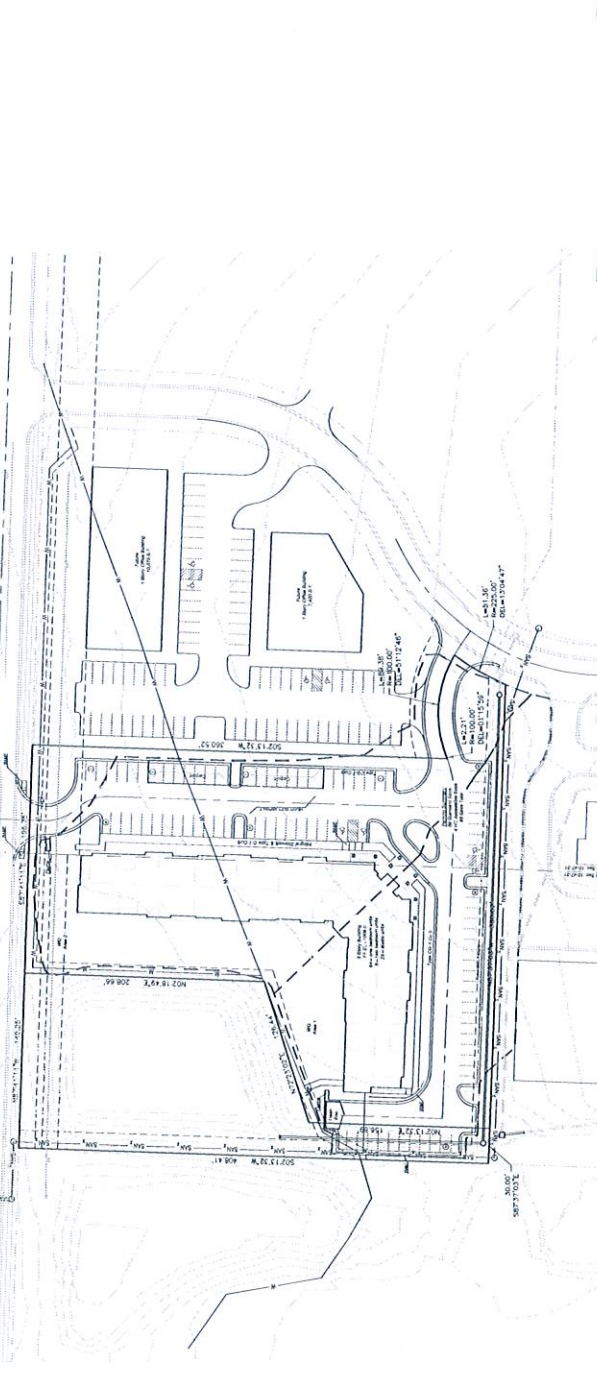
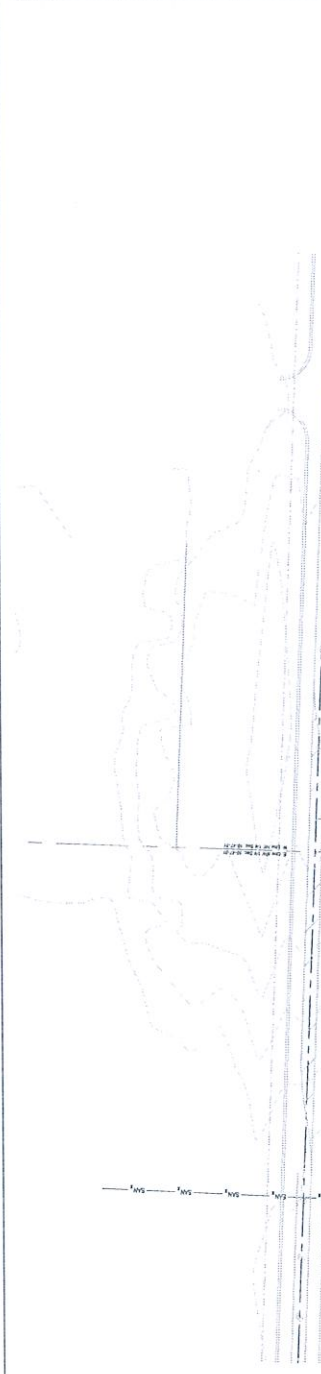


**SCHLAGEL & ASSOCIATES, P.A.**  
 Engineers • Planners • Surveyors • Landscape Architects  
 1430 West 107th Street, Lenexa, Kansas 66215  
 (913) 522-1556, Fax (913) 522-5000  
 www.schlagelassociates.com  
 1430 West 107th Street, Lenexa, Kansas 66215  
 (913) 522-1556, Fax (913) 522-5000


PRELIMINARY DEVELOPMENT PLAN  
 BLOOM APARTMENTS  
 ~2160 SE SHENANDOAH DRIVE,  
 LEES SUMMIT, MO

REVISION	DATE	DESCRIPTION
01	05/23/17	CITY COMMENTS
02		
03		
04		
05		
06		
07		
08		
09		
10		
11		
12		
13		
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15		
16		
17		
18		
19		
20		



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SCALE 1" = 50'

**NOTES**

1. Elevation is based on MGS 85 MO West State Plane Grid.
2. The site is located within the 1% annual chance flood plain according to FEMA Map No. 2005020496G, effective date January 15, 2005.
3. This site is currently zoned C-2 by the City of Lees Summit, Missouri.
4. There are no known gas wells on the property.
5. The site is adjacent to the Missouri Pacific Railroad Spoke in Utility Pole 44' North of Edge of Pavement and 47.3' East of SWY.
6. The fire apparatus access roads shall be designed and maintained to support the proposed loads of the apparatus and shall be surfaced so as to provide all-weather access.
7. All areas pertaining to life safety and property protection from the hazards of fire, flood, wind, or other natural or man-made hazards shall be designed and constructed in accordance with the applicable codes and standards and shall be maintained in accordance with the applicable codes and standards. All areas pertaining to life safety and property protection from the hazards of fire, flood, wind, or other natural or man-made hazards shall be designed and constructed in accordance with the applicable codes and standards and shall be maintained in accordance with the applicable codes and standards.
8. All areas pertaining to life safety and property protection from the hazards of fire, flood, wind, or other natural or man-made hazards shall be designed and constructed in accordance with the applicable codes and standards and shall be maintained in accordance with the applicable codes and standards.

**LAND USE SCHEDULE (C-2)**

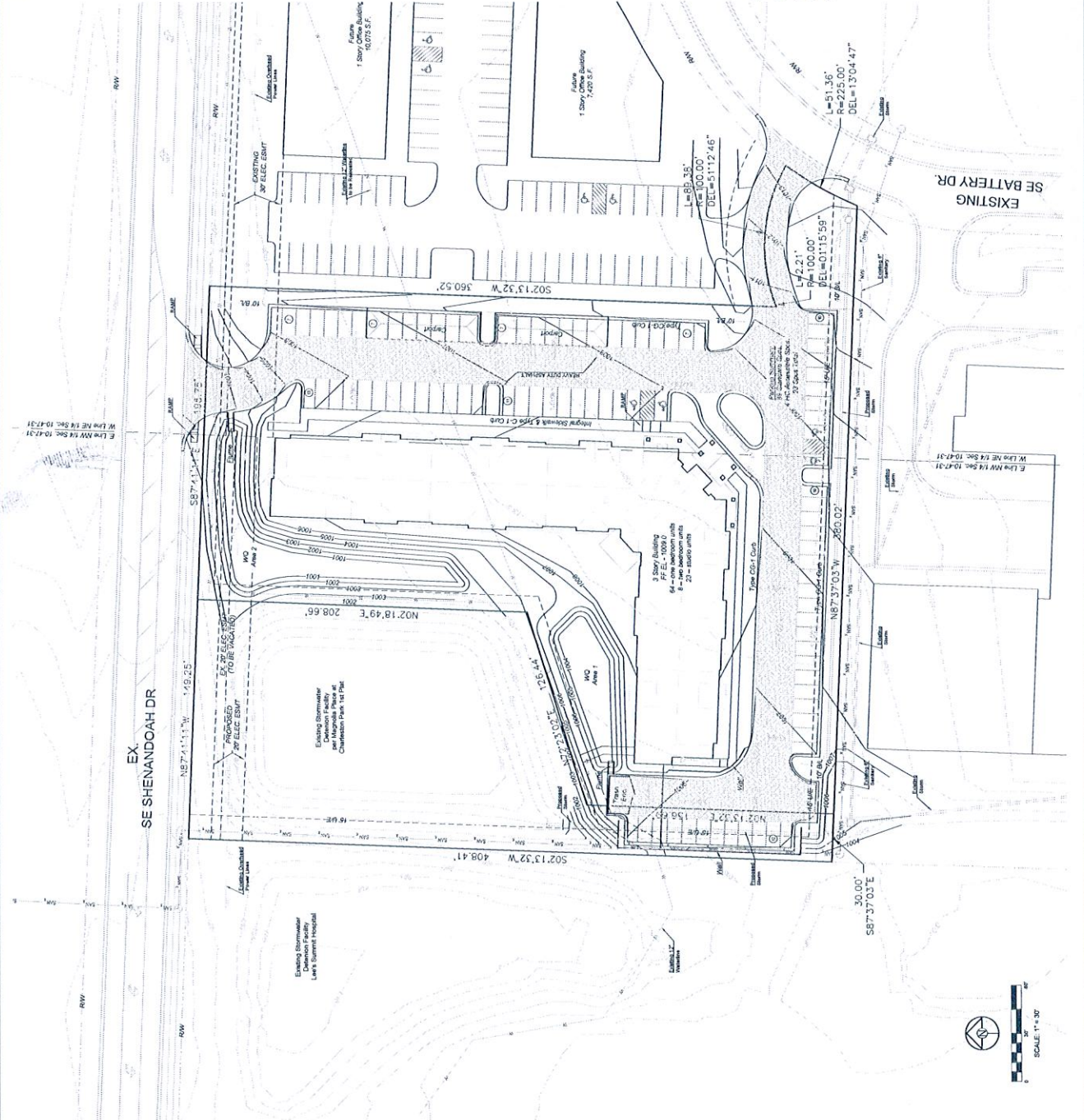
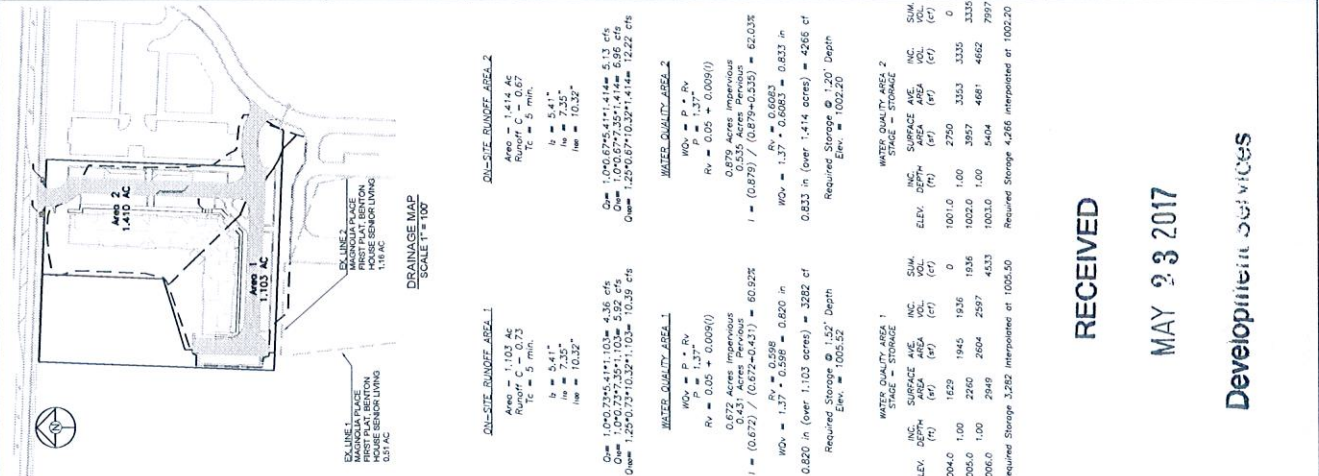
- a. Total floor area - 22,305 sq. ft. (3 floors) = 64,000 sq. ft.
- b. No. of dwelling units - 84 one bedroom units, 8 two bedroom units, 25 studio units
- c. Land area - Unplanted = 2,427 sq. ft. = 0.055 acres, Total = 3,323 sq. ft. = 0.076 acres
- d. Rec. parking spaces - 1 parking unit = 1 automobile = 100 sq. ft., Prop. parking spaces - 80 standard + 4 HC accessible = 95, Impervious coverage - 1,572 sq. ft.

