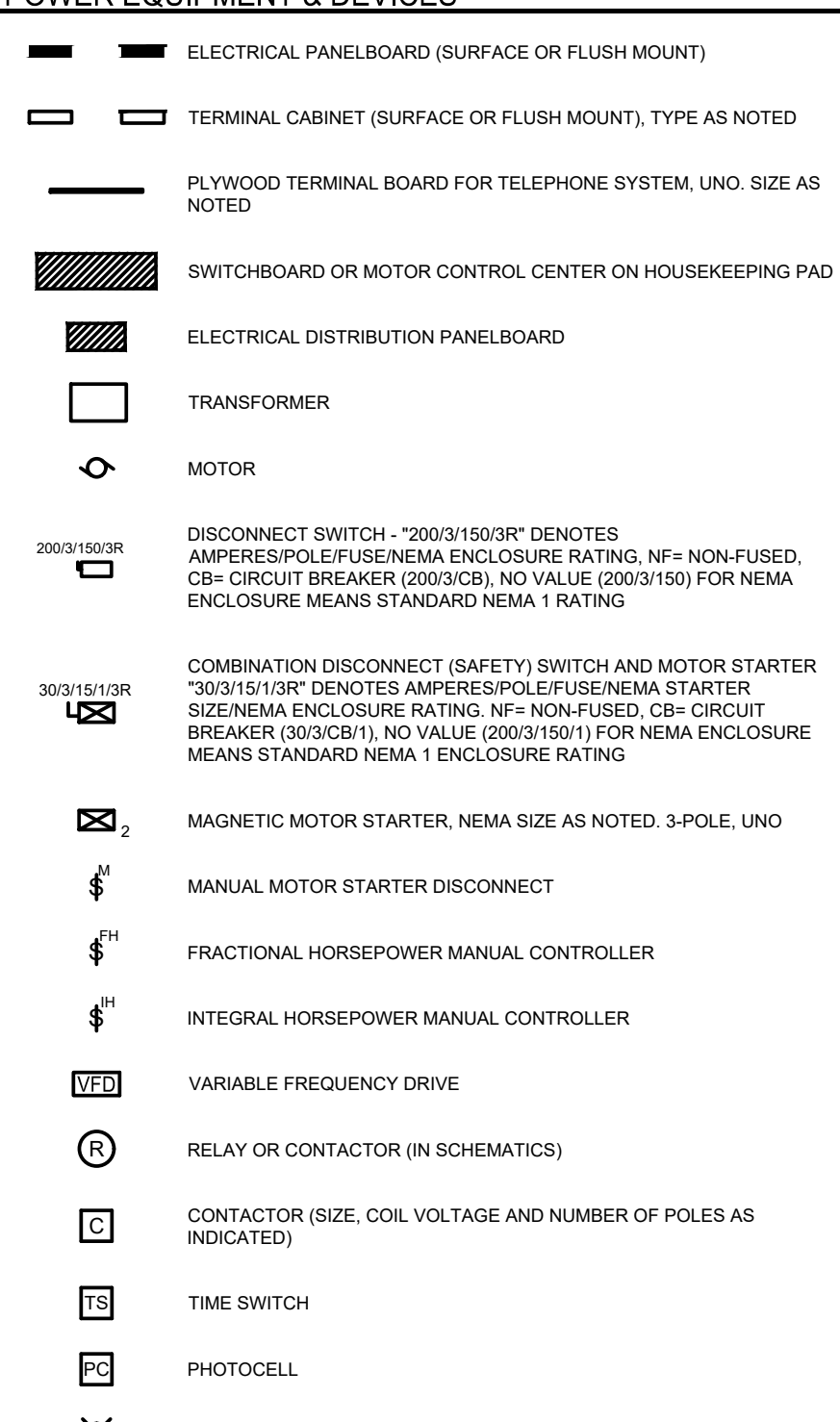
THROUGHOUT THE DRAWINGS DIFFERENT LINETYPES ARE USED IN COMBINATION WITH THE SYMBOLS TO INDICATE THE STATUS OF ITEMS AS EXISTING, TO BE DEMOLISHED, TO BE PROVIDED AS PART OF NEW WORK AND/OR ITEMS WHICH ARE ANTICIPATED TO BE PROVIDED IN THE FUTURE. THE STATUS OF ITEMS USING THESE LINETYPES ARE RELATIVE TO THE VIEW IN WHICH THEY APPEAR. PHASING SHOWN IN DRAWINGS IS NOT INTENDED TO FULLY DESCRIBE ALL NECESSARY CONSTRUCTION PHASING, WHICH IS DETERMINED BY THE CONTRACTOR AS PART OF THEIR RESPONSIBILITIES. ANY SUCH PHASING DESCRIBED IN THE CONSTRUCTION DOCUMENTS ARE GENERAL AND ONLY INTENDED TO INDICATE A BROAD ORDER FOR THE SAKE OF DESCRIBING THE PROJECT. THE FOLLOWING LINETYPES MAY BE USED ON ANY DEVICE, EQUIPMENT, NOTE, LINE, SHAPE, ETC.