**EXISTING DEVELOPMENT SITE DATA**

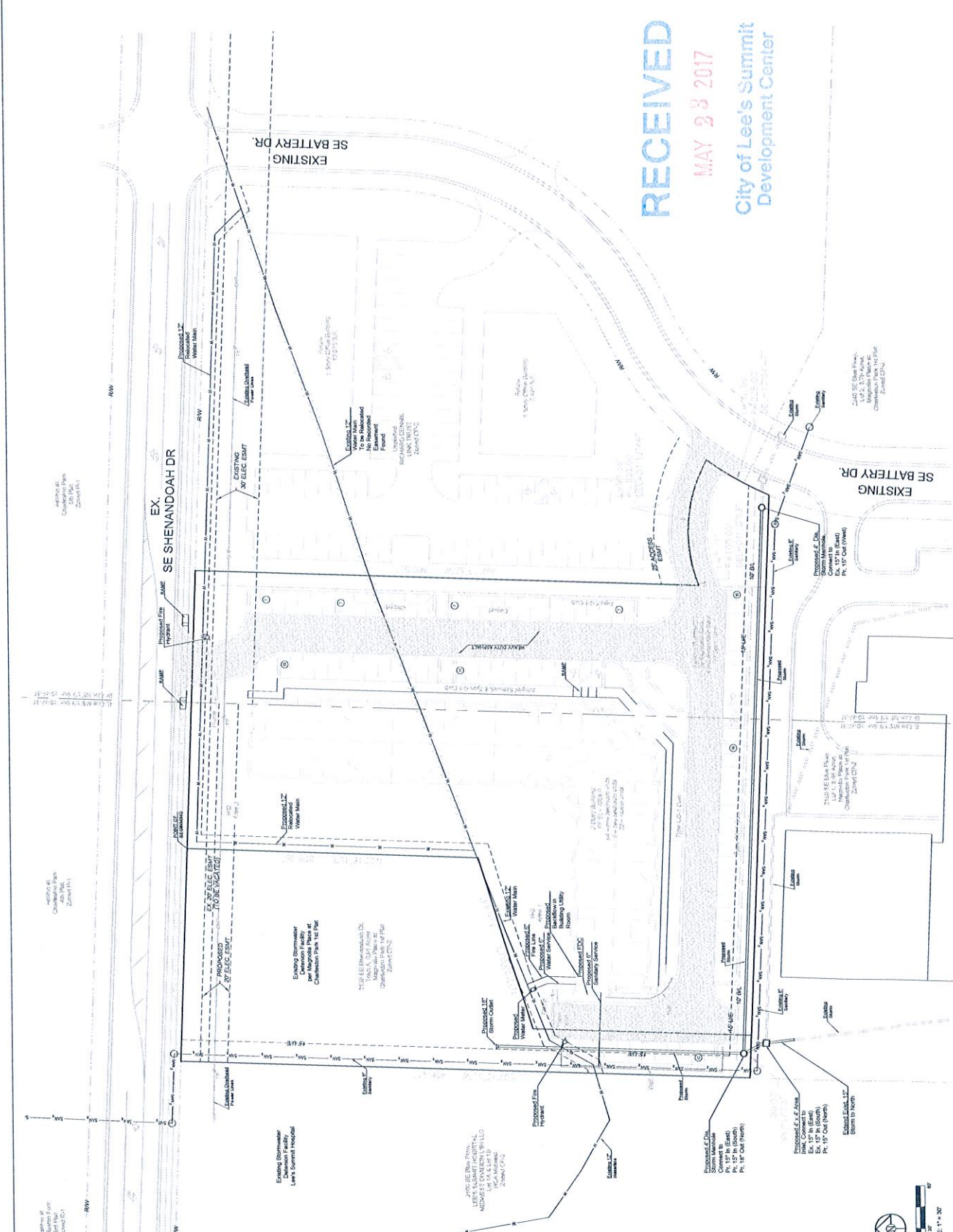
- a. Total floor area - 17,455 sq. ft.
- b. Land area - Unplanted = 1,491 acres +/-, 1 slope per 1,000 sq. ft. of site, 70 standard + 4 HC accessible = 75
- c. Rec. parking spaces - 74 standard + 4 HC accessible = 78, Prop. parking spaces - 74 standard + 4 HC accessible = 78



SECTION	
1	SECTION 1
2	SECTION 2
3	SECTION 3
4	SECTION 4
5	SECTION 5
6	SECTION 6
7	SECTION 7
8	SECTION 8
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11	SECTION 11
12	SECTION 12
13	SECTION 13
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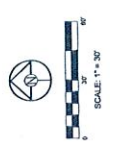
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City of Lee's Summit  
Development Center

**SCHLAGEL & ASSOCIATES, P.A.**  
 Engineers Planners Surveyors Landscape Architects  
 1400 West 107th Street, Kansas, Kansas 66215  
 (913) 492-5155 • Fax (913) 492-4800  
 WWW.SCHLAGELASSOCIATES.COM  
 Kansas State License No. 0000000000  
 Professional Seal

**PRELIMINARY DEVELOPMENT PLAN**  
**BLOOM APARTMENTS**  
 -2160 SE SHENANDOAH DRIVE,  
 LEE'S SUMMIT, MO

NO.	DESCRIPTION	DATE
1	PRELIMINARY DEVELOPMENT PLAN	05/23/17
2	UTILITY PLAN	05/23/17
3	TOTAL SHEETS	3



SHEET **3**  
OF Total Sheets



NO.	REVISIONS	DATE	BY	CHKD BY
1	ISSUED FOR PERMITS	05/23/17	MM	MM
2	REVISED PER CITY COMMENTS	05/23/17	MM	MM
3	REVISED PER CITY COMMENTS	05/23/17	MM	MM
4	REVISED PER CITY COMMENTS	05/23/17	MM	MM
5	REVISED PER CITY COMMENTS	05/23/17	MM	MM
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7	REVISED PER CITY COMMENTS	05/23/17	MM	MM
8	REVISED PER CITY COMMENTS	05/23/17	MM	MM
9	REVISED PER CITY COMMENTS	05/23/17	MM	MM
10	REVISED PER CITY COMMENTS	05/23/17	MM	MM
11	REVISED PER CITY COMMENTS	05/23/17	MM	MM

- LANDSCAPE DATA LOT ONLY**
- STREET FRONTAGE LANDSCAPE**
- 7 TREES
  - 7 NEW TREES
  - SHENANDOAH DRIVE TREES PROVIDED PER 30'(156,703/20)
  - SHENANDOAH DRIVE TREES PROVIDED PER 30'(156,387/20)
  - BATTERY DRIVE TREES PROVIDED PER 30'(156,387/20)
  - BATTERY DRIVE TREES PROVIDED PER 30'(156,387/20)
  - SHENANDOAH DRIVE SHRUBS REQUIRED PER 30'(156,703/20)
  - SHENANDOAH DRIVE SHRUBS PROVIDED PER 30'(156,387/20)
  - BATTERY DRIVE SHRUBS PROVIDED PER 30'(156,387/20)
  - BATTERY DRIVE SHRUBS PROVIDED PER 30'(156,387/20)
- ISLE LANDSCAPE REQUIRED**
- 17 TREES
  - SHRUBS REQUIRED PER 5,000 S.F. OF LOT AREA(106,488,25-22,300/5000)
  - SHRUBS PROVIDED PER 5,000 S.F. OF LOT AREA(106,488,25-22,300/5000)
  - SHRUBS PROVIDED PER 5,000 S.F. OF LOT AREA(106,488,25-22,300/5000)
  - SHRUBS PROVIDED PER 5,000 S.F. OF LOT AREA(106,488,25-22,300/5000)
- PARKING LOT LANDSCAPE**
- LANDSCAPE AREA REQUIRED PER 1,000 S.F. OF OPEN SPACE(106,488,25-22,300/1000)
  - LANDSCAPE AREA PROVIDED PER 1,000 S.F. OF OPEN SPACE(106,488,25-22,300/1000)
  - TREES REQUIRED PER ISLAND
  - TREES PROVIDED PER ISLAND
  - SCREENING 22.5 FT. HT. ALONG ENTIRE FRONTAGE ADJ. TO STREET)

**NOTES:**

1. ALL TREE LOCATIONS AND SPECIES SHALL BE AS SHOWN ON THIS PLAN. ALL TREE LOCATIONS SHALL BE RECORDED ON LOT FINAL UTILITIES AND CONSTRUCTION PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY COMPLIANCE OR NON-COMPLIANCE WITH THESE NOTES.
2. ALL TREE QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL TREE QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
3. ALL TREE QUANTITIES SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS AND REGULATIONS.
4. ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE. ALL TREES SHALL BE PLANTED WITH A MINIMUM CALIBER OF 1.5" DBH AT THE TIME OF PLANTING.
5. ALL TREES SHALL BE PLANTED WITH A MINIMUM CALIBER OF 1.5" DBH AT THE TIME OF PLANTING.
6. ALL TREES SHALL BE PLANTED WITH A MINIMUM CALIBER OF 1.5" DBH AT THE TIME OF PLANTING.
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14. ALL TREES SHALL BE PLANTED WITH A MINIMUM CALIBER OF 1.5" DBH AT THE TIME OF PLANTING.
15. ALL TREES SHALL BE PLANTED WITH A MINIMUM CALIBER OF 1.5" DBH AT THE TIME OF PLANTING.

**SHADE TREES**

- 1. 6A. Acer 'Emerald Green'
- 2. 6A. Acer 'Emerald Green'
- 3. 6A. Acer 'Emerald Green'
- 4. 6A. Acer 'Emerald Green'
- 5. 6A. Acer 'Emerald Green'
- 6. 6A. Acer 'Emerald Green'

**ORNAMENTAL TREES**

- 1. 3A. Magnolia 'Star'
- 2. 3A. Magnolia 'Star'
- 3. 3A. Magnolia 'Star'
- 4. 3A. Magnolia 'Star'
- 5. 3A. Magnolia 'Star'
- 6. 3A. Magnolia 'Star'

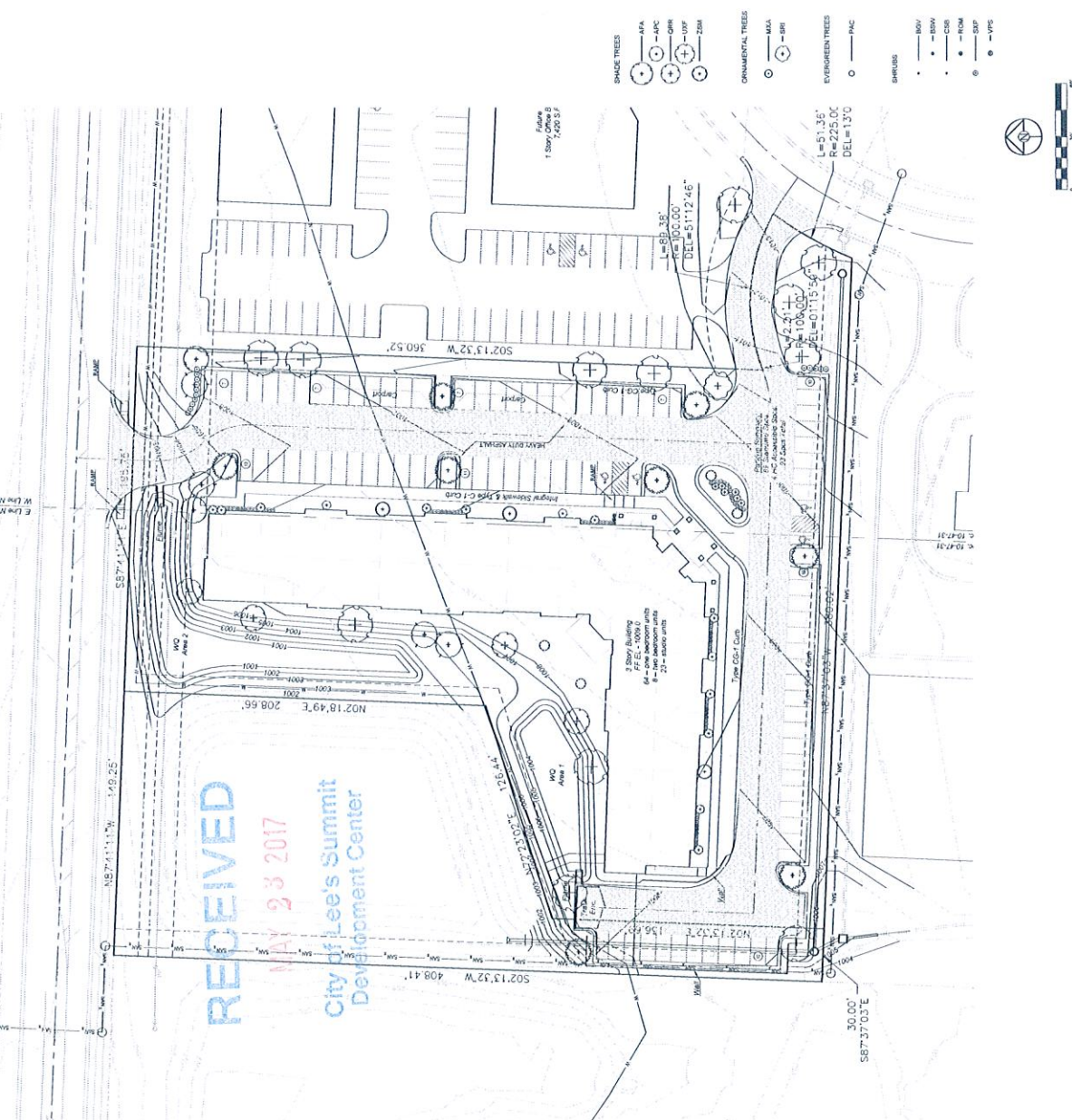
**EVERGREEN TREES**

- 1. 4A. Picea 'Blue'
- 2. 4A. Picea 'Blue'
- 3. 4A. Picea 'Blue'
- 4. 4A. Picea 'Blue'
- 5. 4A. Picea 'Blue'
- 6. 4A. Picea 'Blue'

**SHRUBS**

- 1. 5A. Green 'Vase'
- 2. 5A. Green 'Vase'
- 3. 5A. Green 'Vase'
- 4. 5A. Green 'Vase'
- 5. 5A. Green 'Vase'
- 6. 5A. Green 'Vase'

NO.	REVISIONS	DATE	BY	CHKD BY
1	ISSUED FOR PERMITS	05/23/17	MM	MM
2	REVISED PER CITY COMMENTS	05/23/17	MM	MM
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10	REVISED PER CITY COMMENTS	05/23/17	MM	MM
11	REVISED PER CITY COMMENTS	05/23/17	MM	MM



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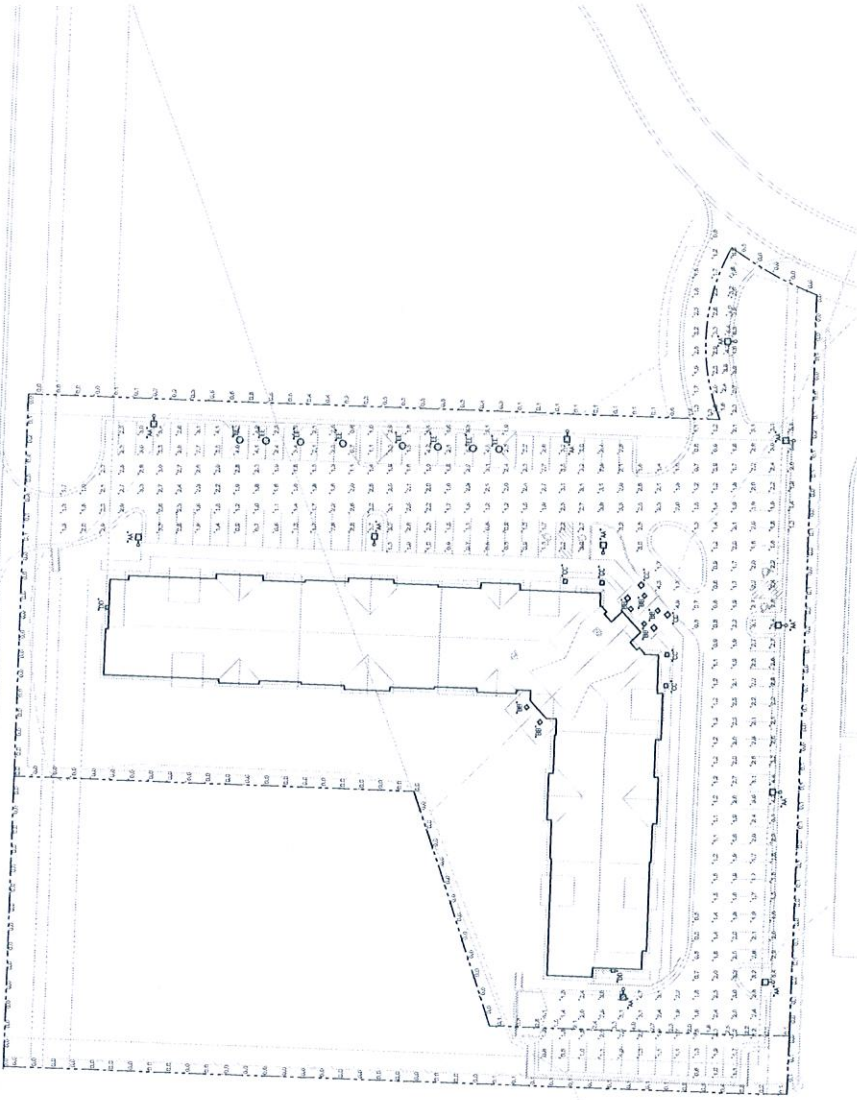
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Engineers-Planners-Surveyors/Landscape Architects  
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Kansas State Certified Professional Engineer

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WWW.SCHLAGELASSOCIATES.COM



MARK	MANUFACTURER	CATALOG NUMBER	EXTERIOR LIGHTING fixture schedule					REMARKS	
			RECES.	WALL	FLOOR	WALL	COUP.		
"M"	MOSEBAY DESIGN	GLD21104-LED-1-1-1-1-1-1-52					X	11	12
"S"	MOSEBAY DESIGN	SI11104-LED-1-1-1-1-1-1-52					X	11	12
"T"	MOSEBAY DESIGN	L2011-1-1-1-1-1-1-52			X		X	20 W LED	2
"T"	MOSEBAY DESIGN	SI11104-LED-1-1-1-1-1-1-52			X		X	20 W LED	2

REMARKS:  
 1. Footcandle at 2' for fixture always shown over ISSS.  
 2. Type of Distribution and fixture comment.

**STATISTICS**

DESCRIPTION	Avg	Min	Max	Min/Max	Avg/Min
Footcandle	2.1	0.5	10.1	0.2	0.2

NO.	REVISION	DESCRIPTION
01		ISSUED FOR PERMIT
02		ISSUED FOR PERMIT
03		ISSUED FOR PERMIT
04		ISSUED FOR PERMIT
05		ISSUED FOR PERMIT
06		ISSUED FOR PERMIT

NO.	REVISION	DESCRIPTION
01		ISSUED FOR PERMIT
02		ISSUED FOR PERMIT
03		ISSUED FOR PERMIT
04		ISSUED FOR PERMIT
05		ISSUED FOR PERMIT
06		ISSUED FOR PERMIT

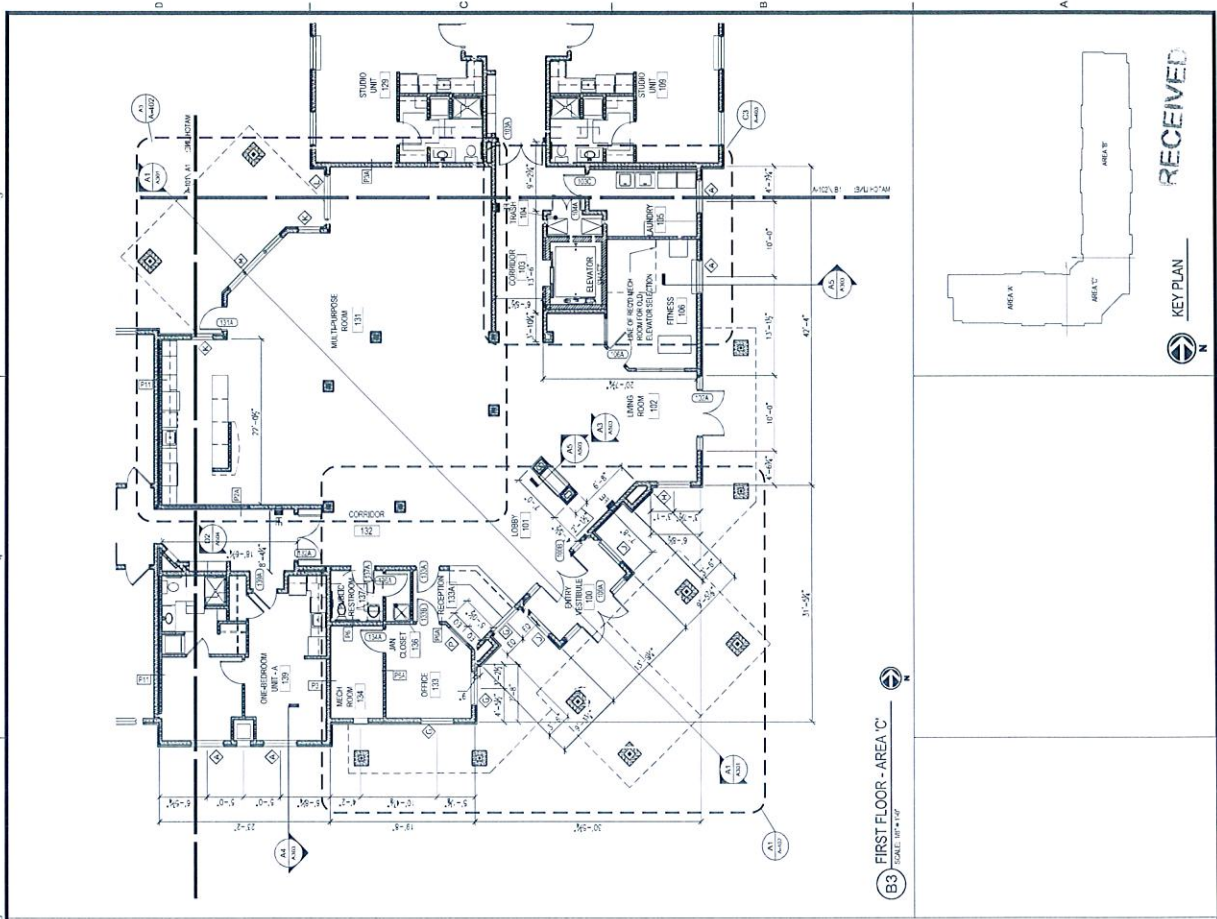


schwartz design group  
 10000 Woodloch Forest Dr  
 Suite 1000  
 Dallas, TX 75243  
 Phone: 972.333.1100  
 Fax: 972.333.1101  
 www.schwartzdesign.com

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PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:  
**BLOOM LIVING**  
 LEES SUMMIT, MO

COMMISSION NUMBER	4212-17
PROJECT NAME	FIRST FLOOR - AREA 'A' AND AREA 'C'
PROJECT NUMBER	171008
SHEET NUMBER	A-101



**B3** FIRST FLOOR - AREA 'C'  
 SCALE: 1/8" = 1'-0"

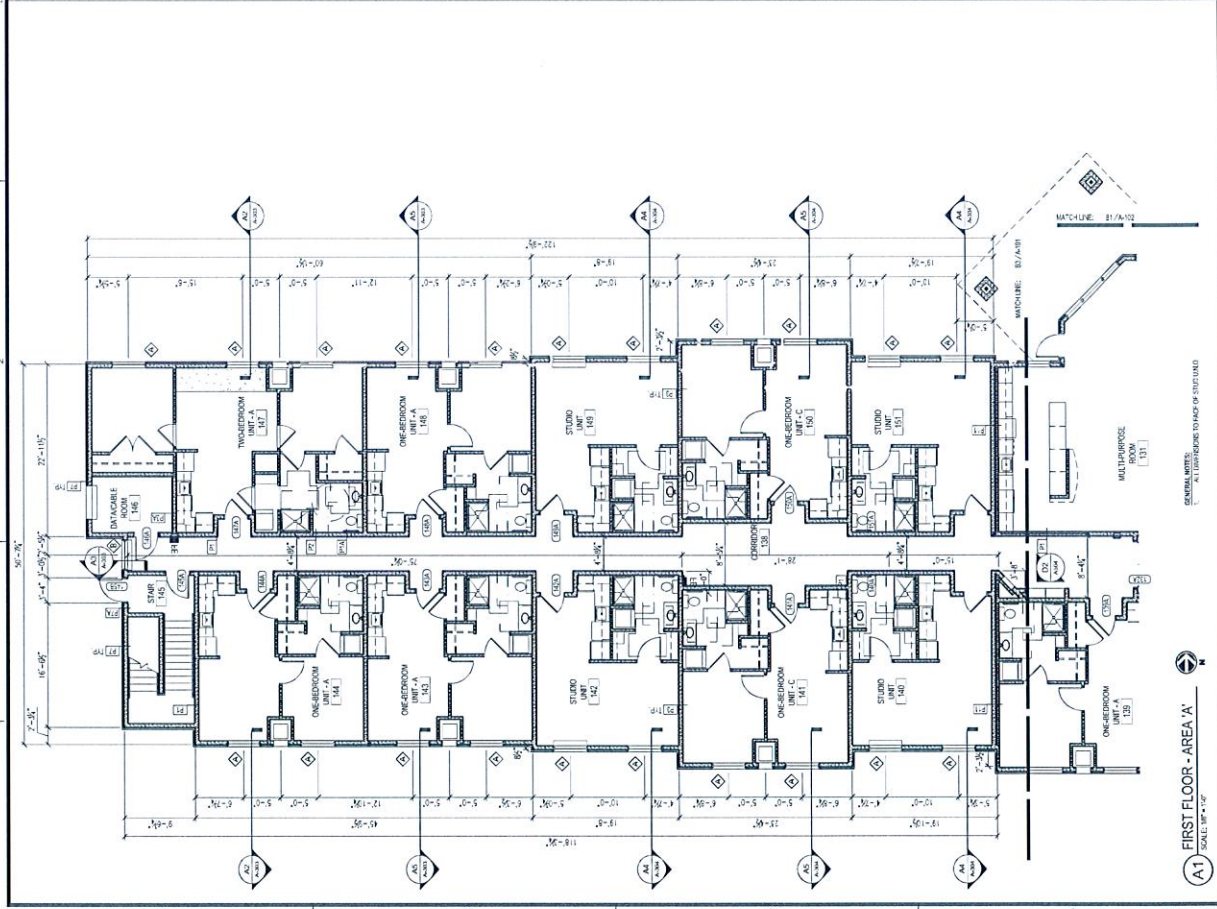
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-2017-095 -2017-09 Development Services