EXISTING	NEW
DEMOLISH	FUTURE

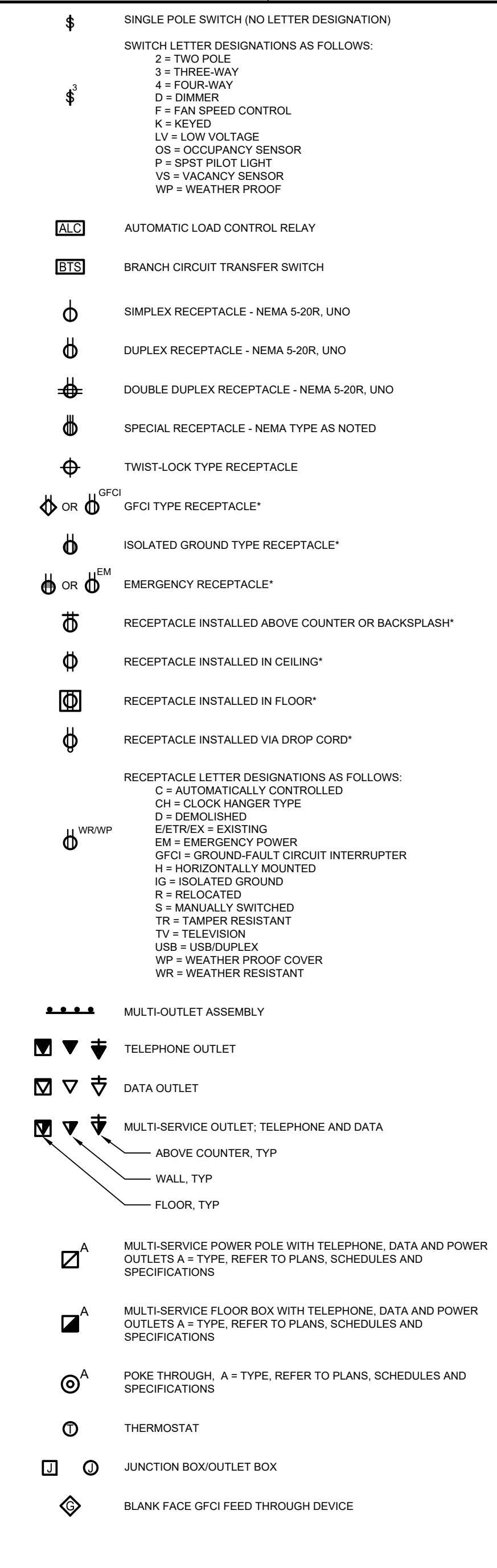
## LIGHTING



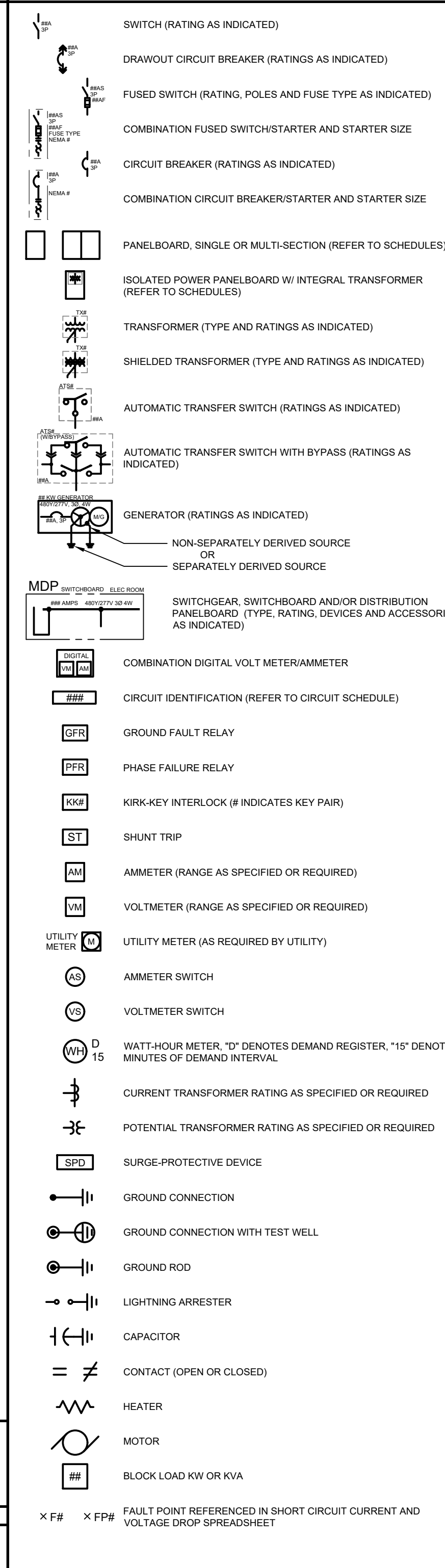
## POWER EQUIPMENT & DEVICES



## LIGHTING CONTROL DEVICES, WIRING DEVICES & BOXES



## ELECTRICAL ONE-LINE & RISER DIAGRAM



## PARAGON STAR VILLAGE

View High Drive & I-470  
Lee's Summit, MO

Project No.: 17042.04

Date: 02.15.2019

Issued For: PRELIM. DEV. PACKAGE

## REVISIONS

No.	Date	Description

## REGISTRATION

PROJECT TEAM		
ARCHITECT	FINKLE+WILLIAMS	ARCHITECTURE
CIVIL	GBA	
LANDSCAPE	HOERR SCHAUDT / LAND 3	

NOT FOR CONSTRUCTION

**HENDERSON ENGINEERS**  
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EXPIRES 12/31/20

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SHEET TITLE  
**ELECTRICAL SYMBOLS AND LEGENDS**<sup>N/A</sup>  
SHEET NUMBER