**A1** FIRST FLOOR - AREA 'A'  
 SCALE: 1/8" = 1'-0"

GENERAL NOTES:  
 A: TERRACE TO MATCH OF STUDIOS

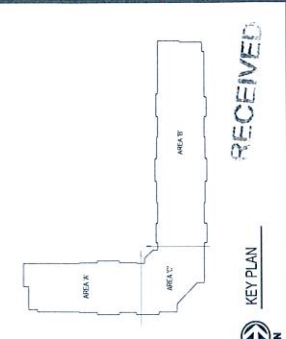
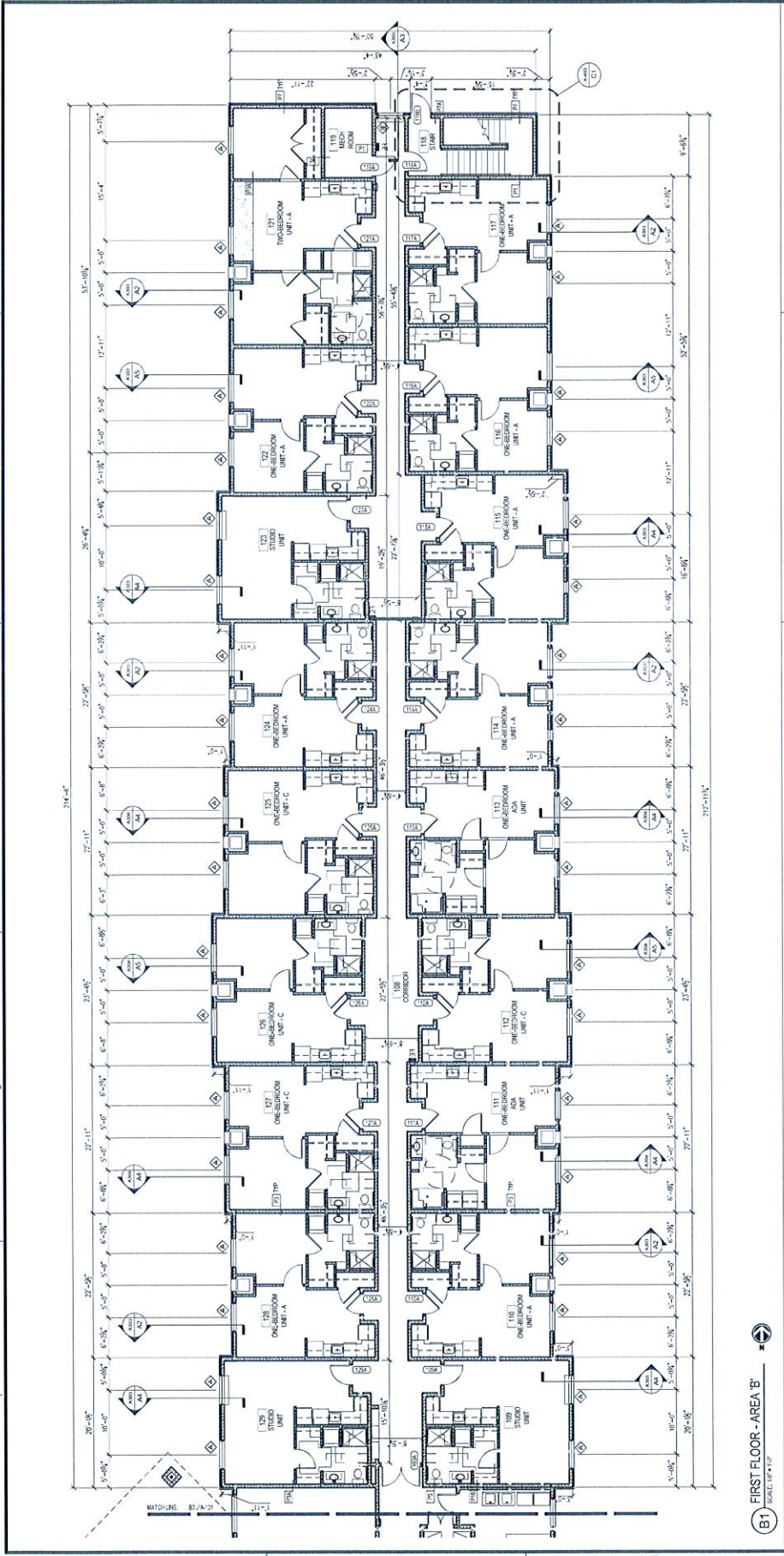


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 2224 W. UNIVERSITY AVENUE, SUITE 100  
 ANN ARBOR, MI 48106-1500  
 TEL: 734.769.1234 FAX: 734.769.1235  
 WWW.SCHWARTZDESIGN.COM

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PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:  
 BLOOM LIVING  
 LEES SUMMIT, MO

COMMISSION DATE:	4/21/17
SHEET TITLE:	FIRST FLOOR - AREA 'B'
PROJECT NUMBER:	171008
SHEET NUMBER:	A-102



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 -2017-090  
 -2017-095  
 B1) SCALE: 1/8" = 1'-0"  
 FIRST FLOOR - AREA 'B'



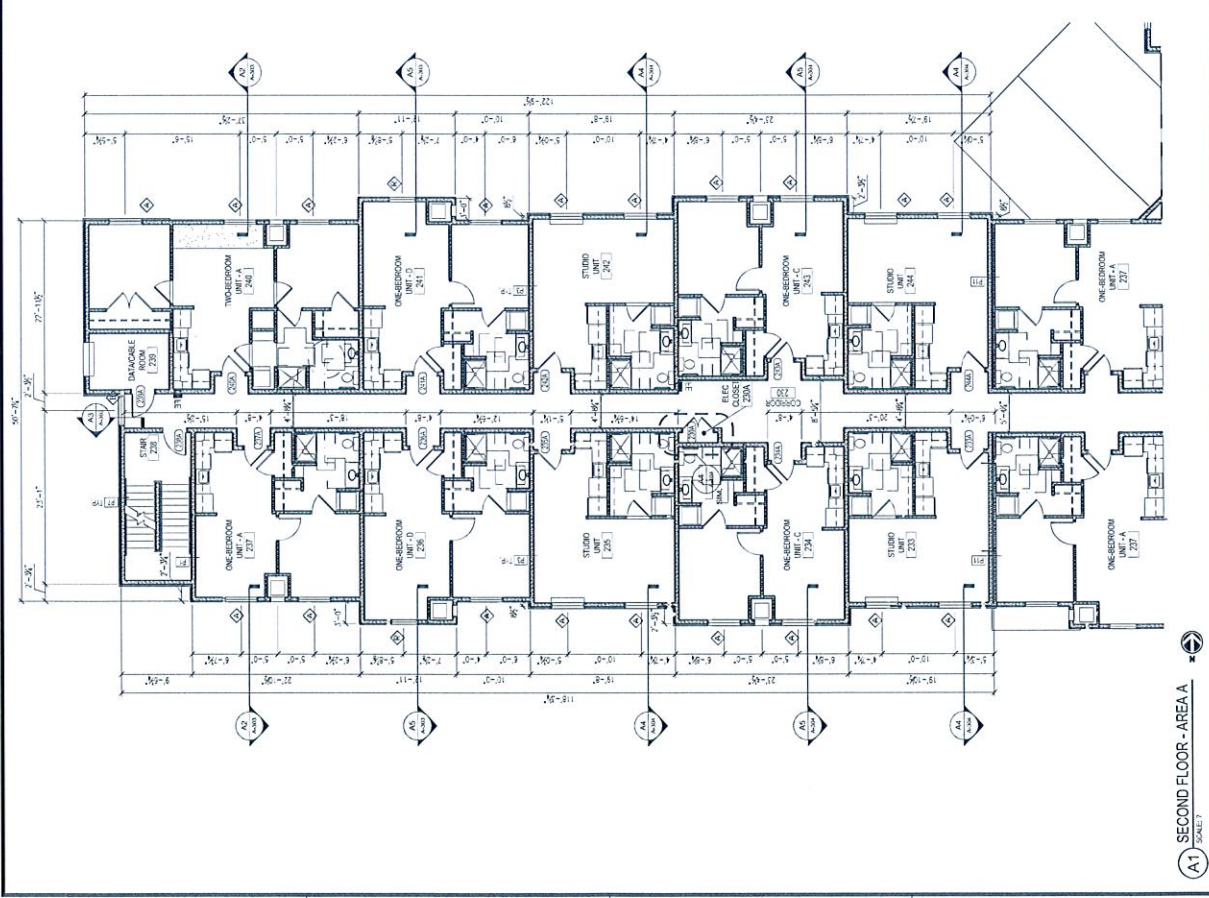
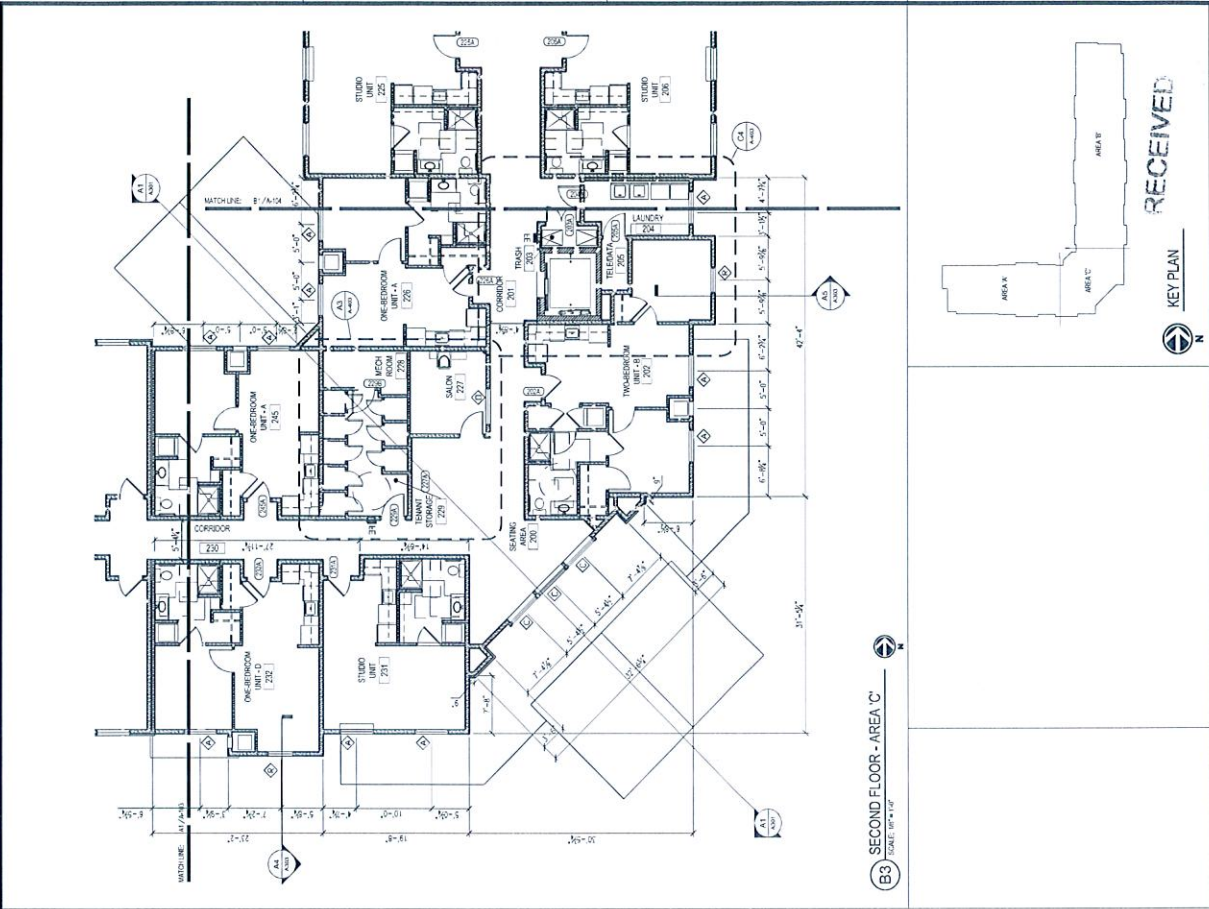


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 architects | interior | planners  
 2231 West 10th Street, Suite 100  
 Des Moines, IA 50319  
 Phone: 515.281.2200  
 Fax: 515.281.2201  
 www.schwartzdesign.com

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PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:  
**BLOOM LIVING**  
 LEES SUMMIT, MO

SUBMITTAL DATE:	12/1/17
SHEET TITLE:	SECOND FLOOR - AREA A AND AREA C
PROJECT NUMBER:	171008
SHEET NUMBER:	A-103



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SECOND FLOOR - AREA A  
 SCALE: 1/8" = 1'-0"

SECOND FLOOR - AREA C  
 SCALE: 1/8" = 1'-0"

KEY PLAN



N



N

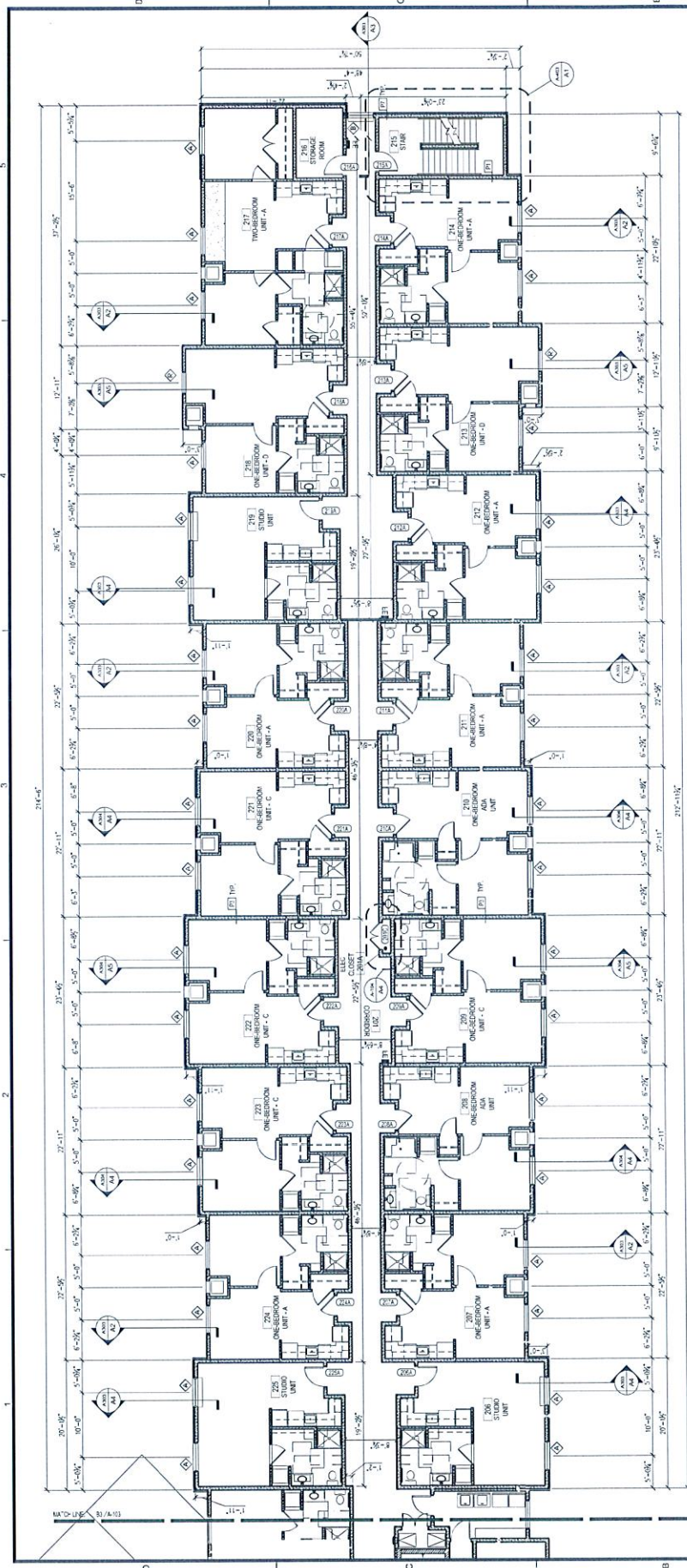


**Schwardt design group**  
 architectural services | planning  
 2224 W. UNIVERSITY AVENUE, SUITE 100  
 LEES SUMMIT, MO 64081  
 TEL: 816.271.1200  
 FAX: 816.271.1201  
 WWW.SDGROUP.COM

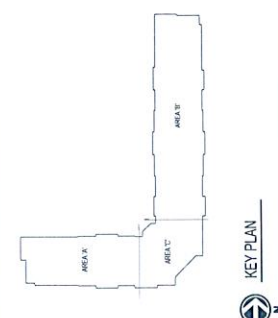
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PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:  
**BLOOM LIVING**  
 LEES SUMMIT, MO

SUBMITTED DATE	5/21/17
SHEET TITLE	SECOND FLOOR - AREA B'
PROJECT NUMBER	171008
SHEET NUMBER	A-104



**B1** SECOND FLOOR - AREA B'  
 SCALE: 1/8" = 1'-0"



APR 21 2017  
 Development Services

-2017-095-2017-090



schwartz design group  
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 1100 W. MISSOURI AVENUE, SUITE 200  
 LEES SUMMIT, MO 64081  
 PHONE: (816) 424-7177  
 FAX: (816) 424-7178  
 WWW.SDGROUP.COM

DATE: —

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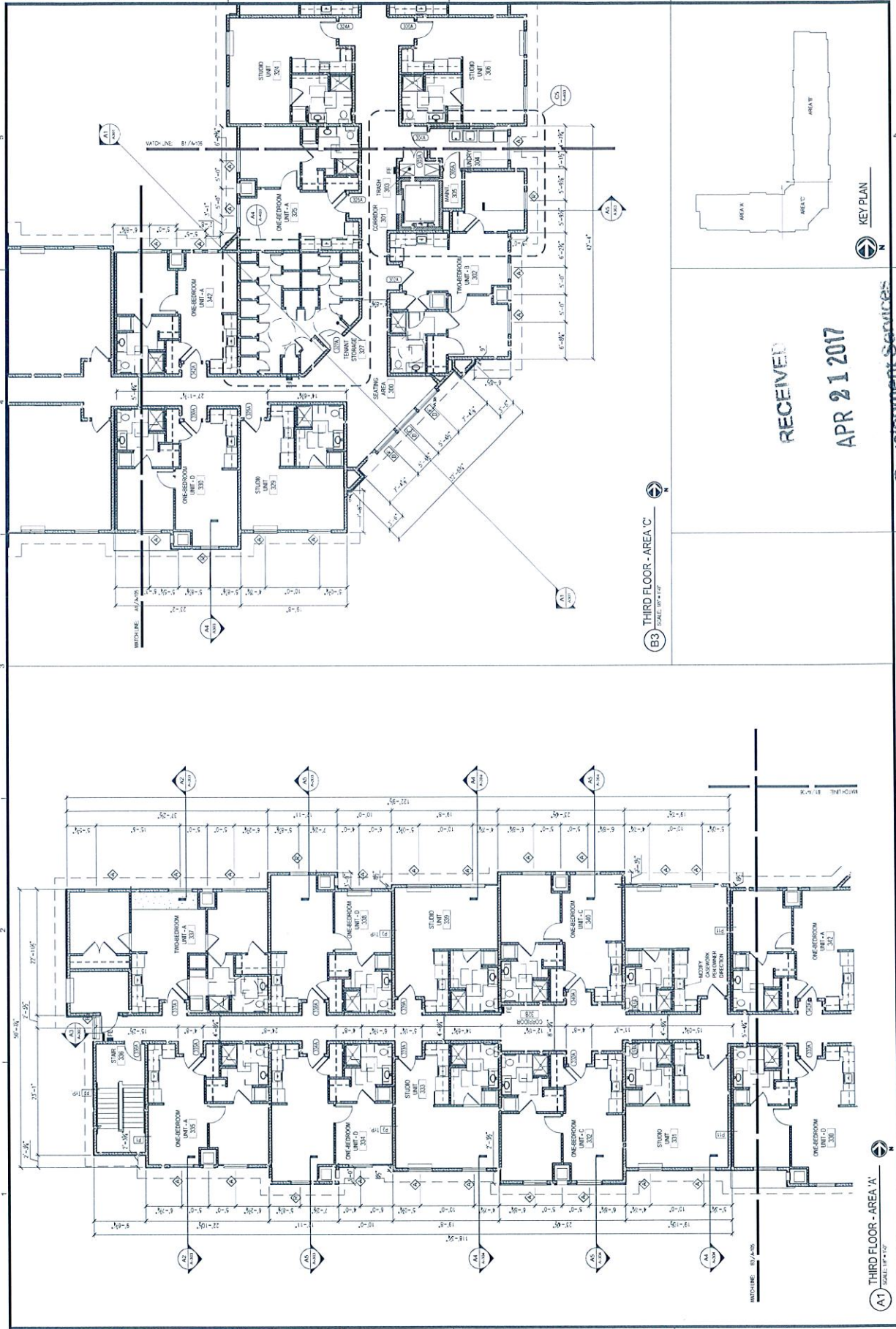
NOT FOR CONSTRUCTION

PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:  
**BLOOM LIVING**  
 LEES SUMMIT, MO

PROJECT NUMBER:  
 171008

SHEET NUMBER:  
 A-105

THIRD FLOOR - AREA 'A'  
 AND AREA 'C'



THIRD FLOOR - AREA 'C'  
 SCALE: 1/8" = 1'-0"

THIRD FLOOR - AREA 'A'  
 SCALE: 1/8" = 1'-0"

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KEY PLAN

Development Sources

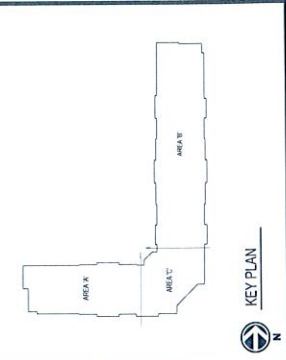
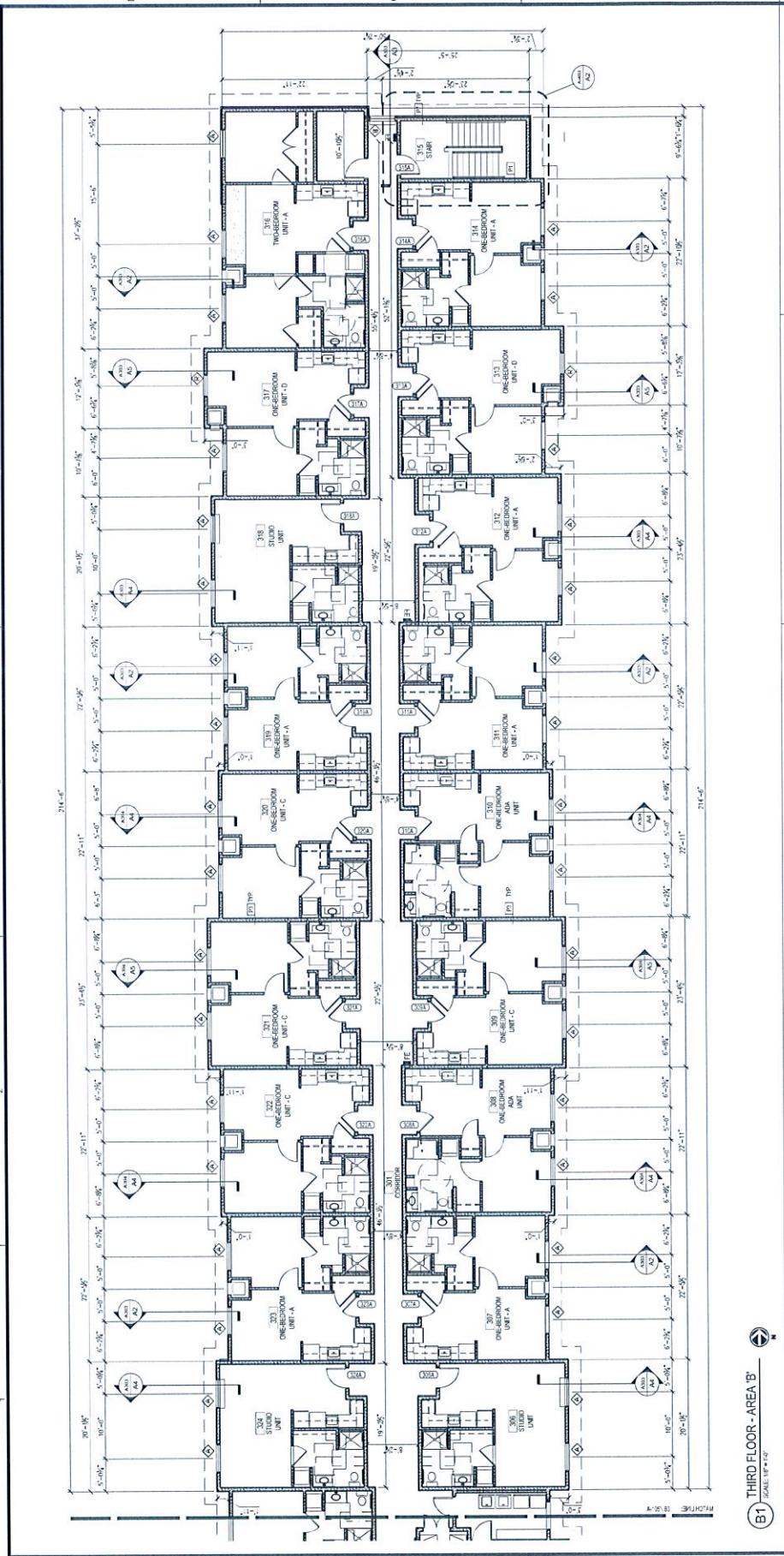
-2017-095 -2017-09C



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PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:  
**BLOOM LIVING**  
LEES SUMMIT, MO

COMMITTEE/DATE	4/21/17
PROJECT NUMBER	171008
SHEET NUMBER	A-106



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**B1** THIRD FLOOR - AREA 'B'  
SCALE: 1/8" = 1'-0"