**E000**



**PARAGON STAR VILLAGE**

View High Drive & I-470  
Lee's Summit, MO

Project No.: 17042.04  
Date: 02.15.2019  
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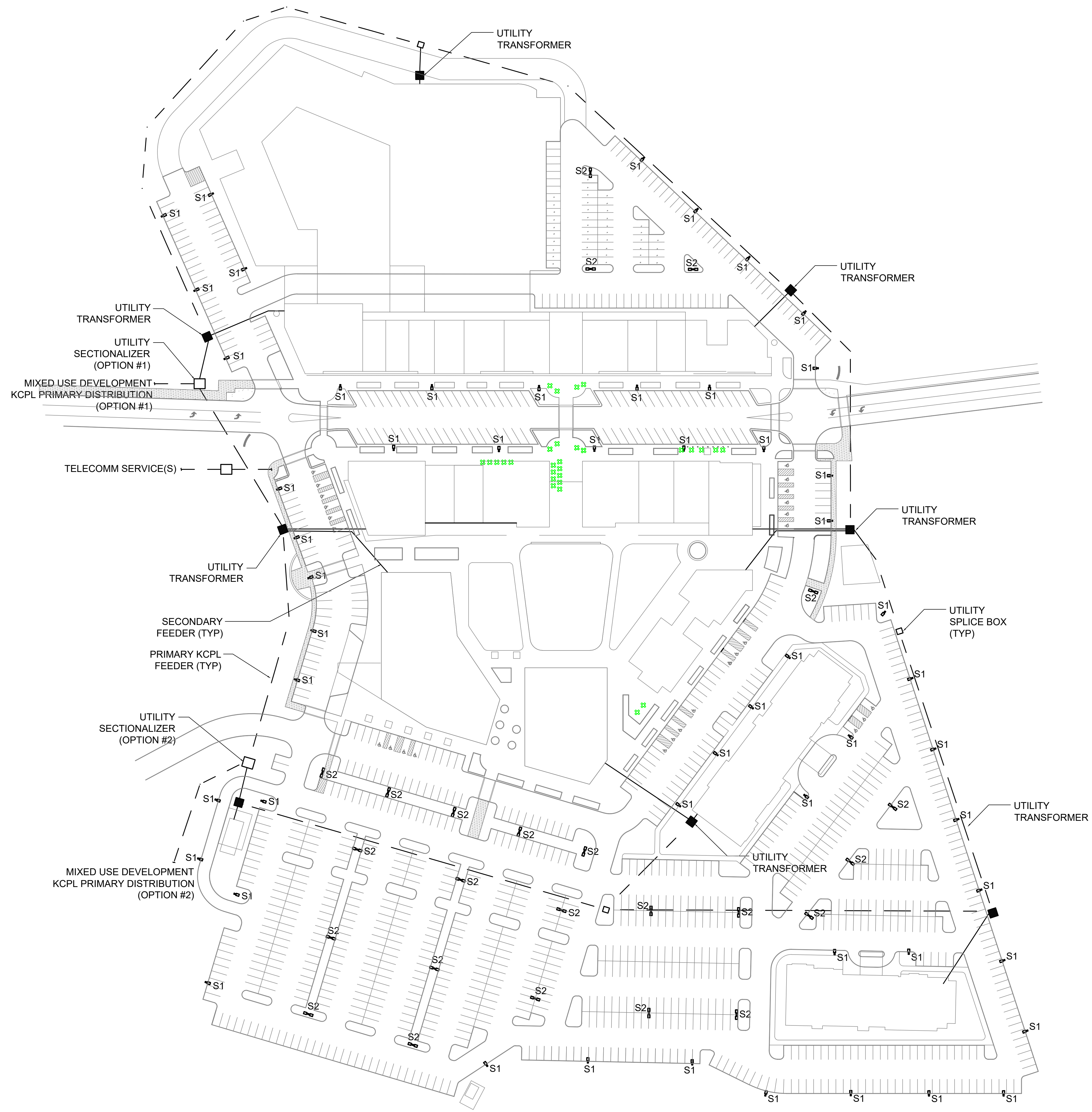
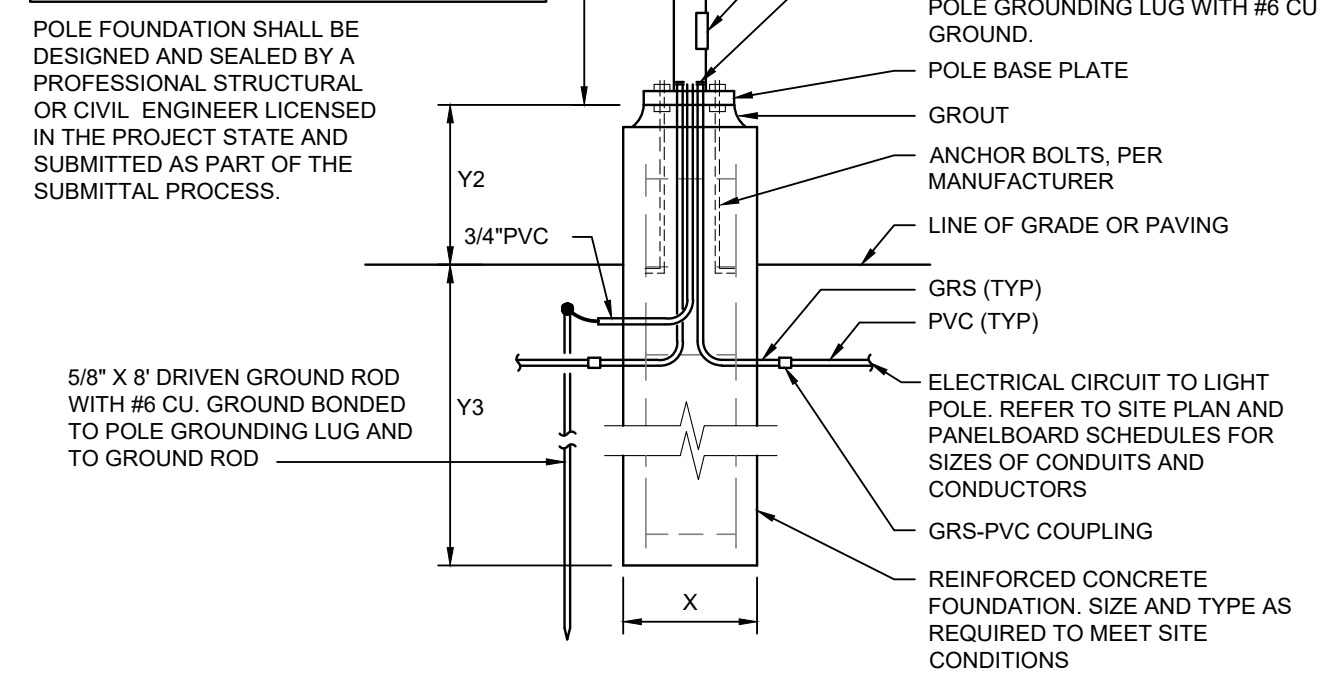
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SHEET TITLE  
**ELECTRICAL SITE PLAN**