-2017-095 -2017-09C



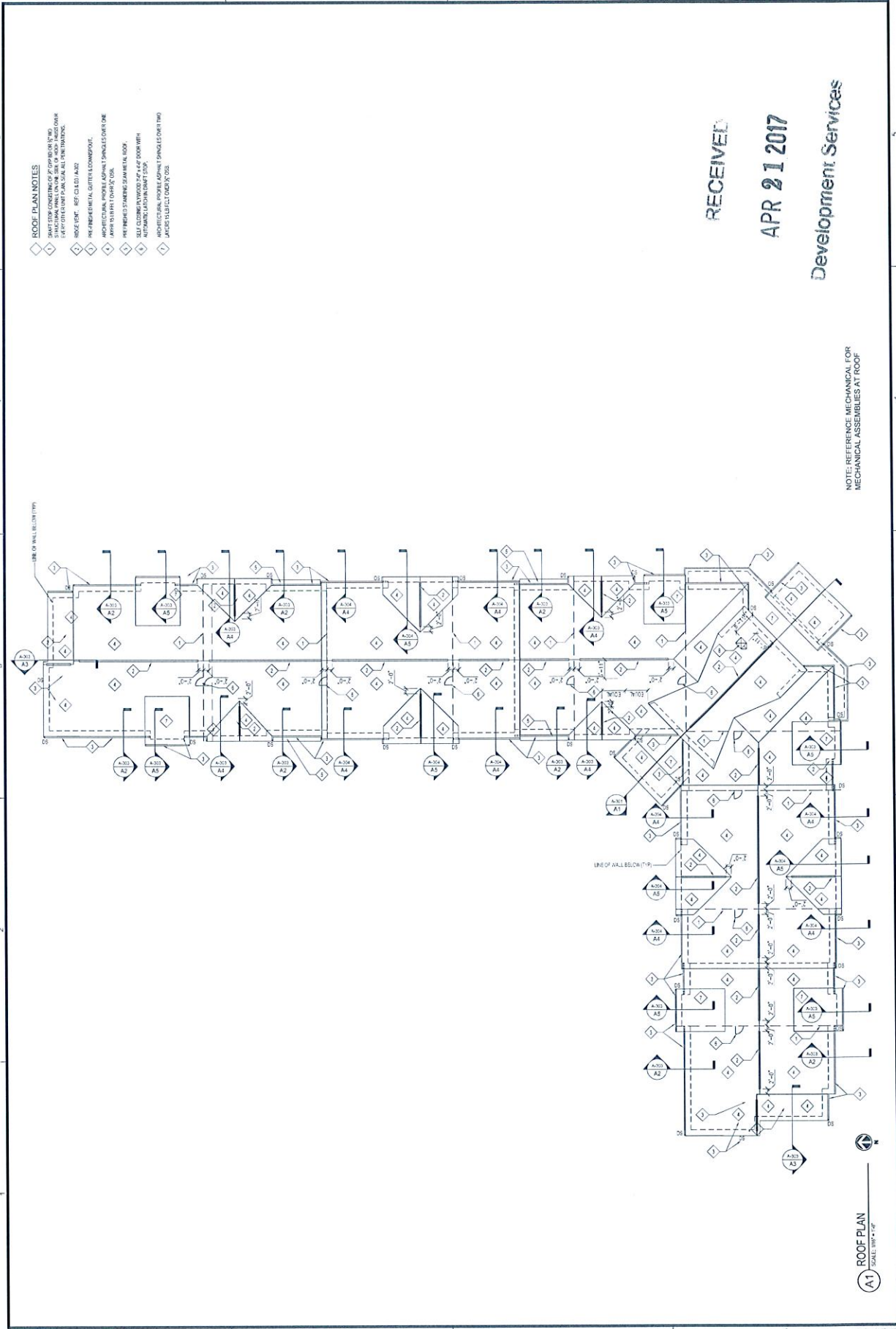
**schwardt design group**  
 1000 W. 10th Street, Suite 100  
 Minneapolis, MN 55402  
 Phone: 612.338.1100  
 Fax: 612.338.1101  
 Email: info@schwardtdesign.com

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PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:  
**BLOOM LIVING**  
 LEES SUMMIT, MN

SUBMISSION DATE:	4/20/17
SHEET TITLE:	ROOF PLAN
PROJECT NUMBER:	171008
SHEET NUMBER:	A-107

- ROOF PLAN NOTES**
- ◇ SHAKE TRAYS CONSIDERED 2" COPED FOR 2" W/ D
  - ◇ SHAKE TRAYS SHALL HAVE A MIN. SIZE OF 4" X 12" OVER
  - ◇ TRAYS SHALL BE 1/2" OVER ALL FINISHES.
  - ◇ ROOF TRAY - REF. CEILING A-102
  - ◇ INSURE METAL LIGHTS & DOWNSPUT.
  - ◇ ARCHITECTURAL PROFILE ADJUST SPANGLER OVER ONE
  - ◇ JAWB TO 1/4" TO 3/8" TO 1/2" TO 3/4" TO 1"
  - ◇ REINFORCED STAIRING SEAM METAL ROOF.
  - ◇ SELF-CLEANING WOOD 2" X 4" FOR ROOF W/IF.
  - ◇ AUTOMATIC LAUNCH DUMP TRUCK.
  - ◇ ARCHITECTURAL PROFILE ADJUST SPANGLER OVER TWO
  - ◇ W/IF TO 1/4" TO 3/8" TO 1/2" TO 3/4" TO 1"



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ROOF PLAN  
 SCALE: 1/8" = 1'-0"

LOCUS: F:\Projects\171008\171008-107-Roof Plan.dwg  
 PLOT DATE: 4/20/2017  
 PLOTTED BY: DAK

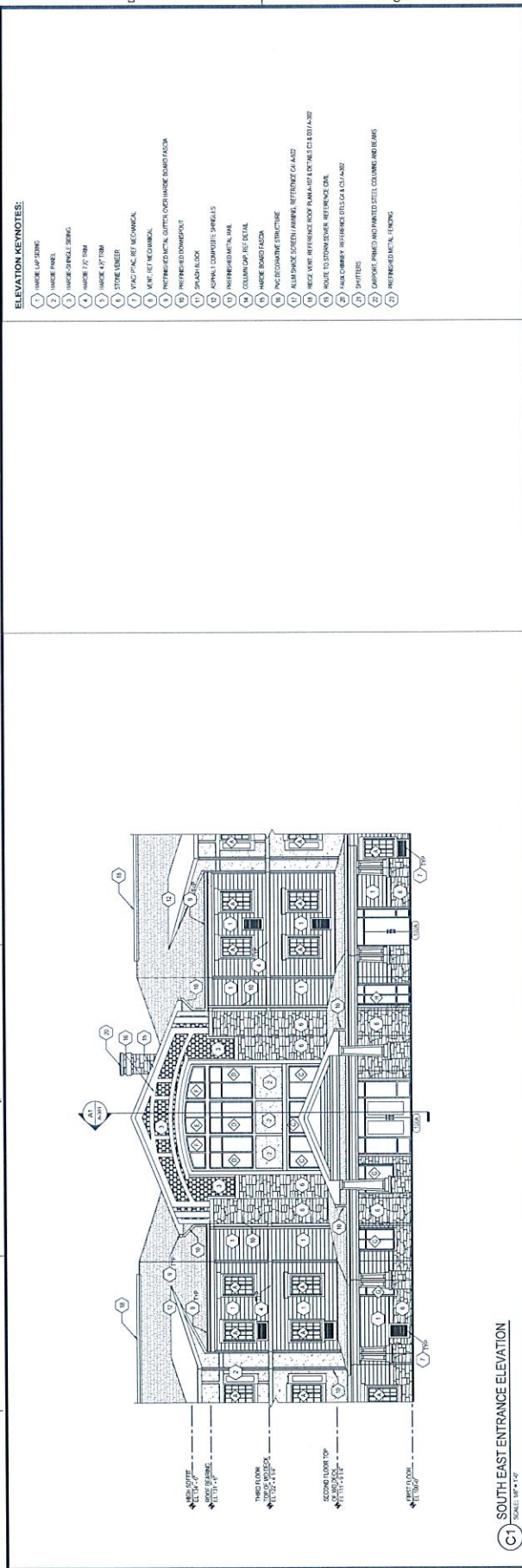


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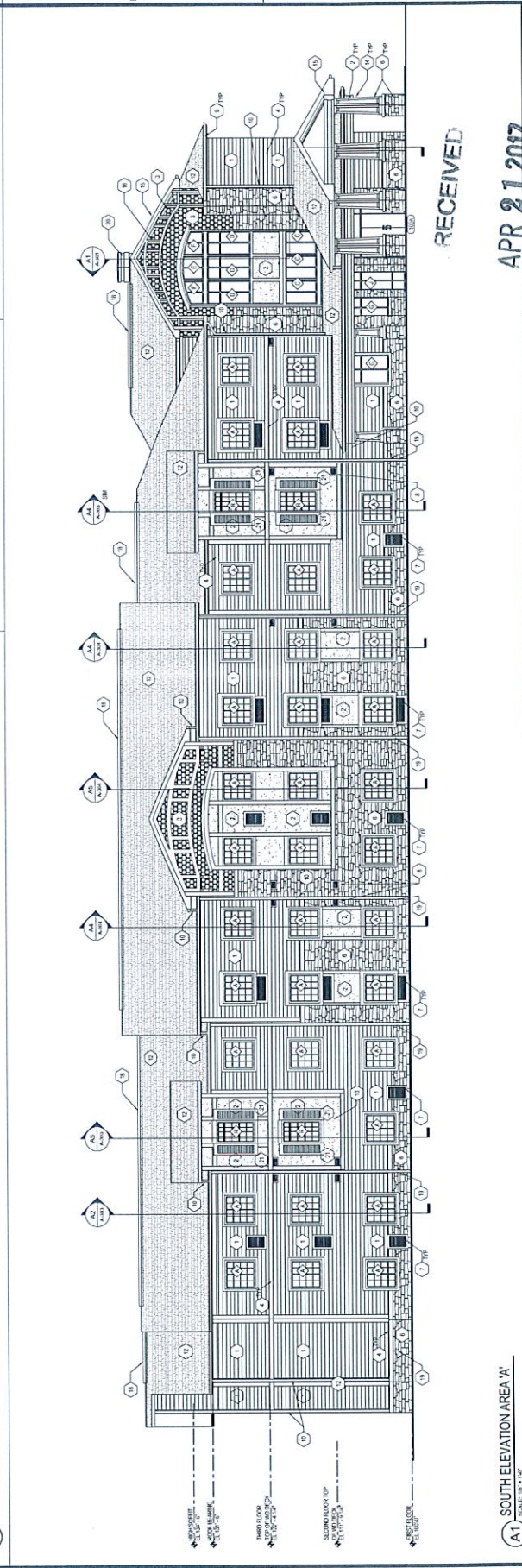
PRELIMINARY DEVELOPMENT SUBMITTAL FOR:  
**BLOOM LIVING**  
 LEES SUMMIT, MO

SUBMITTAL DATE:	4/21/17
SHEET TITLE:	EXTERIOR ELEVATIONS
PROJECT NUMBER:	171008
SHEET NUMBER:	A-201



**C1** SOUTH EAST ENTRANCE ELEVATION  
SCALE: 1/8" = 1'-0"

- ELEVATION KEYNOTES:**
- 1 HANDE LAP STONE
  - 2 HANDE PANEL
  - 3 HANDE-SERIAL BRICK
  - 4 HANDE 1/2" TRIM
  - 5 HANDE 1/2" TRIM
  - 6 STONE TIEBACK
  - 7 VYAC P/AC NET ECONOMICAL
  - 8 WENT RET. RE COLUMNAL
  - 9 PREFINISHED METAL GUTTER OVER HANDE BOARD FACIA
  - 10 PREFINISHED DOWNPOUT
  - 11 SPAN HULL
  - 12 COPAL COMPOSITE SHINGLES
  - 13 PREFINISHED METAL DIAL
  - 14 COLUMN CAP. RE METAL
  - 15 HANDE BOARD FACIA
  - 16 PVC COGNITIVE STRUCTURE
  - 17 ALUM. SHED GREEN ALUMINA. REFERENCE CALL
  - 18 WOOD VINYL REFERENCE ROOF PANELS REFERENCE CALL
  - 19 ROULE TO STORM DOOR REFERENCE CALL
  - 20 HARK CHERRY REFERENCE BRICK & COLIARD
  - 21 SHUTTERS
  - 22 CARPORT FINISH AND PAINTED STEEL COLUMN AND BEAM
  - 23 PREFINISHED METAL FINISH

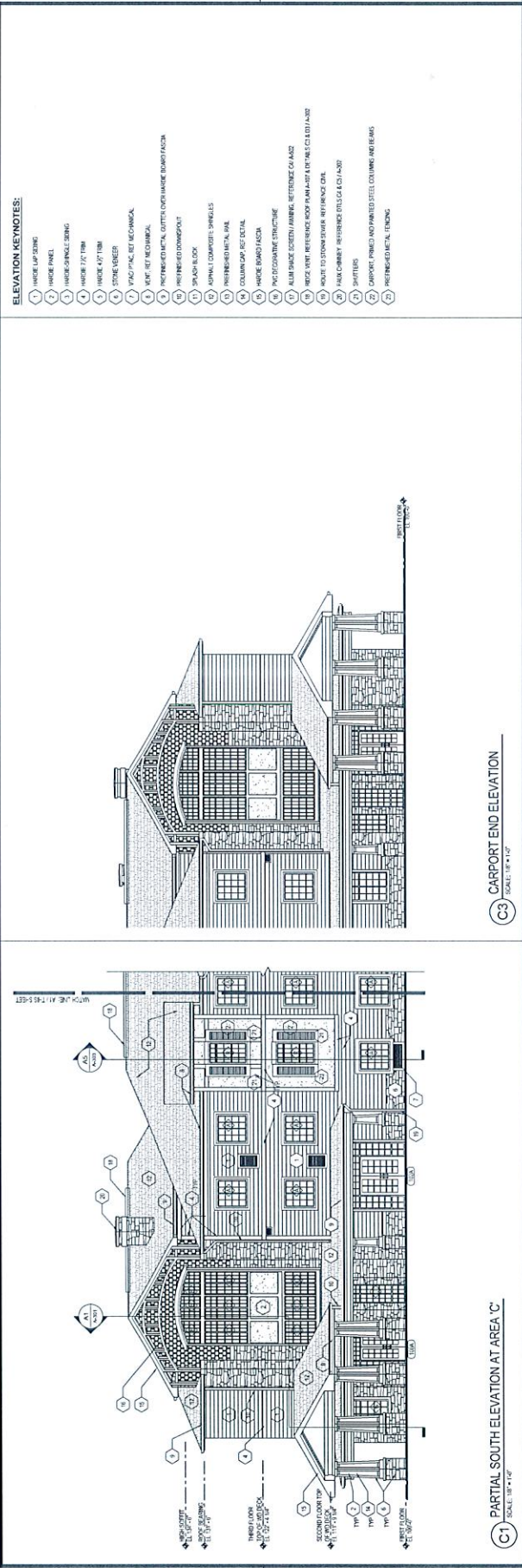


**A1** SOUTH ELEVATION AREA 'A'  
SCALE: 1/8" = 1'-0"

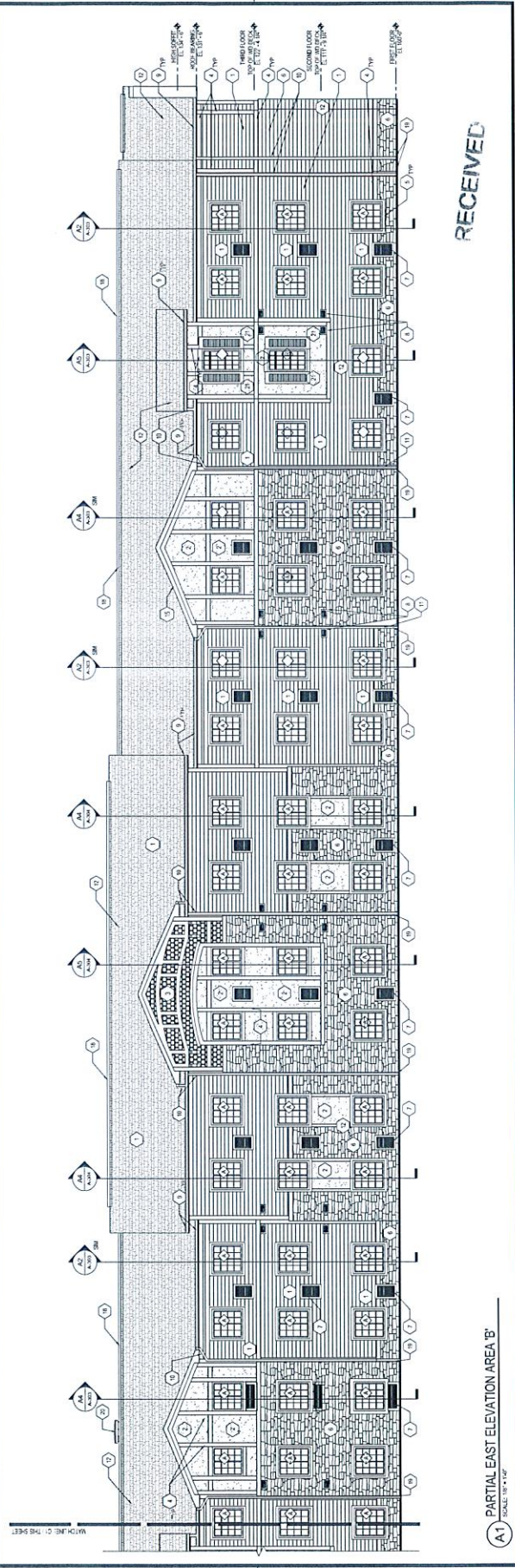
- ELEVATION KEYNOTES:**
- 1 HANDE LAP STONE
  - 2 HANDE PANEL
  - 3 HANDE-SERIAL BRICK
  - 4 HANDE 1/2" TRIM
  - 5 HANDE 1/2" TRIM
  - 6 STONE TIEBACK
  - 7 VYAC P/AC NET ECONOMICAL
  - 8 WENT RET. RE COLUMNAL
  - 9 PREFINISHED METAL GUTTER OVER HANDE BOARD FACIA
  - 10 PREFINISHED DOWNPOUT
  - 11 SPAN HULL
  - 12 COPAL COMPOSITE SHINGLES
  - 13 PREFINISHED METAL DIAL
  - 14 COLUMN CAP. RE METAL
  - 15 HANDE BOARD FACIA
  - 16 PVC COGNITIVE STRUCTURE
  - 17 ALUM. SHED GREEN ALUMINA. REFERENCE CALL
  - 18 WOOD VINYL REFERENCE ROOF PANELS REFERENCE CALL
  - 19 ROULE TO STORM DOOR REFERENCE CALL
  - 20 HARK CHERRY REFERENCE BRICK & COLIARD
  - 21 SHUTTERS
  - 22 CARPORT FINISH AND PAINTED STEEL COLUMN AND BEAM
  - 23 PREFINISHED METAL FINISH

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- ELEVATION KEYNOTES:**
- 1 HIDE LAP SIDING
  - 2 HIDE PANEL
  - 3 HIDE SPINDLE SIDING
  - 4 HIDE 1/2" TIN
  - 5 HIDE 1/4" TIN
  - 6 STONE ROOFER
  - 7 VERTICAL METAL
  - 8 PREFINISHED METAL COVER FOR HIDE SIDING FACIA
  - 9 PREFINISHED METAL COVER FOR HIDE SIDING FACIA
  - 10 PREFINISHED METAL COVER FOR HIDE SIDING FACIA
  - 11 SPAN BLOCK
  - 12 METAL COMPOSITE SHINGLES
  - 13 PREFINISHED METAL
  - 14 COLUMN CAP SIDING
  - 15 HIDE SIDING FACIA
  - 16 PREFINISHED METAL STRUCTURE
  - 17 ALUMINUM SIDING FACIA, REFERENCE TO A-202
  - 18 HIDE SIDING FACIA, REFERENCE TO A-202
  - 19 HIDE SIDING FACIA, REFERENCE TO A-202
  - 20 HIDE SIDING FACIA, REFERENCE TO A-202
  - 21 HIDE SIDING FACIA, REFERENCE TO A-202
  - 22 HIDE SIDING FACIA, REFERENCE TO A-202
  - 23 HIDE SIDING FACIA, REFERENCE TO A-202
  - 24 HIDE SIDING FACIA, REFERENCE TO A-202
  - 25 HIDE SIDING FACIA, REFERENCE TO A-202
  - 26 HIDE SIDING FACIA, REFERENCE TO A-202
  - 27 CARPORT PILING AND PAINTED STEEL COLUMN AND BEAMS
  - 28 PREFINISHED METAL FINISH



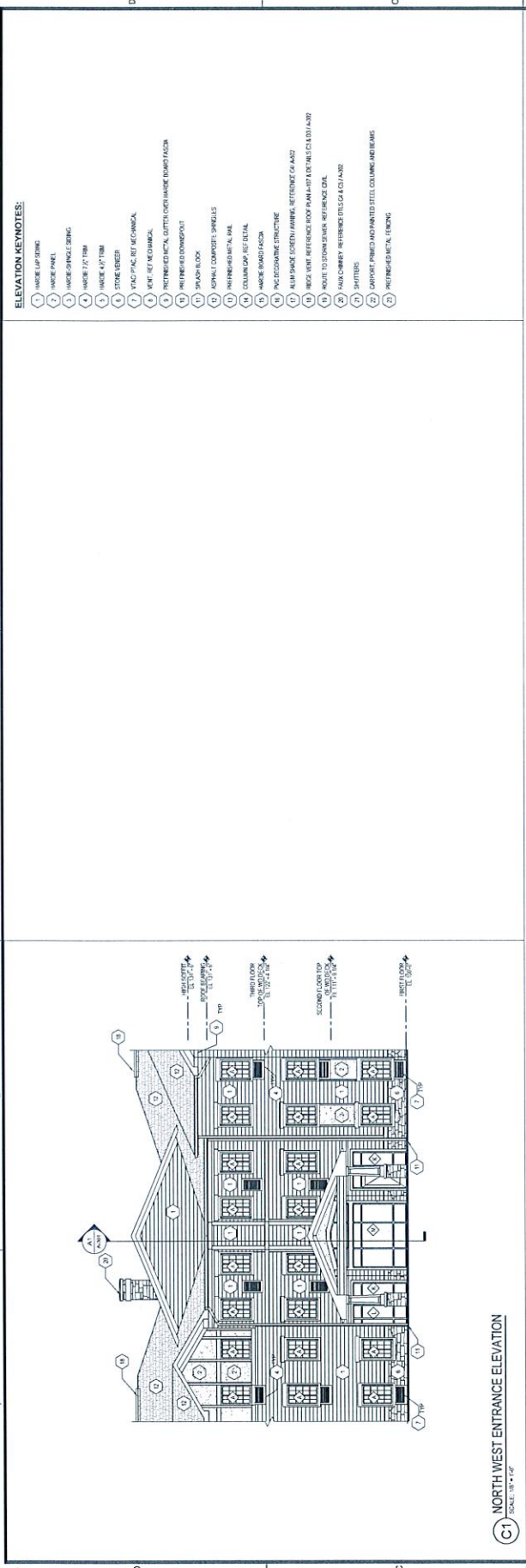
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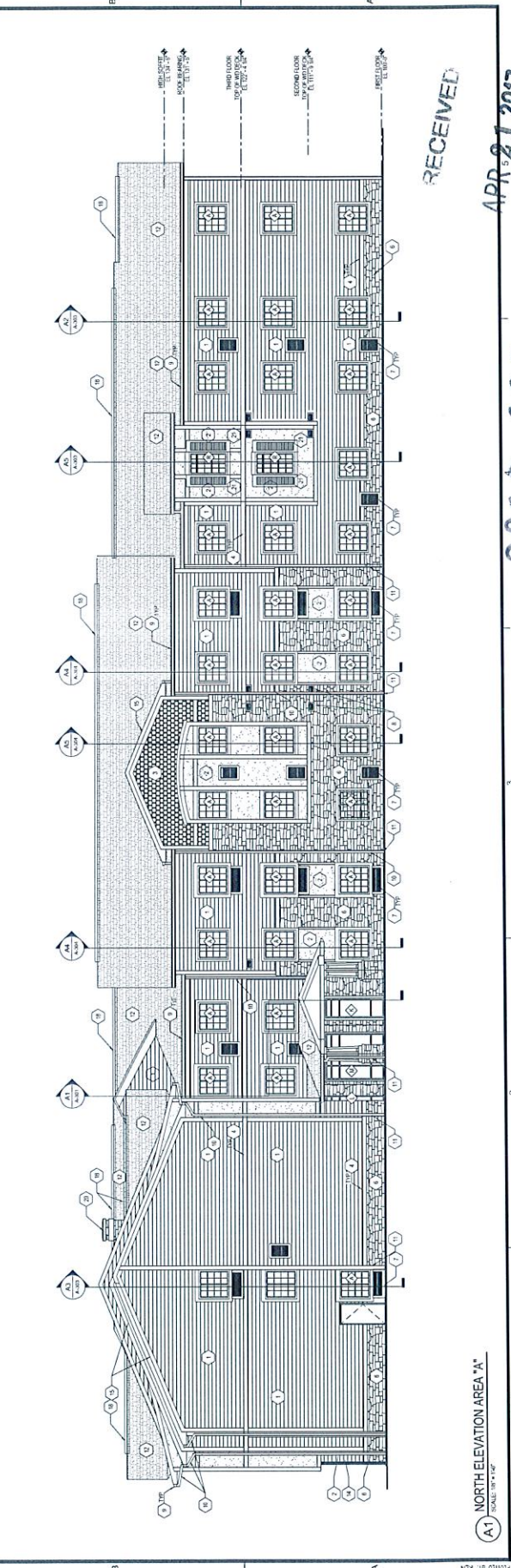
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PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:  
**BLOOM LIVING**  
 LEES SUMMIT, MO

SUBMITTAL NUMBER	425-17
SHEET TITLE	EXTERIOR ELEVATIONS
PROJECT NUMBER	171008
SHEET NUMBER	A-203



**C1**  
 NORTH WEST ENTRANCE ELEVATION  
 SCALE: 1/8" = 1'-0"



**A1**  
 NORTH ELEVATION AREA "A"  
 SCALE: 1/8" = 1'-0"

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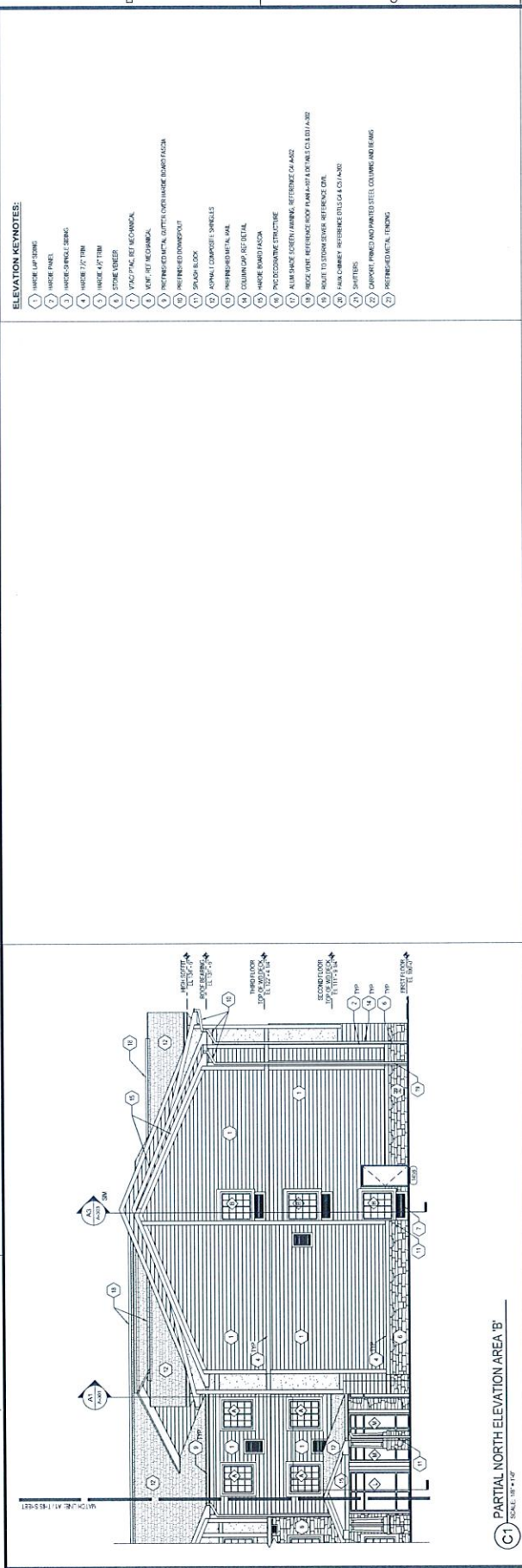