SHEET NUMBER

**E100**

TABLE OF DIMENSIONS*	
X	POLE HEIGHT < 16' = 1'-6"
	POLE HEIGHT > 16' = 2'-0"
Y1	REFER TO LIGHT FIXTURE SCHEDULE FOR POLE HEIGHT. Y1 + Y2 SHALL NOT EXCEED 28'-0" AFG
Y2	VEHICULAR AREAS - 3'-0"
	NON-VEHICULAR AREAS - 0'-6"
Y3	1/4 OF POLE HEIGHT Y1



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Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
□	103	GLEON-AF-03-LED-E1-T4W	SINGLE	N.A.	0.720	GLEON-AF-03-LED-E1-T4W

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Extend 0s	Illuminance	Fc	0.02	0.5	0.0	N.A.	N.A.
Extend 0s east	Illuminance	Fc	0.02	0.1	0.0	N.A.	N.A.
Extend 0s east 1	Illuminance	Fc	0.10	0.2	0.0	N.A.	N.A.
Parallel Parkway	Illuminance	Fc	2.15	3.1	1.4	1.54	2.21
Parking Lot NE	Illuminance	Fc	1.92	4.4	0.5	3.84	8.80
Parking Lot NW	Illuminance	Fc	2.32	3.4	0.8	2.90	4.25
Parking Lot South	Illuminance	Fc	2.10	5.7	0.2	10.50	28.50

LIGHT FIXTURE SCHEDULE						
TYPE	MANUFACTURER/MODEL #	LAMPS	INPUT WATTS	INPUT VA	DESCRIPTION	
S1	MCGRAW-EDISON GLEON-AF-03-LED-480-T4W-BK	LED BY MANUFACTURER 4000K 70 CRI 18,045 LUMENS 400,000 HRS	480	166	166	LED PARKING LOT FIXTURE. PROVIDE WITH 25' ALUMINUM POLE ON 3' BASE.
S2	MCGRAW-EDISON (2) GLEON-AF-03-LED-480-T4W-BK	LED BY MANUFACTURER 4000K 70 CRI 36,090 LUMENS 400,000 HRS	480	332	332	LED PARKING LOT FIXTURE. PROVIDE (2) HEAD PER POLE AT 180 DEGREES. PROVIDE WITH 25' ALUMINUM POLE ON 3' BASE.

### DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Category #	Type
Project	
Comments	Date
Prepared by	

### SPECIFICATION FEATURES

**Construction** Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum and cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

**Optics** Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

**Electrical** LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surges. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

**Mounting** STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surges. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

**Finish** Housing finished in super durable TGIC polyester powder coat paint, 25 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, gray, white, dark platinum and graphite metallic. RAL and custom color matches available.

**Warranty** Five-year warranty.



**GLEON GALLEON LED**

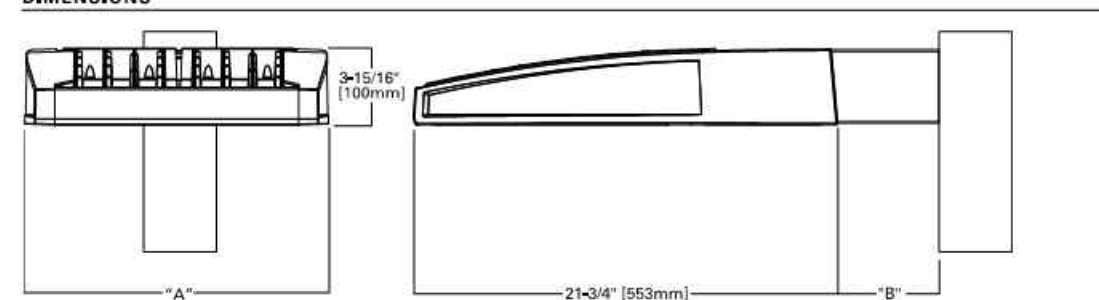
1-10 Light Squares  
Solid State LED  
AREA/SITE LUMINAIRE



**CERTIFICATION DATA**  
UL/cUL Wet Location Listed  
800-9601  
LM79 / LM80 Compliant  
30 Vibration Rated  
PSE Rated  
DesignLights Consortium™ Qualified

**ENERGY DATA**  
Electronic LED Driver  
->50 Power Factor  
->20% Total Harmonic Distortion  
120/277V 50/60Hz  
347V & 480V 60Hz  
+0°C Min. Temperature  
40°C Max. Temperature  
90°C Max. Temperature (HA Option)

### DIMENSIONS



DIMENSION DATA						
Number of Light Squares	24" Width (610mm)	36" Standard Arm Length (914mm)	48" Optional Arm Length (1219mm)	Weight with Arm (lbs.)	Weight with Arm (kg.)	EPA with Arm (Sq. Ft.)
144	150" (3814mm)	178mm	254mm	33	15.0	0.96
54	21-5/8" (548mm)	7"	258mm	44	20.0	1.30
78	24-3/8" (617mm)	178mm	330mm	62	28.0	1.27
9+0	33-3/4" (857mm)	178mm	330mm	62	28.0	1.12