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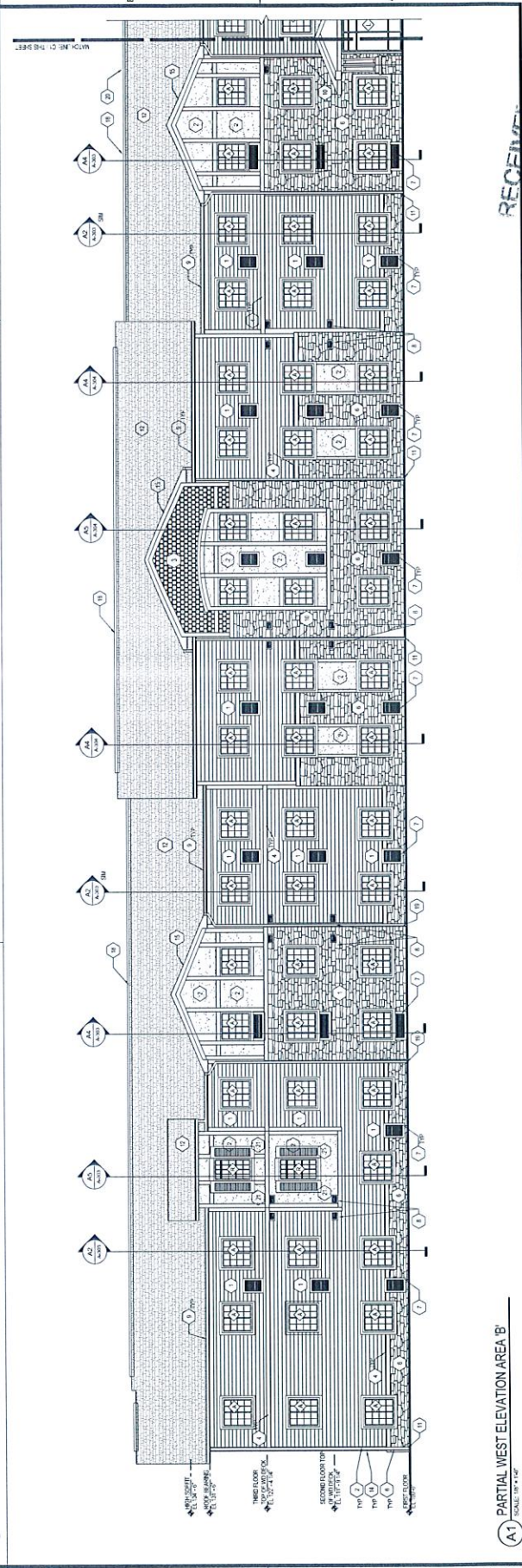
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PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:  
**BLOOM LIVING**  
 LEES SUMMIT, MO

PROJECT NUMBER	171008
DATE OF SUBMITTAL	A-204
SHEET TITLE	EXTERIOR ELEVATIONS
SUBMITTAL DATE	4/21/17



(C1) PARTIAL NORTH ELEVATION AREA 'B'  
 SCALE: 1/8" = 1'-0"



(A1) PARTIAL WEST ELEVATION AREA 'B'  
 SCALE: 1/8" = 1'-0"

- ELEVATION KEYNOTES:
- (1) HANDE LIP TRIM
  - (2) HANDE PANEL
  - (3) HANDE SHROULD BANDING
  - (4) HANDE FC TRIM
  - (5) HANDE FC TRIM
  - (6) HANDE FC TRIM
  - (7) STONE VENEER
  - (8) STAIR TYPING, SEE MECHANICAL
  - (9) NEW, 1/4" X 1/4" CEMENTAL
  - (10) PROTECTED METAL, GUTTER OVER HANDE BOARD FACIA
  - (11) PROTECTED DOWNPOUT
  - (12) SHAPED BLOCK
  - (13) COPING, COMPOSITE SINGLES
  - (14) PROPHET METAL LANE
  - (15) COLUMN CAP, SEE DETAIL
  - (16) HANDE BOARD FACIA
  - (17) PROTECTIVE STRUCTURE
  - (18) ALUMINUM GLAZED AWNING, REFERENCE CA-402
  - (19) ROOF VENT, REFERENCE ROOF PLAN AND SEE DETAIL CA-101
  - (20) ROOF TO STORM SEWER, REFERENCE CA-1
  - (21) HANG CHIMNEY, REFERENCE GUTS CA-1 AND
  - (22) SHUTTERS
  - (23) CARPORT, PINKED AND PAINTED STEEL COLUMN AND BEAMS
  - (24) REFERENCE METAL TRUSS

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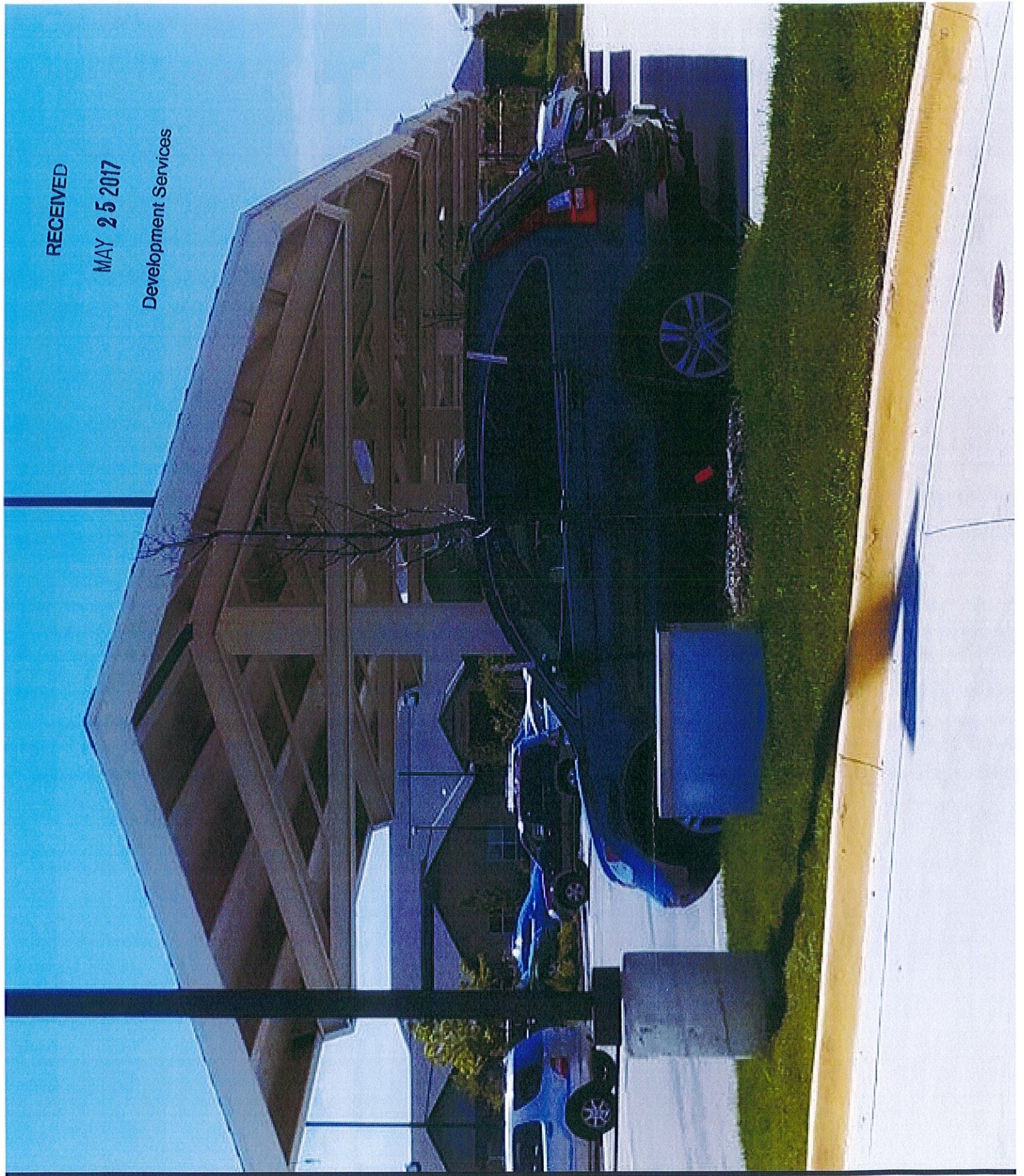
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NEW BUILDING FOR:  
 BLOOM LIVING  
 LEES SUMMIT, MO

SUBMISSION DATE:

EXTENDED DETAILS

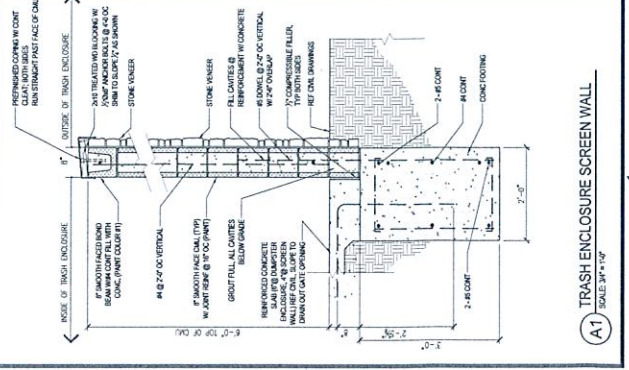
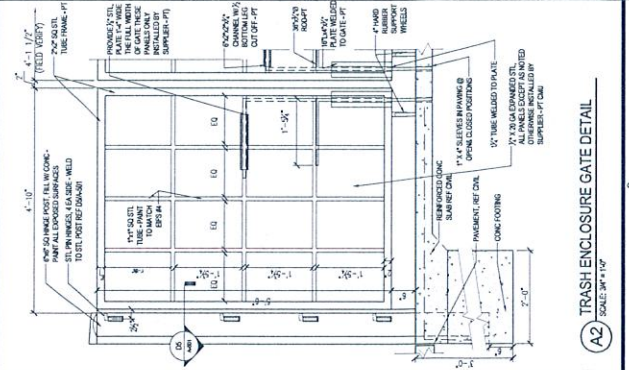
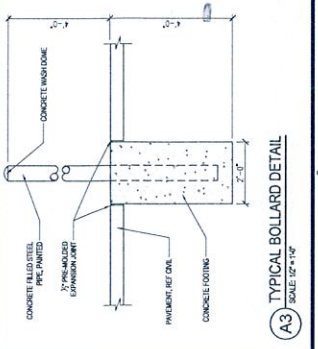
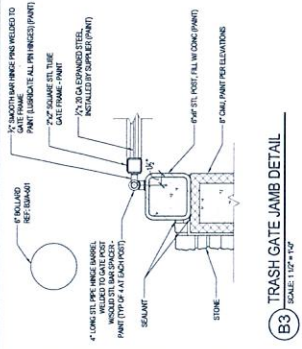
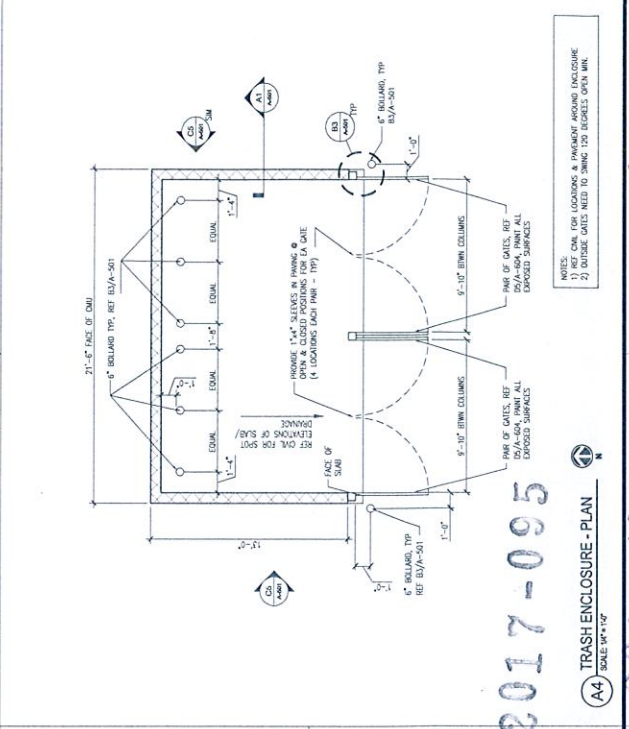
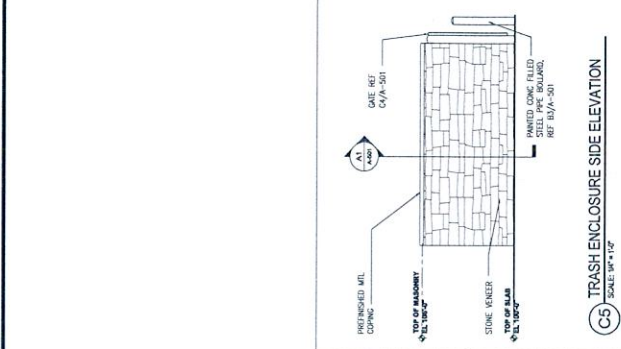
PROJECT NUMBER

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SHEET NUMBER

A-501

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