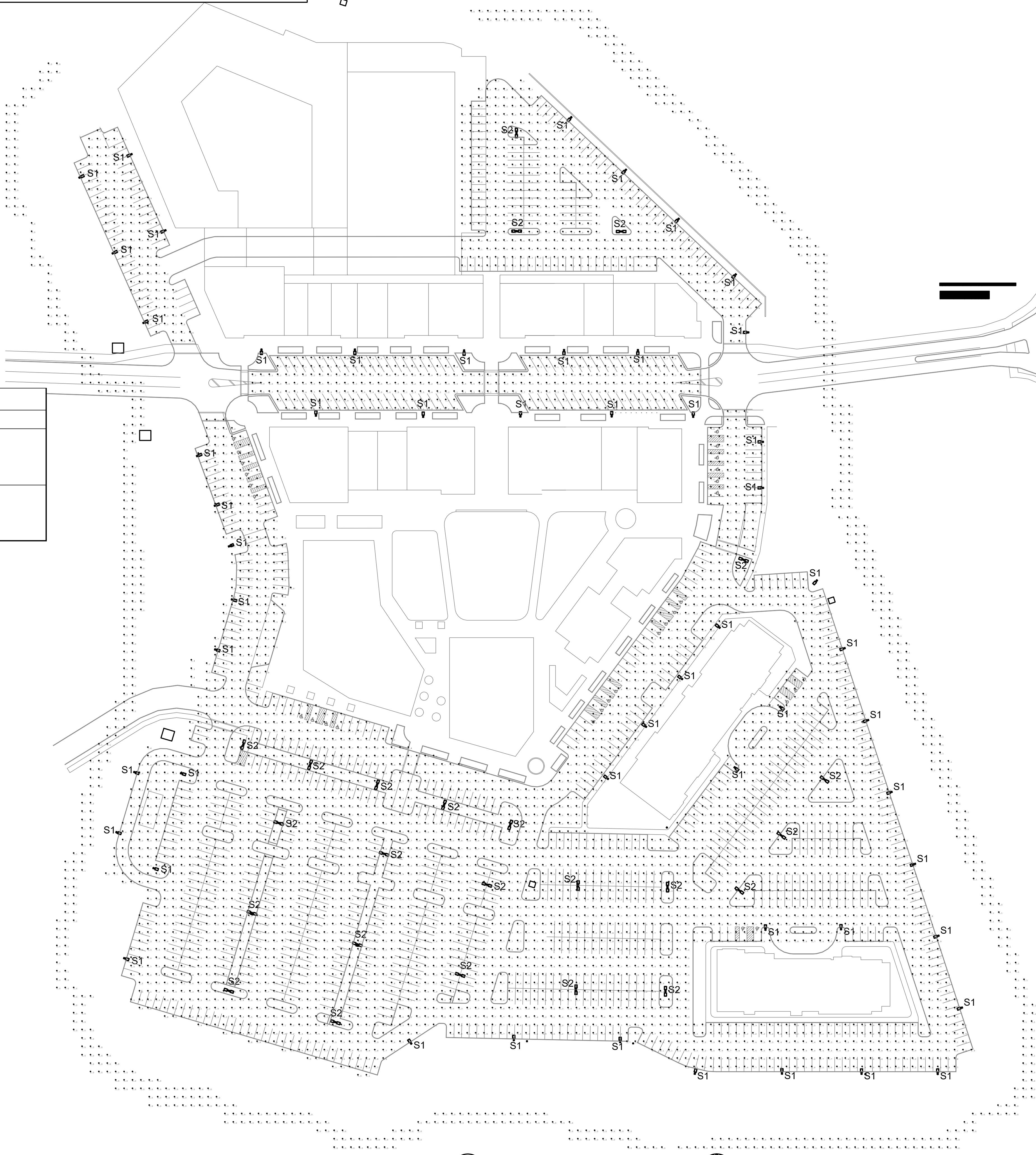
NOTES: 1. Optional arm length to be used when mounting two luminaires at 90° or 120° apart. 2. EPA values are based on optional arm length.



www.designlights.org



November 30, 2018 2:24 PM



## PARAGON STAR VILLAGE

View High Drive & I-470  
Lee's Summit, MO

Project No.: 17042.04  
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Issued For: PRELIM. DEV. PACKAGE

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No.	Date	Description

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SHEET TITLE  
**ELECTRICAL PHOTOMETRIC PLAN**

SHEET NUMBER

**E200**

1 ELECTRICAL PHOTOMETRIC PLAN  
SCALE: 1" = 64'

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